

VARIANCES REQUESTED

LOT 13.02: FROM SECTION §16.82.D. EXHIBIT A - a. TO PERMIT A LOT AREA OF 0.864 ACRES IN LIEU OF THE REQUIRED 5 ACRES. b. TO PERMIT LOT FRONTAGE ON ROUTE 130 OF 149.8 FT. IN LIEU OF THE REQUIRED 300 FT. c. TO PERMIT A LOT DEPTH OF 250 FT. IN LIEU OF THE REQUIRED 500 FT. d. TO PERMIT A LOT WIDTH OF 149.8 FT. IN LIEU OF THE REQUIRED 300 FT. FROM SECTION §16.89.H(3) - a. TO PERMIT A REAR LANDSCAPE BUFFER YARD OF 0.0 FT. IN LIEU OF THE REQUIRED 15 FT. (EXISTING = 0.0 FT) b. TO PERMIT A SIDE LANDSCAPE BUFFER YARD OF 0.0 FT. IN LIEU OF THE REQUIRED 15 FT. (EXISTING = 0.0 FT) LOT 13.03: FROM SECTION §16.82.17 TO PERMIT A FAST FOOD RESTAURANT WITH DRIVE-THRU IN THE COMMERCIAL-LIGHT INDUSTRIAL DISTRICT FROM SECTION §16.82.D. EXHIBIT A - a. TO PERMIT A LOT AREA OF 0.978 ACRES IN LIEU OF THE REQUIRED 5 ACRES. b. TO PERMIT A LOT FRONTAGE ON US ROUTE 130 OF 137.2 FT. IN LIEU OF THE REQUIRED 300 FT. c. TO PERMIT A LOT FRONTAGE ON COOPER STREET OF 232.4 FT. IN LIEU OF THE REQUIRED 300 FT. d. TO PERMIT A LOT DEPTH OF 250 FT. IN LIEU OF THE REQUIRED 500 FT. e. TO PERMIT A LOT WIDTH OF 137.21 FT. IN LIEU OF THE REQUIRED 300 FT. f. TO PERMIT A SIDE YARD BUILDING SETBACK OF 46.0 FT. IN LIEU OF THE REQUIRED 50 FT. g. TO PERMIT AN IMPERVIOUS COVERAGE OF 62.9% IN LIEU OF THE MAXIMUM PERMITTED 65%. FROM SECTION §16.82.17.E - TO PERMIT AN ACCESSORY REFUSE STRUCTURE TO BE LOCATED WITHIN THE BUFFER AREA. FROM SECTION §16.83.E - TO PERMIT AN ACCESSORY REFUSE STRUCTURE WITH A SIDE YARD SETBACK OF 1.5 FT. IN LIEU OF THE REQUIRED 25 FT. (ACCESSORY STRUCTURES ARE PERMITTED HALF OF SYSB.) FROM SECTION §16.88.B(8)(b) - TO PERMIT PARKING WITHIN THE REQUIRED LANDSCAPE BUFFER ALONG THE SOUTHERN, WESTERN, AND EASTERN PROPERTY LINES. FROM SECTION §16.89.H(3) - a. TO PERMIT A FRONT LANDSCAPE BUFFER YARD OF 3.4 FT. IN LIEU OF THE REQUIRED 20 FT. b. TO PERMIT A REAR LANDSCAPE BUFFER YARD OF 3.6 FT. IN LIEU OF THE REQUIRED 15 FT. c. TO PERMIT A SIDE LANDSCAPE BUFFER YARD OF 0.8 FT. IN LIEU OF THE REQUIRED 15 FT.

FROM SECTION §16.90.1.A(1) - TO PERMIT CHANGEABLE TYPE (DIGITAL) SIGNS WHERE AS THEY ARE PROHIBITED. (PRE-BROWSE, MENU BOARD, MONUMENT SIGN). FROM SECTION §16.90.5.B(1) - TO PERMIT EIGHT (8) BUSINESS SIGNS IN LIEU OF THE PERMITTED THREE (3), (FOUR (4) EXISTING) FROM SECTION §16.90.5.B(1)A - TO PERMIT SIGN AREA PER BUILDING FAÇADE TO BE GREATER THAN 40 SF. a. ROUTE 130 FAÇADE - TWO (2) SIGNS TOTALING 46.8 SF (7.8 SF EXISTING) b. COOPER STREET FAÇADE - TWO (2) SIGNS TOTALING 46.8 SF (0 SF EXISTING) FROM SECTION §16.90.5.B(1)C - TO PERMIT A ROAD SIGN WITH AN AREA OF 121.2 SF IN LIEU OF THE PERMITTED 75 SF, A MAX HEIGHT OF 25 FT. IN LIEU OF THE PERMITTED 8 FT. AND A CURBLINE SETBACK OF 9.3 FT. IN LIEU OF THE REQUIRED 15 FT. (NEXT GEN HIGHWAY SIGN) (EXISTING: AREA (APPROX. BOXED) = 560 SF, HEIGHT = 25.5 FT, SETBACK = 3.7 FT) FROM SECTION §16.90.5.B(1)C - TO PERMIT A MONUMENT SIGN WITH A CURBLINE SETBACK OF 3.0 FT. IN LIEU OF THE REQUIRED 15 FT.

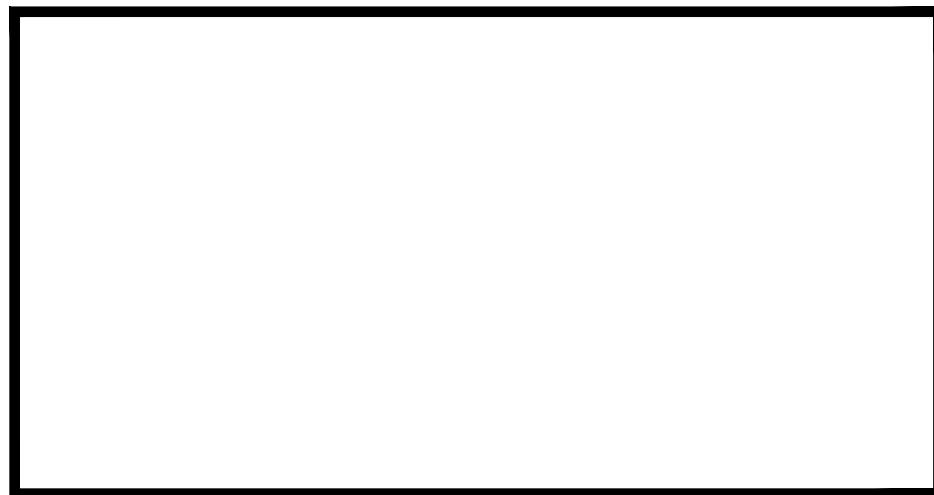
WAIVERS REQUESTED

FROM SECTION §16.04.80 - TO ALLOW COMBINED PRELIMINARY/FINAL MAJOR SITE PLAN APPROVAL IN LIEU OF SEPARATE PRELIMINARY MAJOR SITE PLAN APPROVAL. FROM SECTION §16.04.90 - TO ALLOW COMBINED PRELIMINARY/FINAL MAJOR SITE PLAN APPROVAL IN LIEU OF SEPARATE FINAL MAJOR SITE PLAN APPROVAL.

CHECKLIST WAIVERS REQUESTED

FROM SECTION §16.73.2: CHECKLIST ITEM #2 - A WAIVER IS REQUESTED TO ALLOW SCALE SIZES OF 1"=20' AND 1"=10' IN LIEU OF THE REQUIREMENT FOR A SCALE OF 1"=30'. CHECKLIST ITEM #12 - A WAIVER IS REQUESTED TO NOT PROVIDE ALL STRUCTURES WITHIN 200 FEET OF THE PROPERTY. CHECKLIST ITEM #15 - A WAIVER IS REQUESTED TO NOT PROVIDE A "TREE SAVE PLAN". FROM SECTION §16.73.3 - CHECKLIST ITEM #2 - A WAIVER IS REQUESTED TO ALLOW SCALE SIZES OF 1"=20' AND 1"=10' IN LIEU OF THE REQUIREMENT FOR A SCALE OF 1"=30'.

NJDOT APPROVAL



A-130-S-####-2020 M.P. 42.98

NJDOT NOTES:

- 1. THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2019, WITH AMENDMENTS THERETO GOVERN. 2. NJDOT STANDARD CONSTRUCTION DETAILS ROADWAY-TRAFFIC CONTROL-BRIDGE 2016, AND STANDARD ELECTRICAL DETAIL BOOKLET, 2007, ARE APPLICABLE TO THIS PROJECT EXCEPT FOR THOSE DETAILS CONTAINED HEREIN. 3. AN NJDOT PRE-CONSTRUCTION MEETING IS REQUIRED WITH NJDOT OPERATIONS - PERMITS OFFICE. CONTACT RAMESH PATEL (809) 240-5285. 4. THE NJDOT ACCESS PERMIT IS NOT VALID UNTIL A CONFIRMATION NUMBER OBTAINED FROM THE ONE-CALL SYSTEM IN ACCORDANCE WITH P.L. 1994, CHAPTER 118, ITEM #11 FO THE UNDERGROUND FACILITY PROTECTION ACT IS SUPPLIED TO THE NJDOT OPERATIONS - PERMITS OFFICE. 5. SEPARATE UTILITY PERMIT APPLICATIONS ARE REQUIRED FOR EACH PROPOSED UTILITY WORK (GAS, ELECTRIC, WATER, SEWER, ETC.) AND UTILITY PERMIT APPLICATION MUST BE THE RESPECTIVE UTILITY COMPANY.

LAND DEVELOPMENT DRAWING SHEET INDEX

Table with 2 columns: SHEET TITLE, SHEET NUMBER. Includes COVER SHEET (C-101), NOTES SHEET (C-102), EXISTING CONDITIONS/DEMOLITION PLAN (C-201), SUBDIVISION PLAN (C-301), SITE PLAN (C-302), DRIVE-THRU PLAN (C-303), SIGNAGE PLAN (C-304), GRADING PLAN (C-401), PRE-DEVELOPMENT DRAINAGE AREA PLAN (C-402), POST-DEVELOPMENT DRAINAGE AREA PLAN (C-403), UTILITY PLAN (C-501), SOIL EROSION AND SEDIMENT CONTROL PLAN (C-601), SOIL EROSION AND SEDIMENT CONTROL DETAILS (C-602), LANDSCAPE PLAN (C-701), LANDSCAPE NOTES AND DETAILS (C-702), TRUCK TURN PLAN (C-901), NJDOT 500' LOCATION PLAN (C-902), DETAILS (C-903, C-904, C-905), LIGHTING PLAN (L-1).

LOCATION MAP

SCALE: 1" = 2,000' SOURCE: GOOGLE MAPS

NJDOT ADDITIONAL SUBMISSION ITEMS INDEX

Table with 2 columns: SURVEY, SIGNING & STRIPING PLAN (BY OTHERS), TRAFFIC CONTROL NOTES (BY OTHERS), TRAFFIC CONTROL PLAN (BY OTHERS). Corresponding counts: S-1, 1 OF 3, 2 OF 3, 3 OF 3.

TAX MAP

SCALE: 1" = 500' SOURCE: EDGEWATER PARK TOWNSHIP TAX MAPS

ZONING MAP

SCALE: 1" = 1000' SOURCE: EDGEWATER PARK TOWNSHIP

Zoning Districts legend: R-1, R-2, R-3, R-4, R-5, R-6, R-AR, R-AR-1, R-LD, R-MF, R-MF, C-1, C-2, C-3, C-LI-1, C-LI-5, LI, C. Property Near Mun 0312 Block 502 Lot 13.02 in EDGEWATER PARK table with columns: Property, Location, Class, Owner.

Property Near Mun 0312 Block 502 Lot 13.02 in EDGEWATER PARK table with columns: Property, Location, Class, Owner.

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Property Near Mun 0312 Block 502 Lot 13.02 in EDGEWATER PARK table with columns: Property, Location, Class, Owner.

PRELIMINARY / FINAL MAJOR SITE PLANS

FOR MCDONALD'S USA, LLC

PROPOSED McDONALD'S RESTAURANT NO. 29-0019 REBUILD

LOCATION OF SITE 4295 US ROUTE 130, EDGEWATER PARK TOWNSHIP BURLINGTON COUNTY, NEW JERSEY TAX MAP SHEET 5, BLOCK 502, LOT 13.02 & 13.03

CERTIFICATION OF OWNERSHIP AND ACKNOWLEDGMENT OF PLAN

STATE: _____ COUNTY: _____ ON THIS, THE _____ DAY OF _____, 20____, BEFORE ME, THE UNDERSIGNED _____, PERSONALLY APPEARED _____, WHO BEING DULY SWORN ACCORDING TO LAW, DEPOSES AND SAYS THAT HE/SHE IS A DULY AUTHORIZED SENIOR COUNSEL OF _____, BEING ONE OF THE OWNERS OF THE PROPERTIES SHOWN ON THE ATTACHED SITE PLAN, AND THAT SUCH SITE PLAN WAS MADE WITH HIS/HER/ITS KNOWLEDGE, THAT HE/SHE ACKNOWLEDGES THE SAME TO BE HIS/HER/ITS ACT AND DESIRES THAT THE SITE PLAN BE RECORDED ACCORDING TO ALL LAWS.

BY: _____ NAME: _____ TITLE: _____ DATE: _____

SWORN TO AND SUBSCRIBED BEFORE ME THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

TOWNSHIP OF EDGEWATER PARK BOARD APPROVAL APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF EDGEWATER PARK, NEW JERSEY. Chairman, Secretary, Engineer, Date.

FOR INFORMATIONAL PURPOSES

ADJUDICATIVE/ADMINISTRATIVE: WILLINGBORO TOWNSHIP MUNICIPAL COMPLEX, BEVERLY CITY MUNICIPAL BUILDING, BURLINGTON TOWNSHIP, DELANCO TOWNSHIP, BURLINGTON COUNTY PLANNING BOARD, NEW JERSEY DEPT. OF TRANSPORTATION. UTILITIES: P.S.E.&S. ROBERT HESTON, SALES CONSULTANT, COMCAST CABLE, VERDON #11 DEPT. BARBARA WIRNBERG, NI AMERICAN WATER CO., MAUREN DUFFY, COMMUNITY RELATIONS, GEORGE CONRAD, EDGEWATER PARK SEWER/USE AUTHORITY, COOPER AND GREEN STREETS, EDGEWATER PARK, NJ 08010.

McDonald's logo and signature blocks for FINAL PLAN SIGNATURES, PLAN APPROVALS, CO-SIGN SIGNATURES, and CONTRACTOR/OWNER.

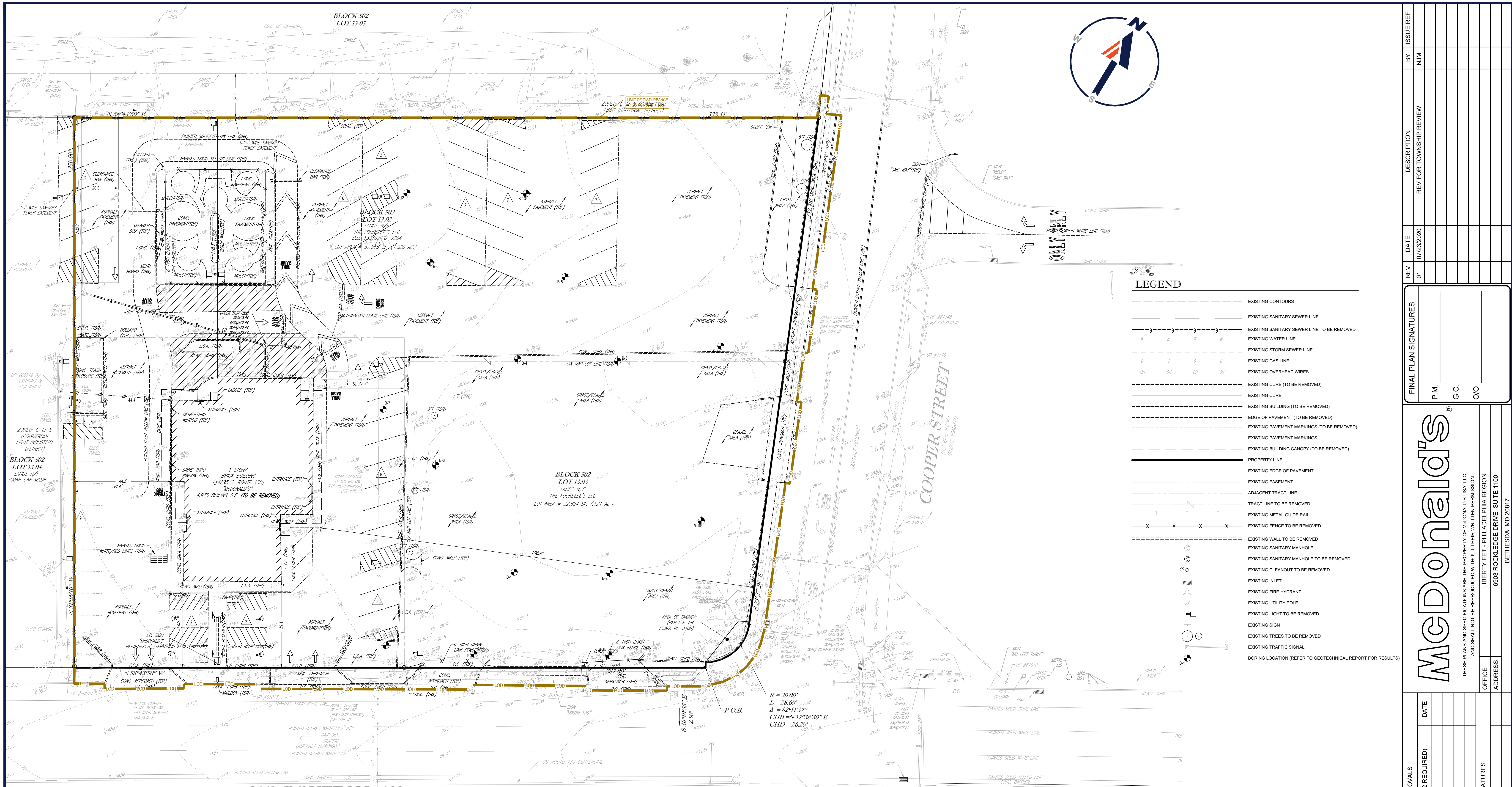
BOHLER logo and contact information: 74 W BROAD STREET, SUITE 500 BETHLEHEM, PA 18018. Phone: (610) 709-9971. Fax: (610) 709-9976. www.BohlerEngineering.com. SITE CIVIL AND CONSULTING ENGINEERING LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES.

811 logo and M.E. JEITNER Professional Engineer information: PENNSYLVANIA LICENSE NO. PE055733, NEW JERSEY LICENSE NO. 24GE04499300, DELAWARE LICENSE NO. 18315.

TAX MAP SHEET 5 - BLOCK 502 - LOT 13.02. PRELIMINARY / FINAL MAJOR SITE PLANS. PLAN SCALE: AS NOTED. STREET ADDRESS: 4295 US ROUTE 130. TOWNSHIP: EDGEWATER PARK, STATE: NJ. COUNTY: BURLINGTON. REGIONAL DWG. NO: LC #29-0019. PLAN DESCRIPTION: COVER SHEET.

Table with columns: REGIONAL DWG. NO., PLAN DESCRIPTION, STATUS, DATE, BY. Includes entries for PRELIMINARY (5/29/2020, JDK), PLAN CHECKED (5/29/2020, MEJ), AS-BUILT (XXXX, XXXX), and C-101 OF 20.

RYTPY170000DRAWINGS\PLAN SET\LAND DEVELOPMENT\REV\PPY170000 COVERS 1-4 LAYOUT: C-101 COVER



LEGEND

- EXISTING CONTOURS
- EXISTING SANITARY SEWER LINE
- EXISTING SANITARY SEWER LINE TO BE REMOVED
- EXISTING WATER LINE
- EXISTING STORM SEWER LINE
- EXISTING GAS LINE
- EXISTING OVERHEAD WIRES
- EXISTING CURB (TO BE REMOVED)
- EXISTING CURB
- EXISTING BUILDING (TO BE REMOVED)
- EDGE OF PAVEMENT (TO BE REMOVED)
- EXISTING PAVEMENT MARKINGS (TO BE REMOVED)
- EXISTING PAVEMENT MARKINGS
- EXISTING BUILDING CANOPY (TO BE REMOVED)
- PROPERTY LINE
- EXISTING EDGE OF PAVEMENT
- EXISTING EASEMENT
- ADJACENT TRACT LINE
- TRACT LINE TO BE REMOVED
- EXISTING METAL GUIDE RAIL
- EXISTING FENCE TO BE REMOVED
- EXISTING WALL TO BE REMOVED
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY MANHOLE TO BE REMOVED
- EXISTING CLEANOUT TO BE REMOVED
- EXISTING INLET
- EXISTING FIRE HYDRANT
- EXISTING UTILITY POLE
- EXISTING LIGHT TO BE REMOVED
- EXISTING SIGN
- EXISTING TREES TO BE REMOVED
- EXISTING TRAFFIC SIGNAL
- BORING LOCATION (REFER TO GEOTECHNICAL REPORT FOR RESULTS)



SURVEY NOTES

1. PROPERTY KNOWN AS LOTS 13.02 & 32.03, BLOCK 502 AS IDENTIFIED ON THE OFFICIAL TAX MAP OF THE TOWNSHIP OF EDGEWATER PARK, BURLINGTON COUNTY, STATE OF NEW JERSEY.
 2. AREA = 80,209 S.F. OR 1.841 AC.
 3. LOCATION OF ALL UNDERGROUND UTILITIES ARE APPROXIMATE. ALL LOCATIONS AND SIZES ARE BASED ON UTILITY MARK OUTS, ABOVE GROUND STRUCTURES THAT WERE VISIBLE & ACCESSIBLE IN THE FIELD, AND THE MAPS AS LISTED IN THE REFERENCES AVAILABLE AT THE TIME OF THE SURVEY. AVAILABLE AS-BUILT PLANS AND UTILITY MARKOUT DOES NOT ENSURE MAPPING OF ALL UNDERGROUND UTILITIES AND STRUCTURES. BEFORE THE PREPARATION OF DESIGN PLANS AND/OR EXCAVATION IS TO BEGIN, ALL UNDERGROUND UTILITIES SHOULD BE VERIFIED AS TO THEIR LOCATION, SIZE AND TYPE BY THE PROPER UTILITY COMPANY.
 4. THIS PLAN IS BASED ON INFORMATION PROVIDED BY A SURVEY PREPARED IN THE FIELD BY BLUE MARSH ASSOCIATES, INC. AND OTHER REFERENCE MATERIAL AS LISTED HEREON. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT REPORT.
 5. THE EXISTENCE OF UNDERGROUND STORAGE TANKS, IF ANY, WAS NOT KNOWN AT THE TIME OF THE FIELD SURVEY.
 6. THIS PROPERTY SUBJECT TO RESTRICTIONS, COVENANTS AND/OR EASEMENTS, WRITTEN OR IMPLIED.
 7. ELEVATIONS ARE BASED UPON (NAVD 88) DATUM ESTABLISHED ONSITE UTILIZING GLOBAL POSITIONING SYSTEM DATA COLLECTION.
 8. ENCROACHMENTS AND VAULTS, IF ANY, BELOW SURFACE NOT SHOWN HEREON.
 9. WAIVER OF SETTING CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO THE BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS REGULATION, N.J.A.C. 13:40-5.1 (f).
 10. THE LAND DESCRIBED IN THIS SURVEY CONSTITUTES MORE THAN ONE PARCEL OR LOT, AND THERE ARE NO GAPS, GORES OR STRIPS.
 11. AREA OF POTENTIAL ENCROACHMENTS
- A PARKING AND FEATURES ALONG WESTERLY PROPERTY LINE

SURVEY REFERENCES

1. MAP #8 OF THE OFFICIAL TAX MAPS OF THE TOWNSHIP OF EDGEWATER PARK, BURLINGTON COUNTY, STATE OF NEW JERSEY.
2. MAP ENTITLED "FIRM, FLOOD INSURANCE RATE MAP, BURLINGTON COUNTY, NEW JERSEY (ALL JURISDICTIONS)", PANEL 117 OF 641, MAP NUMBER 64005C0117F, EFFECTIVE DATE: DECEMBER 21, 2017.
3. MAP ENTITLED "MAJOR SUBDIVISION PLAN, TAX MAP LOT 13 AND 13.01, BLOCK 502, LANDS SITUATE IN EDGEWATER PARK TOWNSHIP, BURLINGTON COUNTY, NEW JERSEY" PREPARED BY LIPPINCOTT & JACOBS CONSULTING ENGINEERS, DATED MAY 18, 2001, AND FILED IN THE BURLINGTON COUNTY CLERK'S OFFICE AS MAP #3555853.
4. MAP ENTITLED "MINOR SUBDIVISION PLAN, BLOCK 502, LOTS 12, 13, 13.05 & 13.06, TAX MAP SHEET #5, EDGEWATER PARK TOWNSHIP, BURLINGTON COUNTY, NEW JERSEY" PREPARED BY STOUT & CALDWELL ENGINEERS, L.L.C, LAST REVISED DECEMBER 3, 2015 AND FILED IN THE BURLINGTON COUNTY CLERK'S OFFICE AS MAP #5201762.
5. MAP ENTITLED "ALTAIACS LAND TITLE SURVEY, McDONALD'S USA, LLC, #4295 & 4299 N.J.S.H. U.S. ROUTE 130, BLOCK 502, LOTS 13.2 & 13.03, EDGEWATER PARK TOWNSHIP, BURLINGTON COUNTY, STATE OF NEW JERSEY" PREPARED BY CONTROL POINT ASSOCIATES, INC., DATED JUNE 21, 2001, LAST REVISED AUGUST 22, 2014 AS REVISION NO. 7.

REV	DATE	DESCRIPTION	BY	ISSUE REF
01	07/23/2020	REV FOR TOWNSHIP REVIEW	NUM	

FINAL PLAN SIGNATURES	
P.M.	G.C.
	O/O

McDonald's

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 LIBERTY FET - PHILADELPHIA REGION
 6905 ROCKLEDGE DRIVE, SUITE 1100
 BETHESDA, MD 20871

PLAN APPROVALS	DATE	STATUS	DATE	BY
SIGNATURE (2 REQUIRED)		PRELIMINARY	5/29/2020	JDK
REGIONAL MGR.		PLAN CHECKED	5/29/2020	MEJ
CONST. MGR.		AS-BUILT	XXXX	XXXX
OPERATIONS DEPT.				
REAL ESTATE DEPT.				
CO-SIGN SIGNATURES				
CONTRACTOR				
OWNER				

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M.E. JEITNER
 Professional Engineer
 PENNSYLVANIA LICENSE NO. PE055733
 NEW JERSEY LICENSE NO. 24GE0449300
 DELAWARE LICENSE NO. 18315

TAX MAP SHEET 5 - BLOCK 502 - LOT 13.02
PRELIMINARY / FINAL MAJOR SITE PLANS

PLAN SCALE: AS NOTED

STREET ADDRESS
 4295 US ROUTE 130

TOWNSHIP
 EDGEWATER PARK

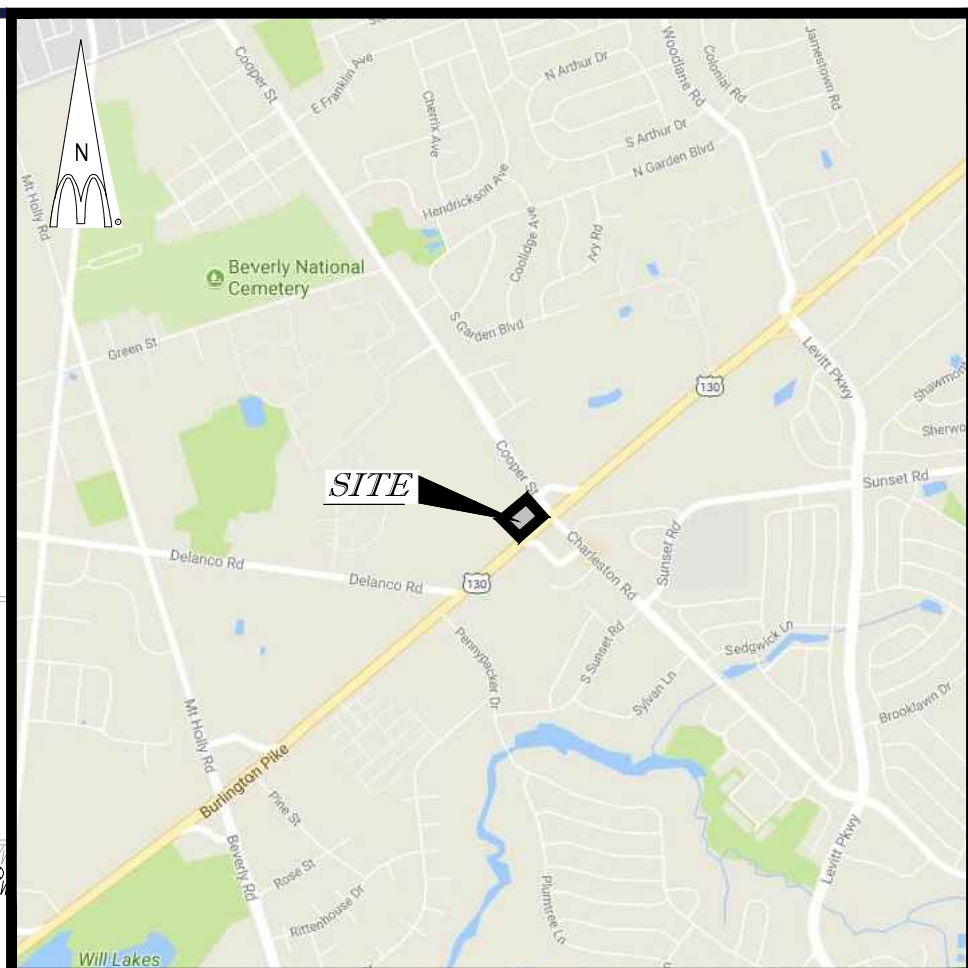
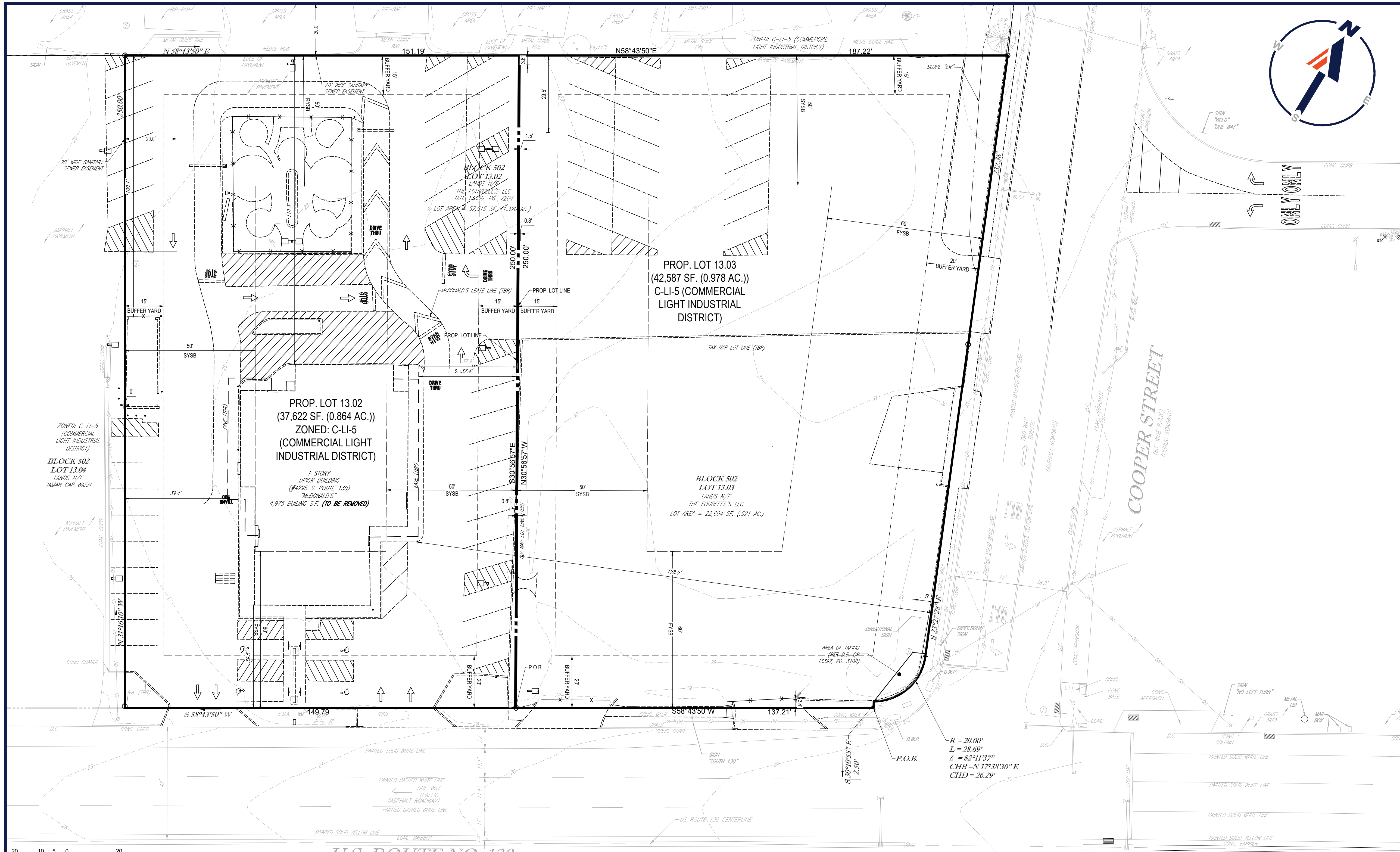
COUNTY
 BURLINGTON

STATE
 NJ

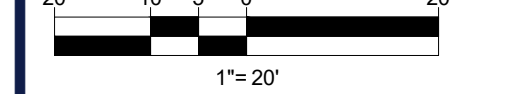
REGIONAL DWG. NO
 LC #29-0019

PLAN DESCRIPTION
EXISTING CONDITIONS PLAN

CAD FILE: PY1700901-SITE-1



LOCATION MAP
1"=2000'



U.S. ROUTE NO. 130
(A.K.A. BURLINGTON PIKE)
(103' WIDE R.O.W.)
(PUBLIC ROADWAY)

ZONING REQUIREMENTS

REQUIREMENTS TAKEN FROM EDGEWATER PARK TOWNSHIP ORDINANCE
ZONED: C-LI-5 - COMMERCIAL LIGHT INDUSTRIAL DISTRICT
EXISTING USE: FAST FOOD RESTAURANT (NOT PERMITTED) & GAS STATION (PERMITTED AS CONDITIONAL USE)

BULK REQUIREMENTS	REQUIRED	EXISTING CONSOLIDATED LOT	PROPOSED LOT 13.02	PROPOSED LOT 13.03
MINIMUM REQUIREMENTS				
LOT AREA:	5 AC.	1,841 AC. (80,209 SF.) (ENC)	0,864 AC. (37,622 SF.) (V)	0,978 AC. (42,587 SF.) (V)
FRONTAGE (US ROUTE 130)	300 FT.	287.0 FT. (ENC)	149.8 FT. (V)	137.2 FT. (V)
FRONTAGE (COOPER STREET)	300 FT.	N/A	232.4 FT. (V)	232.4 FT. (V)
LOT DEPTH	500 FT.	250.0 FT. (ENC)	250.0 FT. (V)	250.0 FT. (V)
LOT WIDTH	300 FT.	287.0 FT. (ENC)	149.8 FT. (V)	137.2 FT. (V)
MINIMUM BUILDING SETBACKS				
FRONT YARD (US ROUTE 130):	60 FT.	39.5 FT. (ENC)	39.5 FT.	N/A
FRONT YARD (COOPER ST.):	60 FT.	198.9 FT.	N/A	N/A
SIDE YARD (EA):	50 FT.	39.4 FT. (ENC)	37.9 FT.	N/A
REAR YARD:	50 FT.	118.3 FT.	118.3 FT.	N/A
MAXIMUM REQUIREMENTS				
BUILDING COVERAGE:	N/A	6.2% (4,975 SF.)	13.2% (4,975 SF.)	N/A
BUILDING HEIGHT:	45 FT.	<45 FT.	<45 FT.	N/A
IMPERVIOUS COVERAGE:	65%	88.2% (70,728 SF.) (ENC)	95.1% (35,770 SF.)	82.1% (34,957 SF.)
ACCESSORY USE REQUIREMENTS SPECIFIC TO REFUSE ENCLOSURES				
SIDE YARD	25 FT.	0.0 FT. (ENC)	0.0 FT.	N/A
REAR YARD	25 FT.	100.1 FT.	100.1 FT.	N/A
BUFFER MINIMUM				
FRONT YARD	20 FT.	2.5 FT. (ENC)	2.5 FT.	N/A
REAR YARD	15 FT.	0.0 FT. (ENC)	0.0 FT.	N/A
SIDE YARD	15 FT.	0.0 FT. (ENC)	0.0 FT.	N/A

V - VARIANCE
ENC - EXISTING NON CONFORMITY
ENC4 - EXISTING NON-CONFORMITY IMPROVED

REV	DATE	DESCRIPTION	BY	ISSUE REF
01	07/23/2020	REV FOR TOWNSHIP REVIEW		

FINAL PLAN SIGNATURES

P.M. _____
G.C. _____
O/O _____

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OFFICE: LIBERTY FET - PHILADELPHIA REGION
ADDRESS: 6903 ROCKLEDGE DRIVE, SUITE 1100 BETHESDA, MD 20817

PLAN APPROVALS	DATE	STATUS	DATE	BY
REGIONAL MGR.		PRELIMINARY	5/29/2020	JDK
CONST. MGR.		PLAN CHECKED	5/29/2020	MEJ
OPERATIONS DEPT.		AS-BUILT	XXXX	XXXX
REAL ESTATE DEPT.				
CONTRACTOR				
OWNER				

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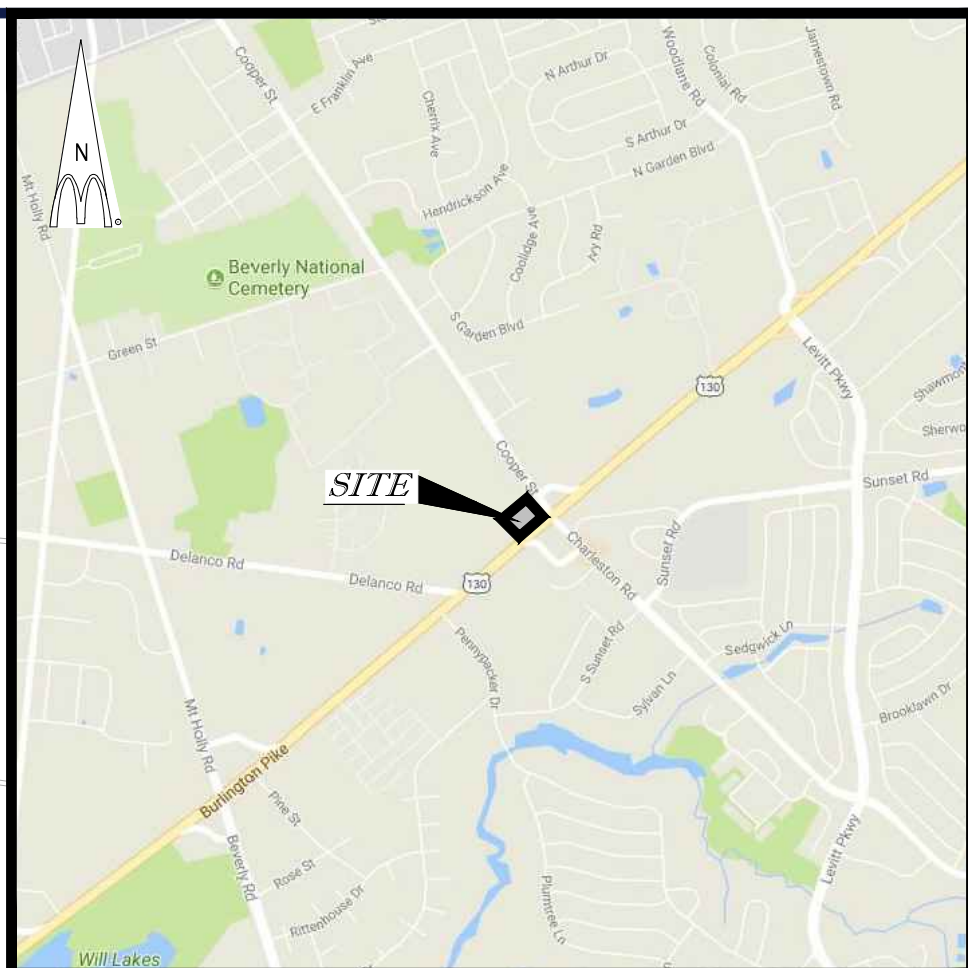
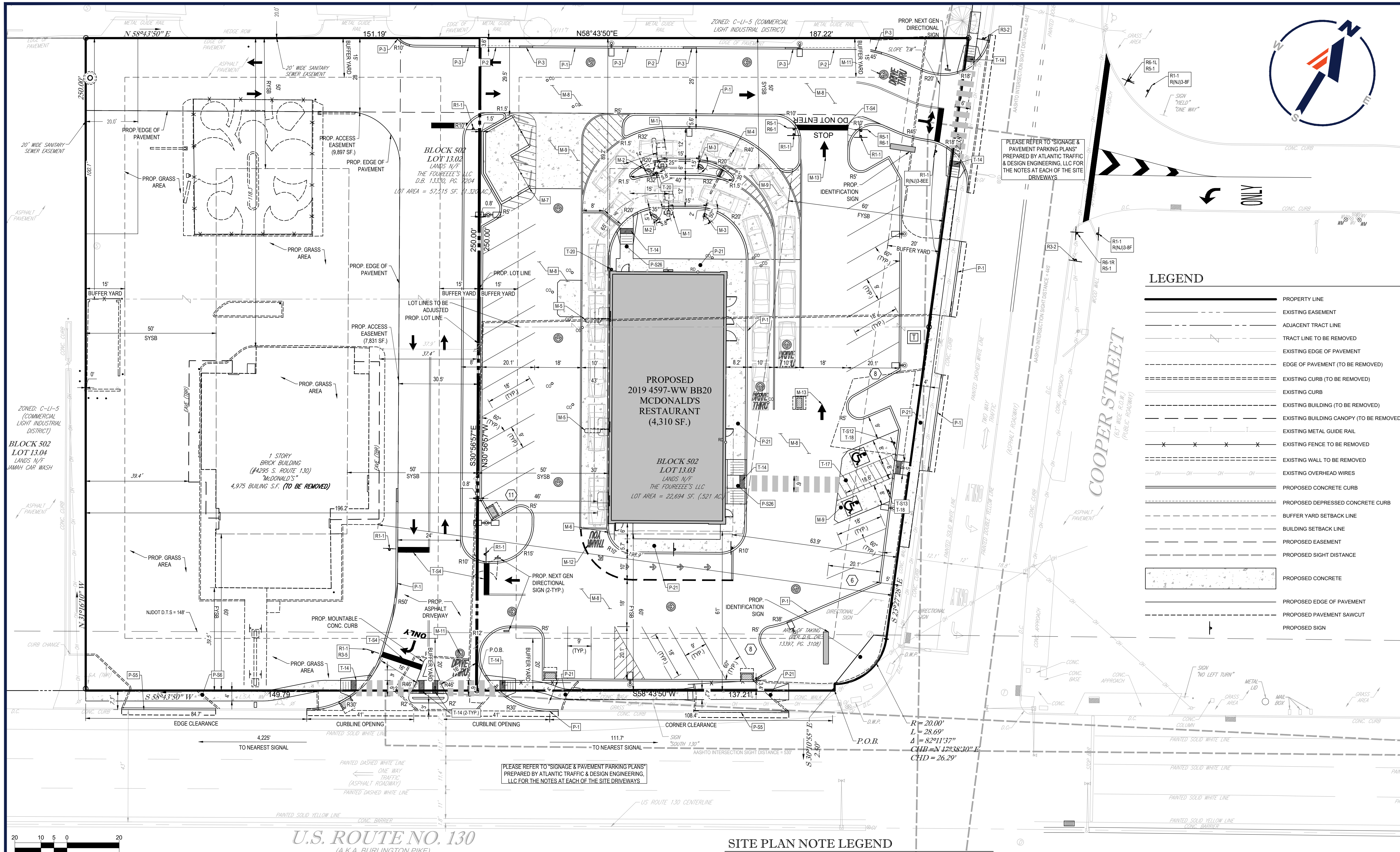
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M.E. JEITNER
Michael E. Jeitner

PROFESSIONAL ENGINEER:
PENNSYLVANIA LICENSE NO. PE055733
NEW JERSEY LICENSE NO. 24GE0449300
DELAWARE LICENSE NO. 18315

TAX MAP SHEET 5 - BLOCK 502 - LOT 13.02	
PRELIMINARY / FINAL MAJOR SITE PLANS	
PLAN SCALE: AS NOTED	
STREET ADDRESS 4295 US ROUTE 130	
TOWNSHIP EDGEWATER PARK	STATE NJ
COUNTY BURLINGTON	
REGIONAL DWG. NO. LC #29-0019	PLAN DESCRIPTION SUBDIVISION PLAN
CAD FILE: PY170091010-S1	



LOCATION MAP
1"=200'

- GENERAL DEVELOPMENT NOTES**
- McDonald's road sign and base are by the sign contractor. CONDUIT AND WIRING ARE BY THE GENERAL CONTRACTOR. THE FOUNDATION DESIGNS ARE BY OTHERS.
 - BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL OTHER SIGNS ARE BY THE GENERAL CONTRACTOR.
 - 3/4" EMPTY CONDUIT TO LOCATIONS SHOWN AT THE LOT PERIMETER FOR LOT LIGHTING IS BY THE GENERAL CONTRACTOR, AS ARE CONDUITS AND WIRING, LIGHTING FIXTURES, BASES, AND POLES ARE SUPPLIED BY THE OWNER/OPERATOR.
 - PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
 - THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING.
 - ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND/BREAK.
 - FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT UNLESS OTHERWISE NOTED ON THESE PLANS.
 - ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.
 - LOT LIGHTING CONCRETE FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE.
 - ALL DIMENSIONS SHOWN ARE TAKEN FROM FACE OF CURB UNLESS OTHERWISE INDICATED.
 - ALL FEATURES SHOWN ARE EXISTING UNLESS OTHERWISE INDICATED.

- PAVING SPECIFICATION**
(PROPOSED BY WHITESTONE ASSOCIATES, INC. - GEOTECH REPORT DATED 2/14/2020)
- ASPHALT PAVING**
1.5" NJDOT SUPERPAVE 9.5 MM (PG 64-22)
3.0" NJDOT SUPERPAVE 19.0 MM (PG 64-22)
6.0" NJDOT DENSE GRADED AGGREGATE
- DRIVE-THRU CONCRETE PAVING**
6.0" AIR ENTRAINED CONCRETE (4,000 PSI)
8.0" NJDOT DENSE GRADED AGGREGATE
- NOTE: McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S. OTHERWISE, C.S. WILL BE CHANGED. FOLLOW MINIMUM STANDARDS ABOVE OR MATCH EXISTING DEPTHS, WHICHEVER IS LARGER.

- LOT LIGHTING TO BE SUPPLIED BY**
- SECURITY LIGHTING
1085 JOHNSON DR.
BUFFALO GROVE, IL 60089
1-800-544-4248
- NOTE: ELECTRICAL CONTRACTOR TO CIRCUIT LOT LIGHTING AS NOTED.

PARKING INFORMATION

33	3	SPACES	g' x 20.1' @ 90'
	28	SPACES	g' x 18' @ 60'
	2 (A.D.A.)	SPACES	8' x 18.6' @ 60'
		SPACES	x @

UTILITY INFORMATION

	SIZE	TYPE	LOCATION
WATER	EXISTING	"PUBLIC WATER" SERVICE	
SANITARY SEWER	EXISTING	"PUBLIC SEWER" SERVICE	
STORM SEWER	-	-	-
ELECTRIC	-	-	-

PREPARED BY: BLUE MARSH ASSOCIATES, INC.
TITLE: ALTA/NSPS LAND TITLE SURVEY
PROJECT NO: 18-B122-135

LEGEND

SANITARY SEWER	S	G	GAS	G
WATER	W	L	LOT LIGHT	L
STORM SEWER	ST	ST	EXISTING ELEVATION	86.5
ELECTRIC	E	E	PROPOSED ELEVATION	77.0

TAX MAP SHEET 5 - BLOCK 502 - LOT 13.02

PRELIMINARY / FINAL MAJOR SITE PLANS

PLAN SCALE: AS NOTED

STREET ADDRESS
4295 US ROUTE 130

TOWNSHIP	STATE	STATUS	DATE	BY
EDGEWATER PARK	NJ	PRELIMINARY	5/29/2020	JDK
		PLAN CHECKED	5/29/2020	MEJ
		AS-BUILT	XXXX	XXXX

REGIONAL DWG. NO
LC #29-0019

PLAN DESCRIPTION
SITE PLAN

CAD FILE: PY170090 SITE-1

REV	DATE	DESCRIPTION	BY	ISSUE REF
01	07/23/2020	REV FOR TOWNSHIP REVIEW		

McDonald's

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S USA, LLC AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

OFFICE: LIBERTY FET - PHILADELPHIA REGION
ADDRESS: 6905 ROCKLEDGE DRIVE, SUITE 1100 BETHESDA, MD 20817

PLAN APPROVALS	DATE	STATUS	DATE	BY
REGIONAL MGR.		PRELIMINARY	5/29/2020	JDK
CONST. MGR.		PLAN CHECKED	5/29/2020	MEJ
OPERATIONS DEPT.		AS-BUILT	XXXX	XXXX
REAL ESTATE DEPT.				
CONTRACTOR				
OWNER				

ZONING REQUIREMENTS

REQUIREMENTS TAKEN FROM EDGEWATER PARK TOWNSHIP ORDINANCE

ZONED: C-LI-5 - COMMERCIAL LIGHT INDUSTRIAL DISTRICT

EXISTING USE: FAST FOOD RESTAURANT (NOT PERMITTED) & GAS STATION (PERMITTED AS CONDITIONAL USE)

PROPOSED USE: FAST FOOD RESTAURANT (NOT PERMITTED)

BULK REQUIREMENTS	REQUIRED	EXISTING (OVERALL)	PROPOSED (OVERALL)	PROP. LOT 13.03	PROP. LOT 13.02
MINIMUM REQUIREMENTS					
LOT AREA:	5 AC.	1.841 AC. (80,209 SF.)	NO CHANGE	0.978 AC. (42,587 SF.) (V)	0.864 AC. (37,622 SF.) (V)
FRONTAGE WIDTH (US ROUTE 130):	300 FT.	287.0 FT.	NO CHANGE	137.2 FT. (V)	149.8 FT. (V)
FRONTAGE WIDTH (COOPER STREET):	300 FT.	232.4 FT.	NO CHANGE	232.4 FT. (V)	N/A
LOT DEPTH:	500 FT.	250.0 FT.	NO CHANGE	250.0 FT. (V)	250.0 FT. (V)
MINIMUM BUILDING SETBACKS					
FRONT YARD (US ROUTE 130):	60 FT.	39.5 FT.	61.0 FT.	61.0 FT.	N/A
FRONT YARD (COOPER ST.):	60 FT.	198.9 FT.	63.9 FT.	63.9 FT.	N/A
SIDE YARD (EA):	50 FT.	39.4 FT.	196.2 FT.	46.0 FT. (V)	N/A
REAR YARD:	50 FT.	118.3 FT.	89.2 FT.	89.2 FT.	N/A
MAXIMUM REQUIREMENTS					
BUILDING COVERAGE:	N/A	6.2% (4,975 SF.)	5.4% (4,310 SF.)	10.1% (4,310 SF.)	N/A
BUILDING HEIGHT:	45 FT.	<45 FT.	18.8 FT.	18.8 FT.	N/A
IMPERVIOUS COVERAGE:	65%	88.2% (70,728 SF.)	57.0% (45,702 SF.)	82.9% (35,293 SF.) (V)	27.7% (10,409 SF.)
ACCESSORY USE REQUIREMENTS SPECIFIC TO REFUSE ENCLOSURES					
SIDE YARD:	25 FT.	0.0 FT.	152.5 FT.	1.5 FT. (V)	N/A
REAR YARD:	25 FT.	100.1 FT.	29.5 FT.	29.5 FT.	N/A
BUFFER MINIMUM					
FRONT YARD:	20 FT.	2.5 FT.	3.4 FT.	3.4 FT. (V)	N/A
REAR YARD:	15 FT.	0.0 FT.	0.0 FT.	3.6 FT. (V)	0.0 FT. (V)
SIDE YARD:	15 FT.	0.0 FT.	0.0 FT.	0.8 FT. (V)	8.0 FT. (V)

*THE BULK REQUIREMENTS ARE CALCULATED TO THE BOUNDARY OF THE CONSOLIDATED LOT 13.02

V - VARIANCE
ENC - EXISTING NON CONFORMITY
ENC1 - EXISTING NON-COMFORMITY IMPROVED
ENC-R - EXISTING NON-COMFORMITY TO REMAIN

PARKING REQUIREMENTS

REQUIRED = 1 SPACE PER THREE (3) SEATS, PLUS 1 SPACE PER EMPLOYEE = (68 SEATS) + 12 EMPLOYEES = 32 SPACES

PROPOSED = 33 SPACES

GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

- THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
BLUE MARSH ASSOCIATES, INC.
1541 ROUTE 37 EAST, SUITE B
TOMAS RIVER, NJ 08753
PREPARED FOR: "McDONALD'S USA, LLC"
ENTITLED: "ALTANSIPS LAND TITLE SURVEY"
PROJECT NO.: 18-B122-135
DATED: 04-12-2018
REVISED: 02-19-2020
- APPLICANT: McDONALD'S USA, LLC
6905 ROCKLEDGE DRIVE, SUITE 1100
BETHESDA, MD 20817
C/O JONATHAN BASKE
OWNER: THE FOUR EES LLC
407 COTTAGE AVENUE
EDGEWATER PARK, NJ 08010
C/O EARL R. BLYLER III
- PROPERTY KNOWN AS TAX MAP SHEET 5, LOT 13.02 & 13.03, AS IDENTIFIED ON THE OFFICIAL TAX MAP OF EDGEWATER PARK TOWNSHIP, BURLINGTON COUNTY, STATE OF NEW JERSEY.
- AND THE ALL A.D.A. ACCESSIBLE PARKING SPACES, RAMPS AND ACCESSIBLE ROUTES SHALL BE CONSTRUCTED TO MEET CURRENT A.D.A. REQUIREMENTS, AS AMENDED.
- ALL FEATURES ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
- ALL FEATURES TO BE REMOVED ARE NOTED (TBR).

SITE PLAN NOTE LEGEND

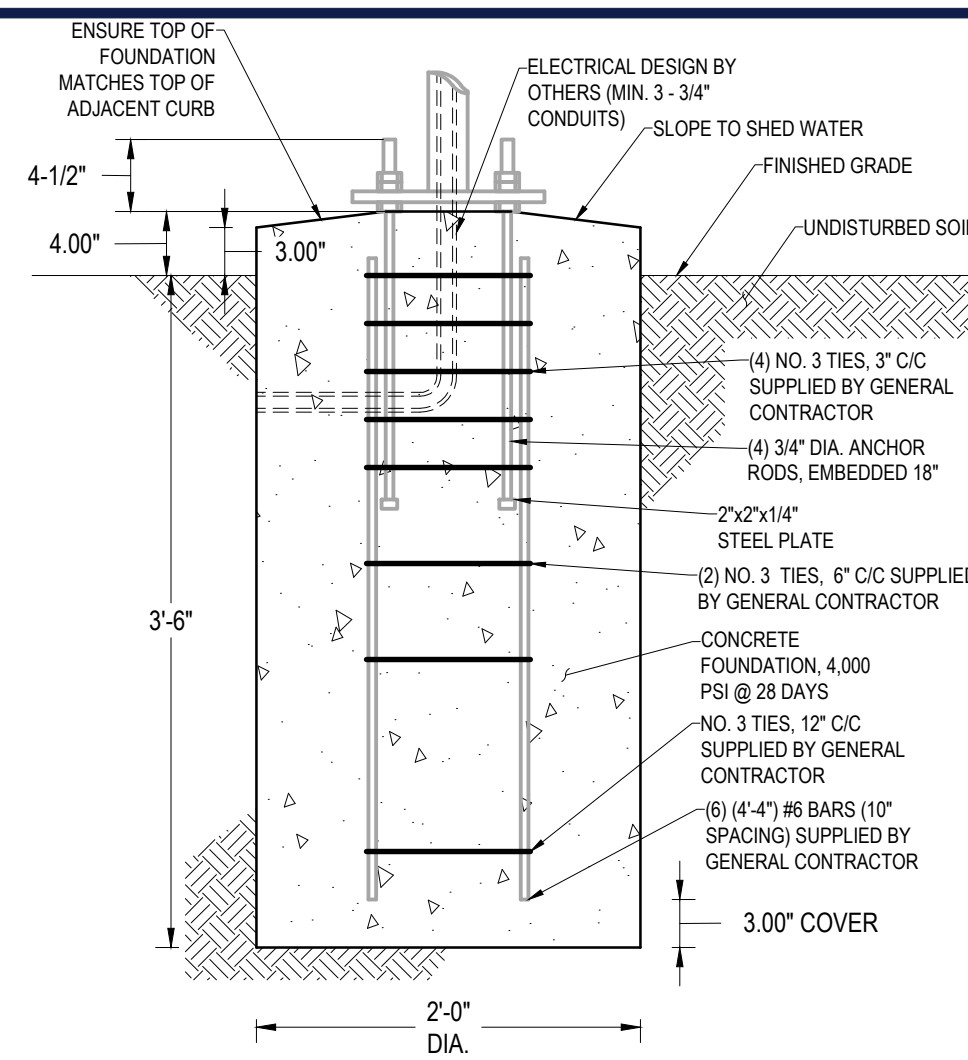
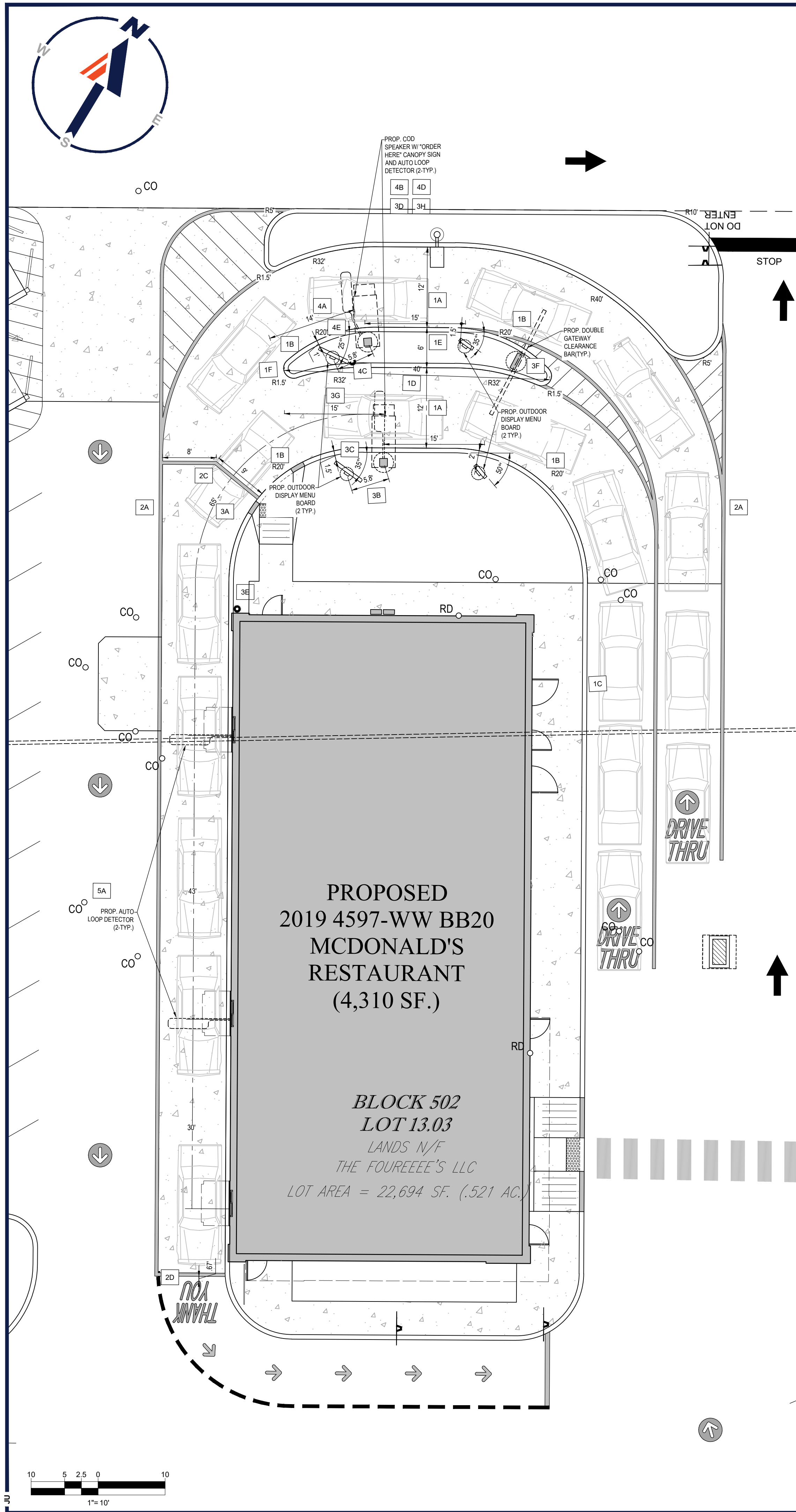
P1 PROPOSED TYPICAL CONCRETE CURB. SEE DETAILS.
P21 PROPOSED CONCRETE SIDEWALK. SEE DETAILS.
P3 PROPOSED TAPERED CURB. SEE DETAILS.
P2 PROPOSED TYPICAL FLUSH CONCRETE CURB. SEE DETAILS.
P-S26 PROPOSED A.D.A. CURB RAMP. SEE DETAILS.
P-S27 PROPOSED ALTERNATE TYPE 4A CURB RAMP. SEE DETAILS.
P-S28 PROPOSED FREESTANDING HANDRAIL WITH EDGE PROTECTION. SEE DETAILS.
S-12 PROPOSED CLEANOUT. SEE DETAILS.
S-13 PROPOSED CLEANOUT LANDSCAPE AREA. SEE DETAILS.
T-S4 PROPOSED WHITE PAINTED STOP BAR. SEE DETAILS.
T-17 PROPOSED ADA ACCESSIBLE PARKING SPACE. SEE DETAILS.
T-S17 PROPOSED RESERVED PARKING SPACE W/ PENALTIES & VAN ACCESSIBLE SIGNS. SEE DETAILS.
T-S13 PROPOSED RESERVED PARKING SPACE W/ PENALTIES SIGNS. SEE DETAILS.
T-14 PROPOSED TRUNCATED DOME PATTERN FOR ADA DETECTABLE WARNING. SEE DETAILS.
T-16 PROPOSED RESERVED PARKING SIGN WITHIN BOLLARD. SEE DETAILS.
T-20 PROPOSED BOLLARD
R-1 PROPOSED STOP SIGN. SEE DETAILS.
R-2 PROPOSED DO NOT ENTER SIGN. SEE DETAILS.
R-3 PROPOSED NO LEFT TURN SIGN. SEE DETAILS.
R-1 PROPOSED ONE WAY SIGN. SEE DETAILS.
R-1 PROPOSED LANE CONTROL SIGN. SEE DETAILS.
M-1 PROPOSED COO CANOPY.
M-2 PROPOSED OUTDOOR DISPLAY MENU BOARD.
M-3 PROPOSED PRE-BROWSE MENU BOARD.
M-4 PROPOSED GATEWAY CLEARANCE.
M-5 PROPOSED AUTO LOOP DETECTOR.
M-6 PROPOSED McDONALD'S HORIZONTAL. SEE DETAILS.
M-7 PROPOSED ANGLED TRASH ENCLOSURE. SEE DETAILS.
M-8 PROPOSED ASPHALT PAVEMENT. SEE DETAILS.
M-9 PROPOSED CONCRETE PAVEMENT. SEE DETAILS.
M-10 PROPOSED EXTERIOR GREASE TRAP. SEE DETAILS.
M-11 PROPOSED PAINTED TRAFFIC ARROWS & LETTERS. SEE DETAILS.
M-12 PROPOSED PULL FORWARD STRIPING. SEE DETAILS.
M-13 PROPOSED DIRECTIONAL PAVEMENT MARKING. SEE DETAILS.

BOHLER

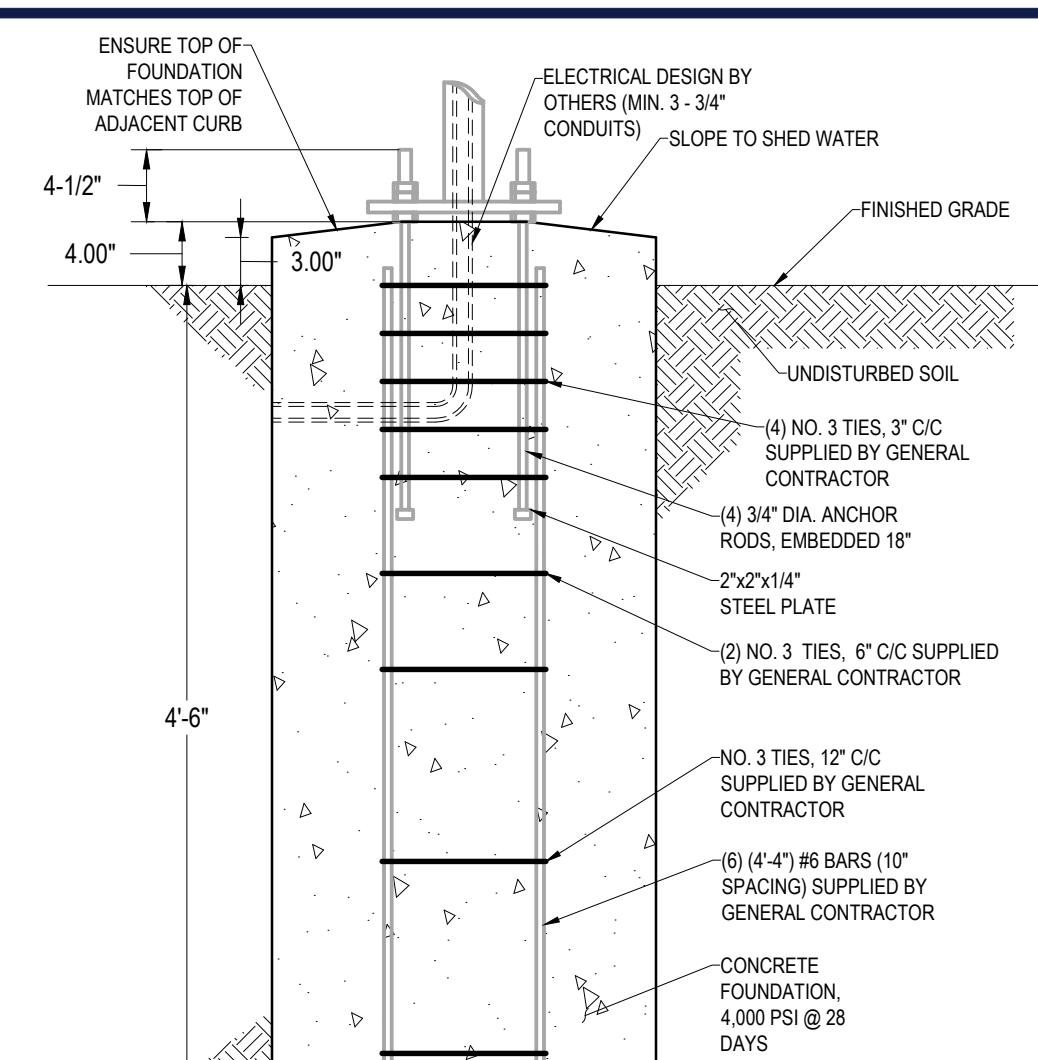
74 W BROAD STREET, SUITE 500
BETHLEHEM, PA 18018
Phone: (610) 709-9971
Fax: (610) 709-9976
www.BohlerEngineering.com

**SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING
PROGRAM MANAGEMENT
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SUSTAINABLE DESIGN
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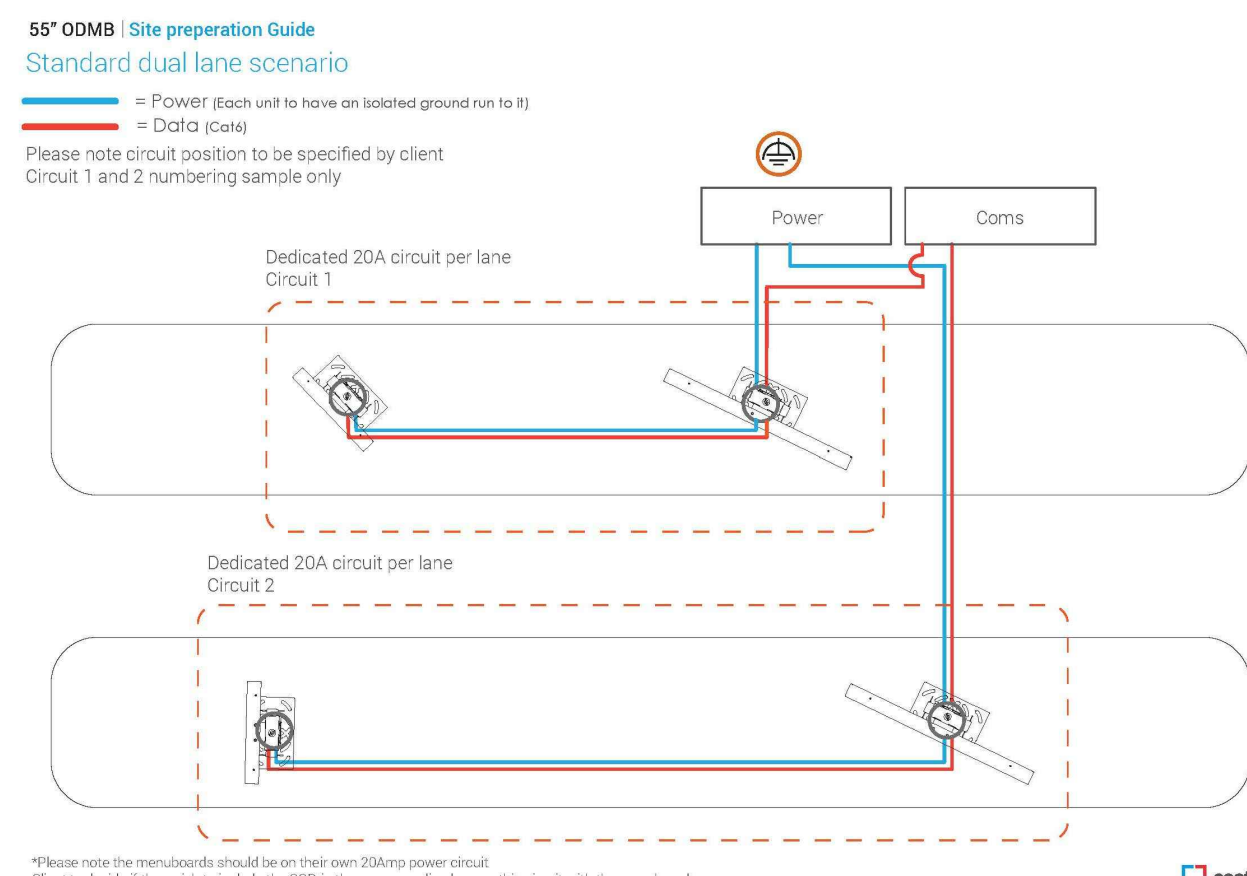
M.E. JEITNER
PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE NO. PE055732
NEW JERSEY LICENSE NO. 24GE0449300
DELAWARE LICENSE NO. 18315



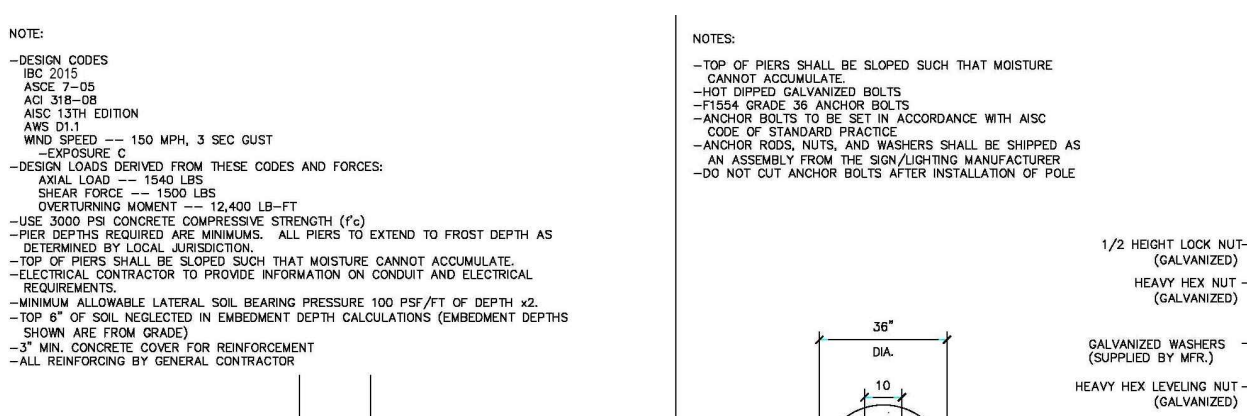
NOTES:
1. REINFORCING STEEL TO BE ASTM 615 GRADE 60 STEEL.
PRE-BROWSE MENU BOARD FOUNDATION DETAIL
SCALE: N.T.S.



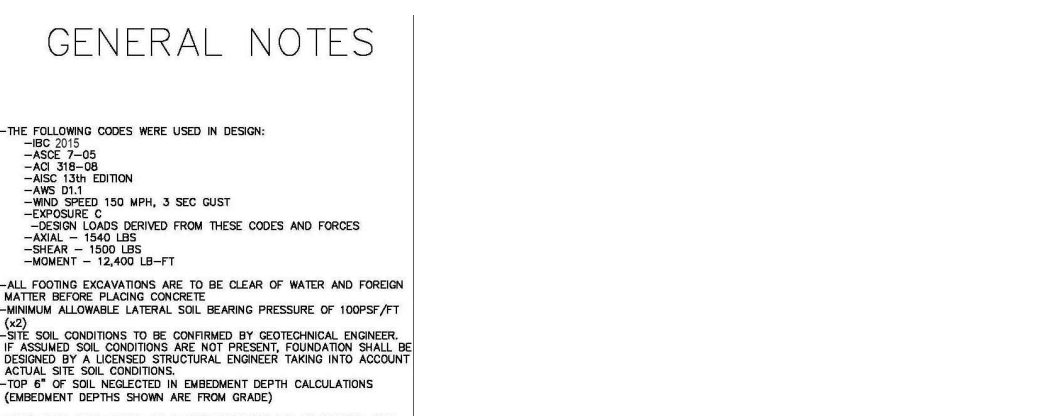
NOTES:
OUTDOOR DISPLAY MENU BOARD FOUNDATION DETAIL
SCALE: N.T.S.



LOW VOLTAGE CONDUIT & DRIVE-THRU POWER DIAGRAM
SCALE: N.T.S.



GATEWAY CLEARANCE FOUNDATION DETAIL
SCALE: N.T.S.



ODMB MOUNTING PLATE DETAIL
SCALE: N.T.S.

GENERAL NOTES
-THE FOLLOWING CODES WERE USED IN DESIGN:
-ASCE 7-10
-ACI 308
-ACI 311
-ACI 315
-ACI 318
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SIDE BY SIDE DRIVE-THRU STANDARD D (WITH ODMB)

- 1. SIDE BY SIDE DRIVE-THRU STANDARD D CURBING DETAILS:
1A DRIVE-THRU LANES BOUND BY CURB ON BOTH SIDES ARE TO BE 12'-0" LANES BOUND BY CURB ON ONE SIDE AND PAINTED STRIPING ON THE OTHER SIDE ARE TO BE A MIN. OF 10'-0" (SHOWN)
1B THE MIN. RADIUS FOR ALL INSIDE/DRIVER'S SIDE DRIVE-THRU CURBING IS 20'-0" (20'-0" MIN. SHOWN)
1C PRIMARY LANE CURBING SHOULD BE AS STRAIGHT AS POSSIBLE. (LESS CURVING, THE BETTER) (SHOWN)
1D THE OVERALL LENGTH OF THE CURBED ISLAND SHOULD BE 35'-45". THE LENGTH OF THE ISLAND FROM THE COD ALLOWS FOR THREE CARS IN THE SECONDARY LANE, TWO IN THE PRIMARY LANE AND ONE AT THE COMMITMENT POINT. (40' SHOWN)
1E ISLAND WIDTH SHOULD BE MIN. 6'-0" AT THE WIDEST POINT (FACE OF CURB TO FACE OF CURB). (6'-0' SHOWN)
1F RADIUS FOR THE ISLAND TIP SHALL BE 1'-6" (SHOWN)
2. SIDE BY SIDE DRIVE-THRU STANDARD D PAVEMENT MARKINGS:
2A 6" WIDE YELLOW PAINT STRIPE TO SPAN OUTER EDGE OF THE ENTIRE DRIVE-THRU LANE. (SHOWN)
2B DOUBLE-HEADED ARROW PAVEMENT MARKING, STANDARD STRIPING MARKINGS ARE 7" SHAF, 7" ARROW STEM AND 3" FOR THE ARROW HEAD. TIP OF ARROW HEAD TO BE LOCATED AT CENTER OF EACH LANE. (NOT SHOWN)
2C MERGE POINT IS LOCATED WHERE TWO VEHICLES LEAVING EACH CANOPY SIMULTANEOUSLY MEET. THE MERGE POINT STRIPING IS TO BE LOCATED BY OFFSETTING THE INNER PRIMARY LANE BACK OF CURB 8'-0" AND OFFSETTING THE OUTER LANE STRIPING 8'-0" AT THE INTERSECTION OF THESE OFFSETS. A 6" YELLOW STRIPE IS TO BE MARKED PERPENDICULAR TO THE OUTER LANE AS WELL AS THE INNER PRIMARY LANE. (SHOWN)
2D THE WORDS "THANK YOU" ARE TO BE PLACED 8" FROM THE EDGE OF THE YELLOW STRIPE TO THE BOTTOM OF THE "THANK YOU". (SHOWN)
2E THE 8" YELLOW STRIPE IS TO BE PLACED 40'-0" FROM THE CENTER LINE OF THE OPEN PRESENT WINDOW AND IS FOR PARKING CARS THAT ARE WAITING FOR ORDERS. (NOT SHOWN)
3. SIDE BY SIDE DRIVE-THRU STANDARD D EQUIPMENT POSITIONING FOR PRIMARY LANE:
3A 60'-15" 00'-45" LINEAR DISTANCE BETWEEN THE CENTER LINE OF THE CANOPY FACE AND THE CENTER LINE OF THE OPEN ORDER BOOTH WINDOW AS MEASURED ALONG THE CENTER LINE OF THE LANE. THIS MAY ONLY BE INCREASED IN 20' INCREMENTS (45' FOR 80', 100', AND 120') 100'-0" IS OPTIMAL. (65' SHOWN)
3B THE CENTER OF THE PRIMARY MENU BOARD FOUNDATION IS TO BE 5'-0" (5'-0" MIN. AND 6'-0" MAX.) FROM THE CENTER OF THE COD FOUNDATION, WITH THE END CAP OF THE PRIMARY MENU BOARD NOT LESS THAN 12" FROM FACE OF CURB. (5'-9" SHOWN)
3C THE PRIMARY MENU BOARD SHOULD BE AT AN ANGLE BETWEEN 25° AND 35° (35° PREFERRED) FROM A CAR POSITIONED AT THE COD TO WITH 100% VISIBILITY. (35° SHOWN)
3D AUGER 'MCDONALD'S ORDER HERE CANOPY' CANOPY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS. (SHOWN)
3E A SINGLE BOLLARD SHOULD BE POSITIONED AT THE CORNER OF THE BUILDING ON THE DRIVE-THRU SIDE. IT SHOULD BE FLUSH AGAINST THE BUILDING AND FACE OF THE BOLLARD SHOULD BE TIGHT AGAINST THE BACK OF THE CURB. (SHOWN)
3F AUGER 'MCDONALD'S GATEWAY' SIGN FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS. (SHOWN)
3G THE DISTANCE BETWEEN THE TIP OF THE CURBED ISLAND AND THE CENTER LINE OF THE PRIMARY COD MUST BE 15'-0". THIS MEASUREMENT IS TAKEN PARALLEL TO THE INSIDE CURB FACE OF THE PRIMARY LANE. (15' SHOWN)
3H THE PRIMARY LANE DETECTOR LOOP SHOULD BE PERPENDICULAR TO THE CENTER OF THE PRIMARY COD. (SHOWN)
4. SIDE BY SIDE DRIVE-THRU STANDARD D EQUIPMENT POSITIONING FOR SECONDARY LANE:
4A TO POSITION THE SECONDARY COD, DRAW AN ARC WITH A 14' RADIUS THAT IS CENTERED FROM THE MIDPOINT OF THE ISLAND TIP. THEN OFFSET THE FACE OF THE CURB BY 24" TO DETERMINE THE LOCATION OF CENTER OF FOUNDATION OF THE SECONDARY COD. (14' SHOWN)
4B WHEN THE SECONDARY COD IS LOCATED AT 14'-0" FROM THE TIP OF THE CURBED ISLAND, THE LOOP DETECTOR IS TO BE 2'-0" FORWARD OF THE COD CENTER LINE WITH THE LOOP FACING FORWARD AND THE DETECTOR LOOP PERPENDICULAR TO THE SECONDARY COD WHEN POSSIBLE. (SHOWN)
4C THE CENTER OF THE SECONDARY MENU BOARD FOUNDATION SHOULD BE LOCATED 5'-0" (5'-0" MIN. AND 6'-0" MAX.) FROM THE CENTER OF THE SECONDARY COD. THE END CAP OF THE SECONDARY MENU BOARD SHOULD NOT BE LESS THAN 12" FROM FACE OF CURB. (5'-9" SHOWN)
4D AUGER 'MCDONALD'S ORDER HERE CANOPY' CANOPY FOUNDATION TIGHT AGAINST BACK OF CURB. SEE MANUFACTURER/LOCAL SPECIFICATIONS FOR DETAILS. (SHOWN)
4E THE SECONDARY MENU BOARD SHOULD BE AT AN ANGLE OF APPROXIMATELY 25° FROM VEHICLE AT COD WITH 100% VISIBILITY. (25° SHOWN)
4F 'ANY LANE, ANY TIME' BOLLARD SIGN MUST BE A MIN. OF 1'-6" FROM FACE OF CURB AT BEGINNING OF THE LANDSCAPE ISLAND. BOLLARD SIGN IS TO BE ORIENTED AT AN ANGLE OF 90° FROM THE CURB. (NOT SHOWN)
5. SIDE BY SIDE DRIVE-THRU STANDARD D DETECTOR LOOP:
5A DETECTOR LOOPS SHALL BE LOCATED AT THE CENTER OF THE OPENING WINDOW AT THE CASH AND PRESENT BOOTHS. (SHOWN)

SIDE BY SIDE DRIVE-THRU STANDARD D OPTIONAL FEATURES:

- 1. SIDE BY SIDE DRIVE-THRU STANDARD D OPTIONAL EQUIPMENT:
1A PRE-BROWSE BOARD MUST BE 12" FROM FACE OF CURB (18" - 24" PREFERRED). THE DISTANCE BETWEEN THE PRIMARY CANOPY AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG THE FACE OF THE CURB. THE ANGLE OF THE PRE-BROWSE BOARD (APPROXIMATELY 50 DEGREES) SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM CANOPY. (2' AND 50' SHOWN)
1B PRE-BROWSE BOARD MUST BE MIN. 12" FROM FACE OF CURB. THIS IS MEASURED FROM THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE CENTER OF THE CANOPY FOUNDATION. THE DISTANCE BETWEEN THE CANOPY AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG THE FACE OF CURB. THE ANGLE OF THE PRE-BROWSE BOARD SHOULD MAXIMIZE VISIBILITY TO THE SECOND CAR FROM CANOPY (PREFERRED 35 DEGREES). (DIGITAL MENU BOARD LAYOUT) (15' AND 35' SHOWN)

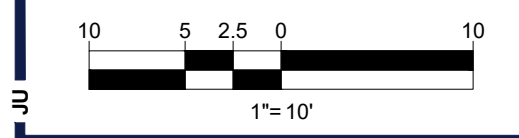
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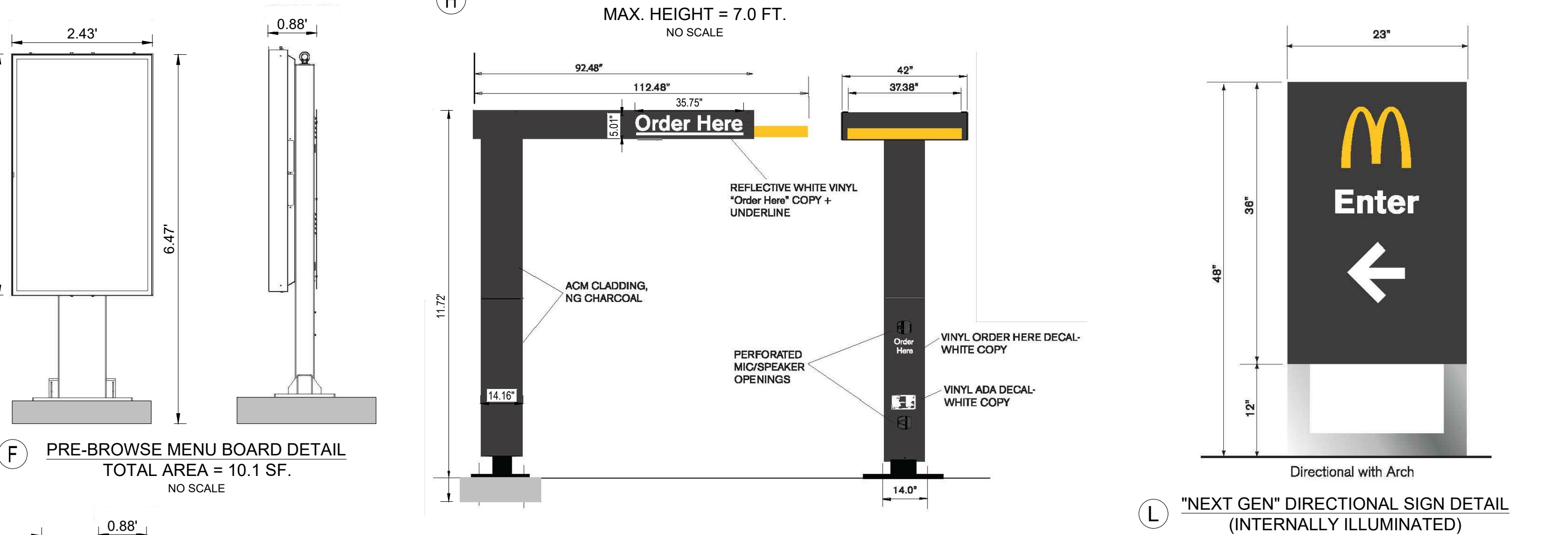
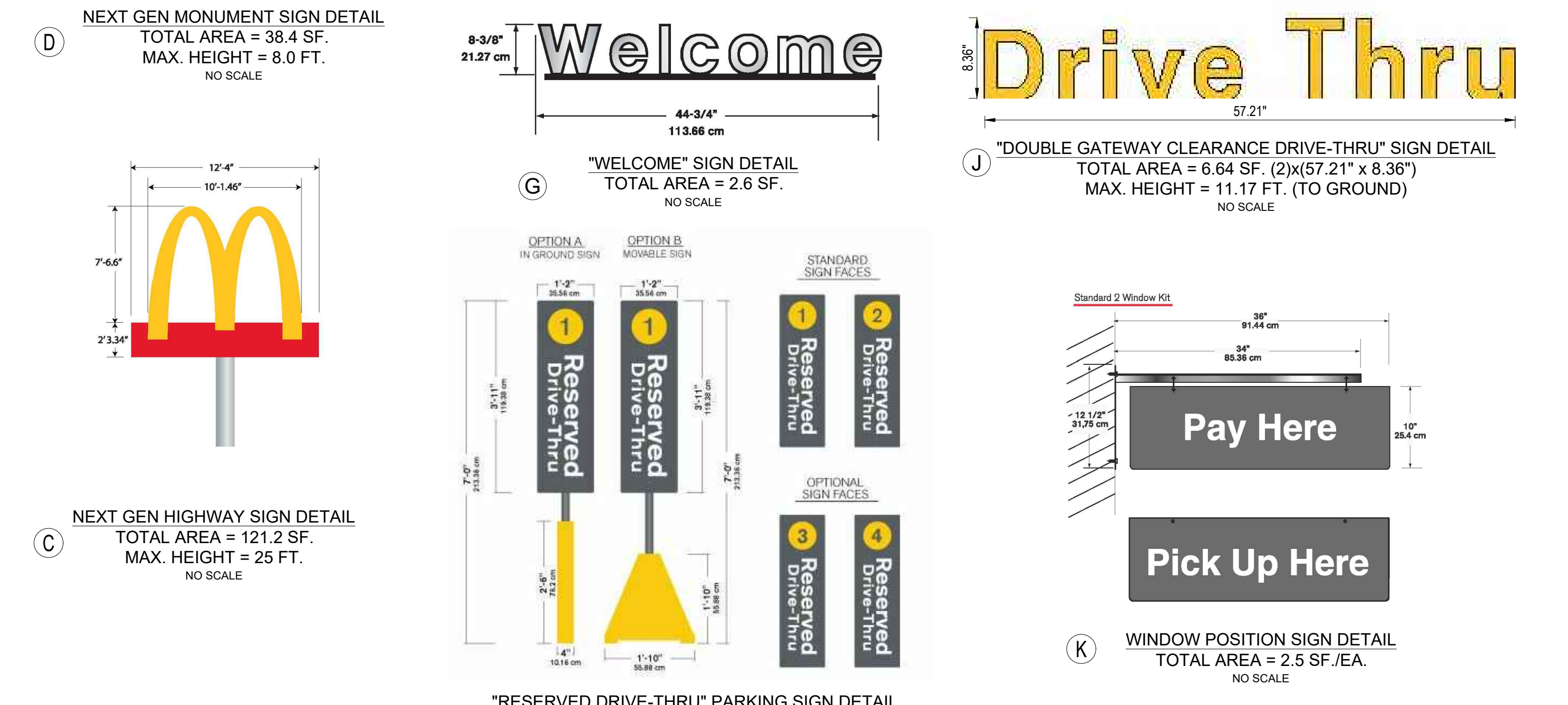
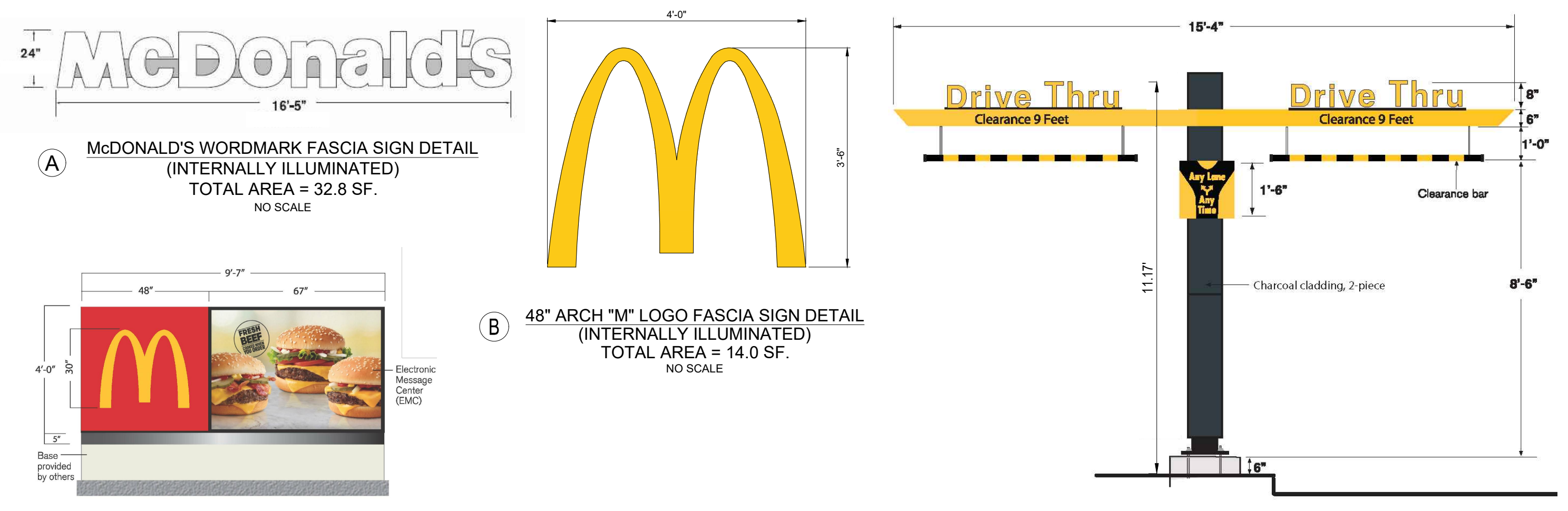
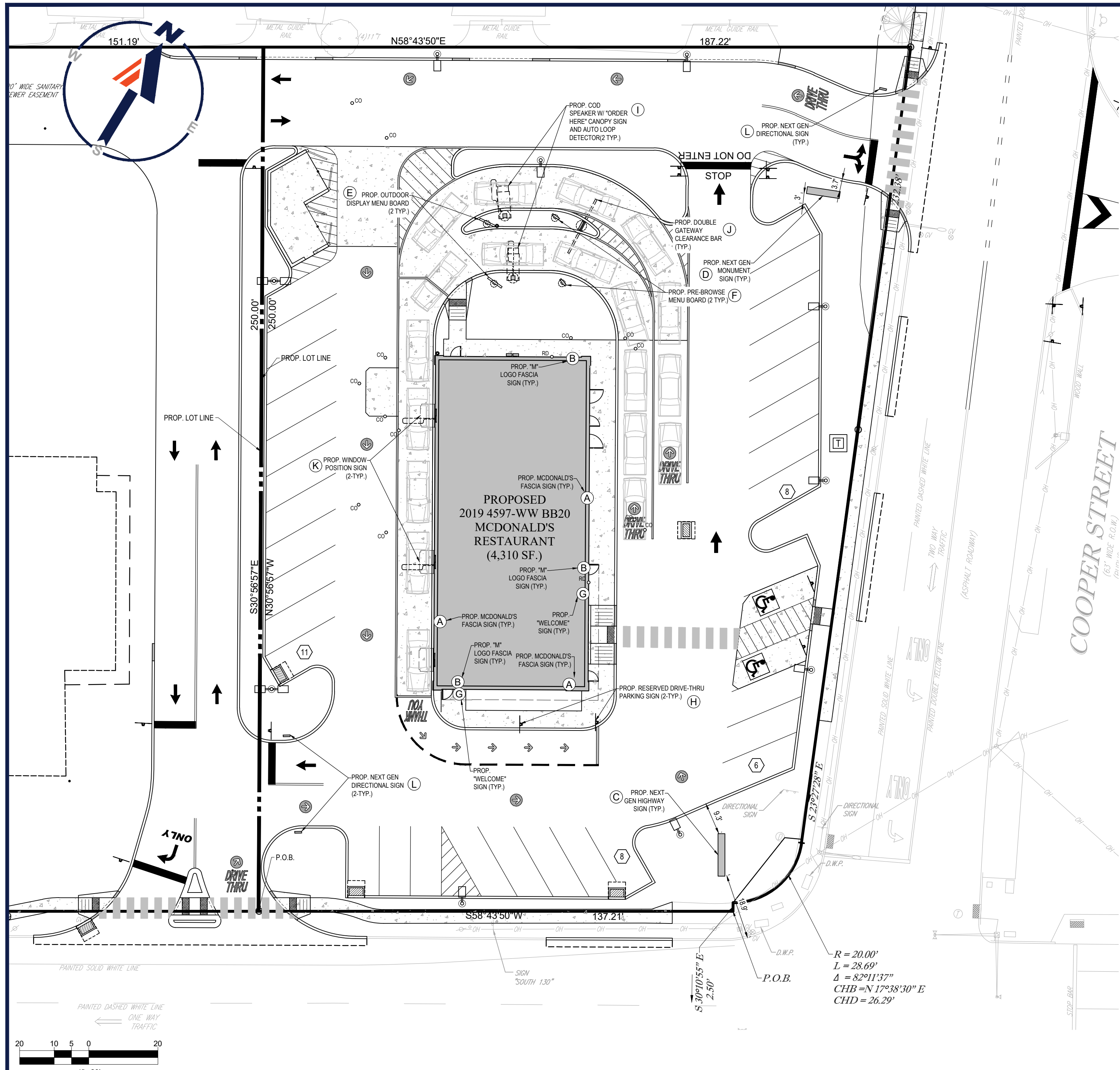
- 1. THE REGIONAL CONSTRUCTION MANAGER IS TO REVIEW AND APPROVE ALL DRIVE-THRU LAYOUTS. A DRIVE-THRU IS FINAL, AND CONSIDERED "RED", ONCE APPROVED. NO CHANGES ARE TO BE MADE AFTER THIS POINT.
2. DUE TO THE EXACT GEOMETRY REQUIRED FOR THE EFFICIENT OPERATION OF THIS DRIVE-THRU LAYOUT, IT IS REQUIRED THAT ALL DRIVE-THRU EQUIPMENT AND PAVEMENT IMPROVEMENTS TO BE FIELD LOCATED BY A LICENSED SURVEYOR.
3. THE PLACEMENT OF THE CANOPIES AND ANY ADDITIONAL EQUIPMENT SHOULD BE SUCH THAT IT PREVENTS, OR MINIMIZES, BLOCKING THE CUSTOMER'S VIEW OF THE MENU BOARD WHILE ORDERING.
4. THIS SIDE BY SIDE DRIVE-THRU STANDARD A IS BASED ON THE PROTOTYPICAL MCDONALD'S 4597 BUILDING.
5. ALL DRIVE THRU EQUIPMENT SUPPLIED BY MCDONALD'S APPROVED SUPPLIERS.

ISSUE REF.	BY	NUM.	DESCRIPTION	REV FOR TOWNSHIP REVIEW	DATE
1A					
1B					
1C					
1D					
1E					
1F					
2A					
2B					
2C					
2D					
2E					
3A					
3B					
3C					
3D					
3E					
3F					
3G					
3H					
4A					
4B					
4C					
4D					
4E					
4F					
5A					

PLAN APPROVALS		DATE	STATUS	DATE	BY
SIGNATURE (2 REQUIRED)			PRELIMINARY	5/29/2020	JDK
REGIONAL MGR.			PLAN CHECKED	5/29/2020	MEJ
CONST. MGR.			AS-BUILT	XXXX	XXXX
OPERATIONS DEPT.					
REAL ESTATE DEPT.					
CO-SIGN SIGNATURES					
CONTRACTOR					
OWNER					

TAX MAP SHEET 5 - BLOCK 502 - LOT 13.02
PRELIMINARY / FINAL MAJOR SITE PLANS
PLAN SCALE: AS NOTED
STREET ADDRESS
4295 US ROUTE 130
TOWNSHIP: EDGEWATER PARK
STATE: NJ
COUNTY: BURLINGTON
REGIONAL DWG. NO: LC #29-0019
PLAN DESCRIPTION: **DRIVE THRU PLAN**





BUSINESS SIGNAGE TABLE			
SYM.	DESCRIPTION	PROPOSED AREA	PERMITTED AREA
A	"MCDONALD'S" FASCIA SIGN	3 @ 32.8 SF./EA.	MAX. AREA = SEE BELOW**
B	"M" LOGO FASCIA SIGN	3 @ 14 SF./EA.	MAX. AREA = SEE BELOW**
C	"PLAYPLACE" FASCIA SIGN	NONE	MAX. AREA = SEE BELOW**
D	NEXT GEN MONUMENT SIGN (COOPER STREET) (W)***	1 @ 38.4 SF. MAX HEIGHT = 8 FT. SETBACK = 3.0 FT. (W)	MAX. AREA = 75 SF. MAX HEIGHT = 8 FT. MIN. SETBACK = 15 FT.
E	NEXT GEN HIGHWAY SIGN (ROUTE 130)	1 @ 121.2 SF. (ENC-4) MAX HEIGHT = 25 FT. (ENC-4) SETBACK = 9.3 FT. (ENC-4)	1 @ APPROX. 560 SF. (ENC) HEIGHT = 25.5 FT. (ENC) SETBACK = 3.7 FT. (ENC) TO BE REMOVED
F	PRE-BROWSE MENU BOARD (M)***	2 @ 10.1 SF./EA. MAX HEIGHT = 6.47 FT.	N/A
G	"WELCOME" SIGN	2 @ 2.6 SF.	N/A
H	RESERVED DRIVE THRU SIGN	2 @ 4.6 SF./EA. MAX. HEIGHT = 7.0 FT.	N/A
I	"ORDER HERE" CANOPY SIGN	2 @ 1.24 SF./EA. MAX. HEIGHT = 11.72 FT.	N/A
J	DOUBLE GATEWAY CLEARANCE DRIVE-THRU SIGN	1 @ 3.32 SF./EA. MAX. HEIGHT = 11.17 FT.	N/A
K	WINDOW POSITION SIGN (ATTACHED TO BUILDING)	2 @ 2.5 SF./EA. (ATTACHED TO BUILDING)	N/A
L	"NEXT GEN" DIRECTIONAL SIGN	3 @ 5.75 SF./EA. MAX. HEIGHT = 4.0 FT.	N/A
TOTAL		PROP. # OF SIGNS = 8 (N) PROP. AREA SIGNS = 300 SF.	EXIST. # OF SIGNS = 4 (ENC) EXIST. AREA SIGNS = 637.84 SF.

INFORMATIONAL AND DIRECTIONAL SIGNAGE TABLE			
SYM.	DESCRIPTION	PROPOSED AREA	PERMITTED AREA
E	OUTDOOR DISPLAY MENU BOARD (M)***	2 @ 20.0 SF./EA. MAX HEIGHT = 6.47 FT.	N/A
F	PRE-BROWSE MENU BOARD (M)***	2 @ 10.1 SF./EA. MAX HEIGHT = 6.47 FT.	N/A
G	"WELCOME" SIGN	2 @ 2.6 SF.	N/A
H	RESERVED DRIVE THRU SIGN	2 @ 4.6 SF./EA. MAX. HEIGHT = 7.0 FT.	N/A
I	"ORDER HERE" CANOPY SIGN	2 @ 1.24 SF./EA. MAX. HEIGHT = 11.72 FT.	N/A
J	DOUBLE GATEWAY CLEARANCE DRIVE-THRU SIGN	1 @ 3.32 SF./EA. MAX. HEIGHT = 11.17 FT.	N/A
K	WINDOW POSITION SIGN (ATTACHED TO BUILDING)	2 @ 2.5 SF./EA. (ATTACHED TO BUILDING)	N/A
L	"NEXT GEN" DIRECTIONAL SIGN	3 @ 5.75 SF./EA. MAX. HEIGHT = 4.0 FT.	N/A
TOTAL		PROP. # OF SIGNS = 16 PROP. AREA SIGNS = 102.7 SF.	EXIST. # OF SIGNS = 6 EXIST. AREA SIGNS = 64 SF.

V - VARIANCE REQUIRED
 ENC - EXISTING NON-CONFORMITY
 ENC-4 - EXISTING NON-CONFORMITY IMPROVED

** MAX. NUMBER OF SIGNS = NO MORE THAN TWO BUSINESS SIGNS PER FREESTANDING BUSINESS. NO MORE THAN ONE SIGN SHALL BE PERMITTED TO BE AN ATTACHED SIGN, AND NO MORE THAN ONE SIGN SHALL BE PERMITTED TO BE A MONUMENT SIGN. THEREFORE ONE SIGN (I) IS PERMITTED. PER DISCUSSIONS AT THE MARSH RD. 3020 MEETING, IT WAS BROUGHT TO THE APPLICANTS ATTENTION THAT THEY WOULD BE PERMITTED A MONUMENT SIGN ON BOTH ROUTE 130 AND COOPER STREET BECAUSE MCDONALD'S IS ON A CORNER LOT.

*** MAX. AREA OF SIGNS = MAXIMUM SIGN AREA SHALL BE THE LESS OF FORTY SQUARE FEET OR TEN PERCENT OF THE EXTERIOR FACADE ELEVATION. THEREFORE FORTY(40) SQUARE FEET IS PERMITTED.

ROUTE 130 FACADE = 1 * (32.8 SF. + 14 SF.) = 46.8 SF. (V)
 COOPER STREET FACADE = 1 * (32.8 SF. + 14 SF.) = 46.8 SF. (V)
 DRIVE-THRU FACADE = 32.8 SF.
 REAR FACADE = 14 SF.

SIGN AREA PER BUILDING FACADE

ROUTE	PROPOSED AREAS	PERMITTED AREAS	EXISTING AREAS
ROUTE 130 FACADE	2 SIGNS @ 46.8 SF. (A)(B) (5.5% OF FACADE) (ENC-4)	1 SIGN @ 40 SF. OR 10% OF FACADE	3 SIGNS @ 77.8 SF. (ENC)
COOPER STREET FACADE	2 SIGNS @ 46.8 SF. (A)(B) (2.6% OF FACADE) (V)	1 SIGN @ 40 SF. OR 10% OF FACADE	NONE
REAR FACADE	1 SIGN @ 14 SF. (B) (1.7% OF FACADE)	1 SIGN @ 40 SF. OR 10% OF FACADE	NONE
DRIVE-THRU FACADE	1 SIGN @ 32.8 SF. (B) (1.5% OF FACADE)	1 SIGN @ 40 SF. OR 10% OF FACADE	NONE

*** VARIANCE REQUIRED FROM SECTION 16-90.1(A)(1) DUE TO THE CHANGEABLE TYPE NATURE OF THE SIGN

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TAX MAP SHEET 5 - BLOCK 502 - LOT 13.02

PRELIMINARY / FINAL MAJOR SITE PLANS

PLAN SCALE: AS NOTED

STREET ADDRESS
 4295 US ROUTE 130

TOWNSHIP
 EDGEWATER PARK

STATE
 NJ

COUNTY
 BURLINGTON

REGIONAL DWG. NO
 LC #29-0019

PLAN DESCRIPTION
SIGNAGE PLAN

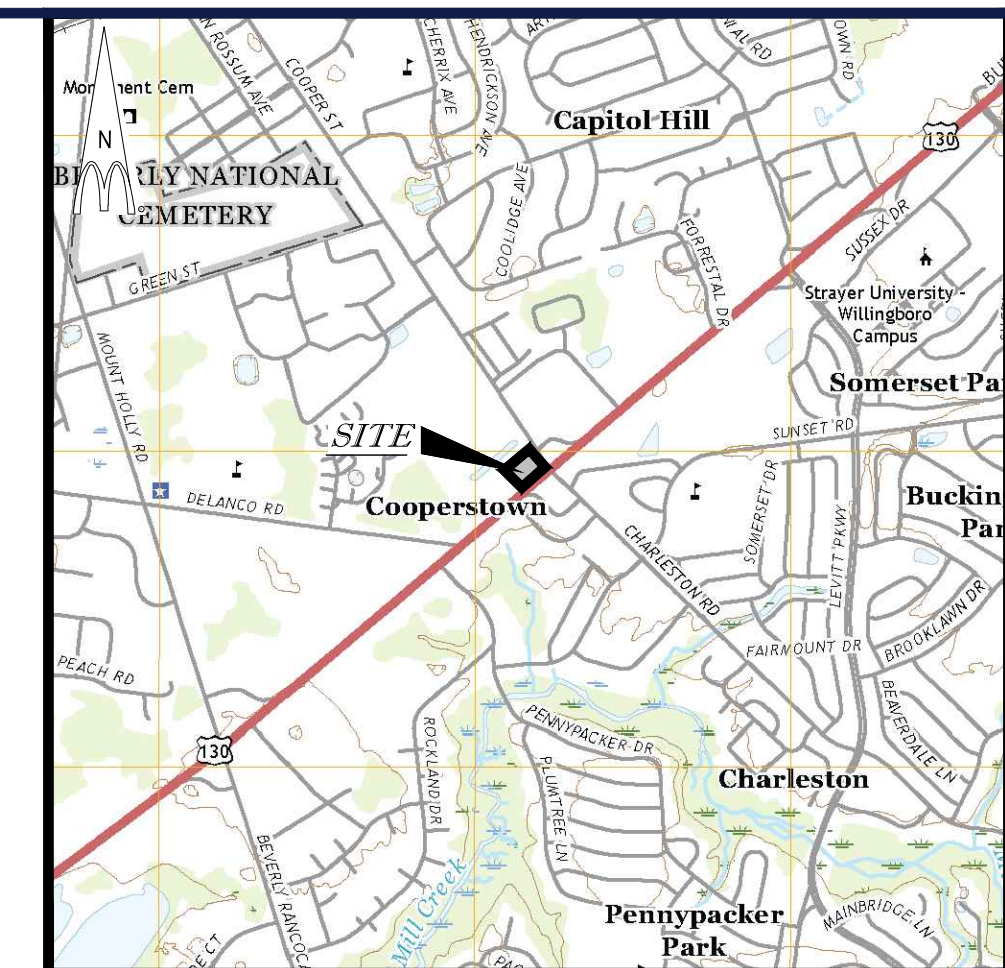
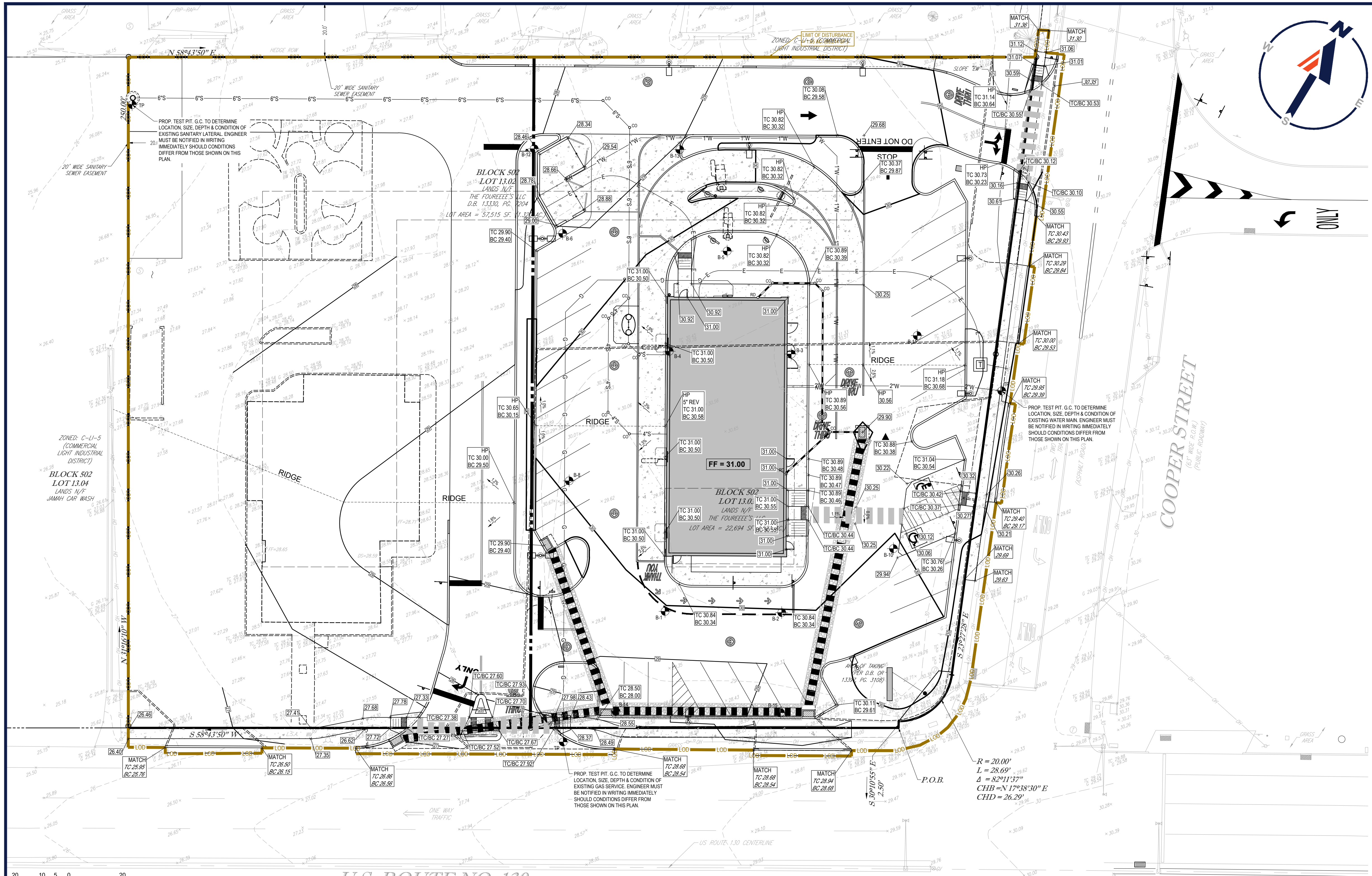
PLAN APPROVALS	DATE	STATUS	DATE	BY
SIGNATURE (S REQUIRED)		PRELIMINARY	5/29/2020	JDK
		PLAN CHECKED	5/29/2020	MEJ
		AS-BUILT	XXXX	XXXX

CO-SIGN SIGNATURES	CONTRACTOR	OWNER

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 LIBERTY FET - PHILADELPHIA REGION
 6905 ROCKLEDGE DRIVE, SUITE 1100
 BETHESDA, MD 20817

ISSUE REF	BY	DESCRIPTION	DATE	REV	DATE	FINAL PLAN SIGNATURES
				01	07/23/2020	P.M. G.C. O/O



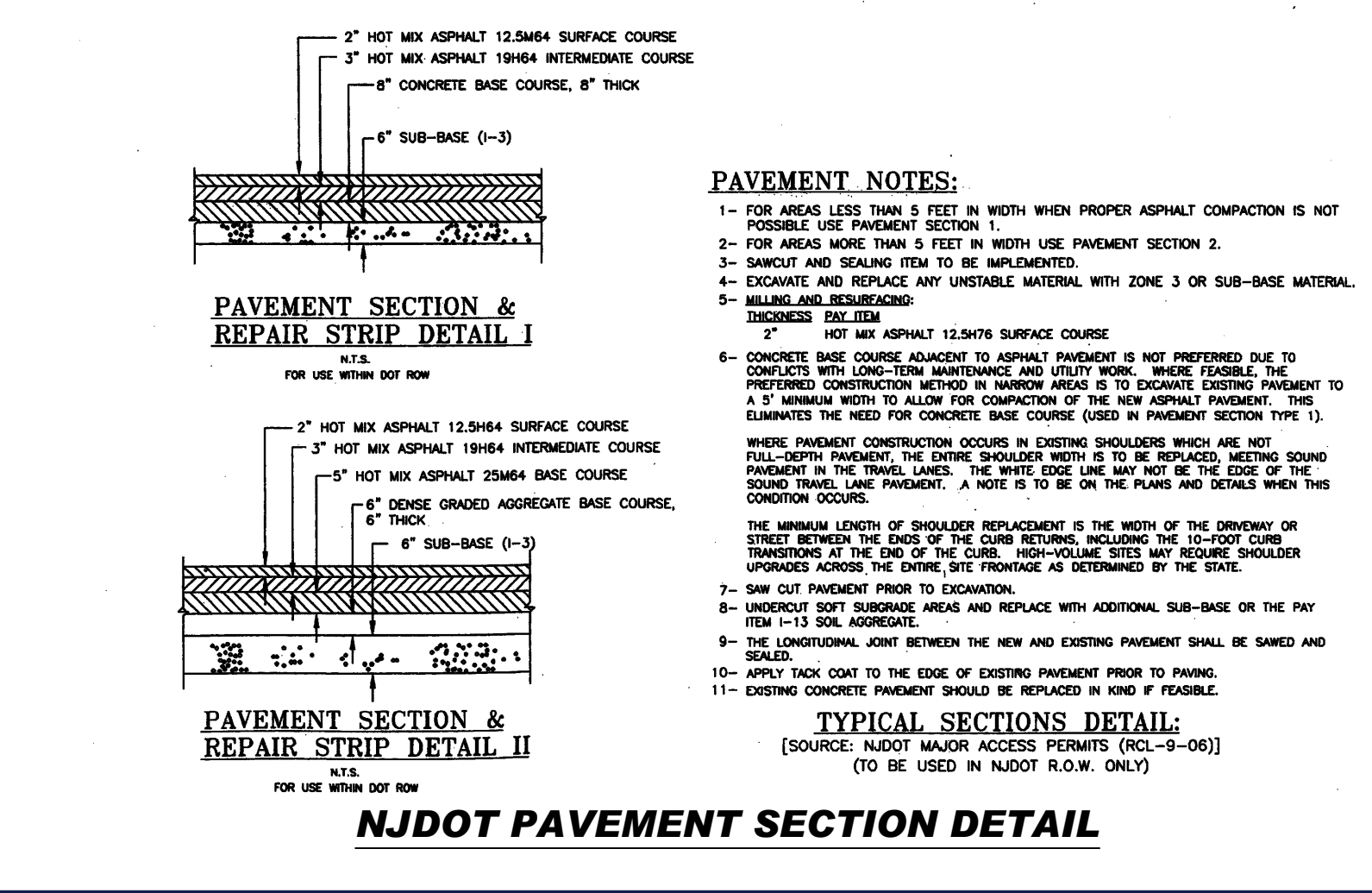
LEGEND

	PROPOSED CONTOURS
	EXISTING CONTOURS
	LIMIT OF DISTURBANCE
	PROPOSED SANITARY SEWER LINE
	PROPOSED WATER LINE
	PROPOSED GAS LINE
	PROPOSED UNDERGROUND ELECTRIC LINE
	EXISTING OVERHEAD WIRES
	PROPOSED CURB
	EXISTING CURB (TO BE REMOVED)
	EXISTING BUILDING (TO BE REMOVED)
	EDGE OF PAVEMENT (TO BE REMOVED)
	PROPOSED RIDGE LINE
	PROPOSED ROOF DRAIN
	PROPOSED PERFORATED PIPE W/ STONE TRENCH
	PROPOSED SANITARY MANHOLE
	EXISTING SANITARY MANHOLE
	EXISTING SPOT ELEVATIONS
	PROPOSED GREEN TURTLE 1500 GALLON GREASE TRAP
	PROPOSED SPOT ELEVATIONS
	PROPOSED CLEANOUT
	PROPOSED TRANSFORMER ON CONCRETE PAD
	BORING LOCATION (REFER TO GEOTECHNICAL REPORT FOR RESULTS)
	PROPOSED TEST PIT
	EXISTING INLET
	PROPOSED TYPE B INLET WITH 4' X 4' BOX
	PROPOSED TYPE A INLET WITH 4' X 4' BOX

GENERAL NOTES

CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.

- THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
 - BLUE MARSH ASSOCIATES, INC. 1541 ROUTE 37 EAST, SUITE B TOMS RIVER, NJ 08753
 - PREPARED FOR: "MCDONALD'S USA, LLC" ENTITLED: "ALTA/TRANS LAND TITLE SURVEY" PROJECT NO.: 18-0122-135 DATED: 04-12-2018 REVISED: 02-19-2020
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTORS RESPONSIBILITY.
- APPLICANT: MCDONALD'S USA, LLC OWNER: THE FOUR EEEES LLC
6903 ROCKLEDGE DRIVE, SUITE 1100 407 COTTAGE AVENUE
BETHESDA, MD 20817 EDGEWATER PARK, NJ 08010
C/O JONATHAN BASKE C/O EARL R. BLYLER III
- PROPERTY KNOWN AS TAX MAP SHEET 5, LOT 13.02 & 13.03, BLOCK 502, AS IDENTIFIED ON THE OFFICIAL TAX MAP OF EDGEWATER PARK TOWNSHIP, BURLINGTON COUNTY, STATE OF NEW JERSEY.
- AND THE ALL A.D.A. ACCESSIBLE PARKING SPACES, RAMPS, AND ACCESSIBLE ROUTES SHALL BE CONSTRUCTED TO MEET CURRENT A.D.A. REQUIREMENTS, AS AMENDED.
- ALL FEATURES ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
- FEATURES TO BE REMOVED ARE NOTED (TBR).
- MCDONALD'S TO COORDINATE AND CONFIRM DELIVERY TRUCK PATH WITH DISTRIBUTION COMPANY IN ORDER TO REVIEW POTENTIAL IMPACT/CONFLICT WITH DRIVE THRU ORDER POINT CANOPIES.
- CONSTRUCTION MANAGER TO COORDINATE WITH OWNER/OPERATOR AND GENERAL CONTRACTOR TO POSITION MENU BOARD PLACEMENT IN THE FIELD FOR 100% VISIBILITY, PRIOR TO POURING OF SIGN FOUNDATIONS.
- SIGN FOUNDATIONS TO BE INSTALLED IN ACCORDANCE WITH FOUNDATION DESIGN PLANS PROVIDED BY THE MCD'S SIGN VENDOR. G.C. TO DIG FOUNDATIONS W/ AUGER DIGGER UNLESS SPECIFIED OTHERWISE BY SIGN VENDOR DRAWINGS.
- ELEVATIONS ARE BASED UPON (NAVD 88) DATUM ESTABLISHED ONSITE UTILIZING GLOBAL POSITIONING SYSTEM DATA COLLECTED.



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NEW JERSEY LICENSE NO. 24GE0449300
DELAWARE LICENSE NO. 18315

TAX MAP SHEET 5 - BLOCK 502 - LOT 13.02

PRELIMINARY / FINAL MAJOR SITE PLANS

PLAN SCALE: AS NOTED

STREET ADDRESS
4295 US ROUTE 130

TOWNSHIP: EDGEWATER PARK STATE: NJ

COUNTY: BURLINGTON

REGIONAL DWG. NO: LC #29-0019 PLAN DESCRIPTION: **GRADING PLAN**

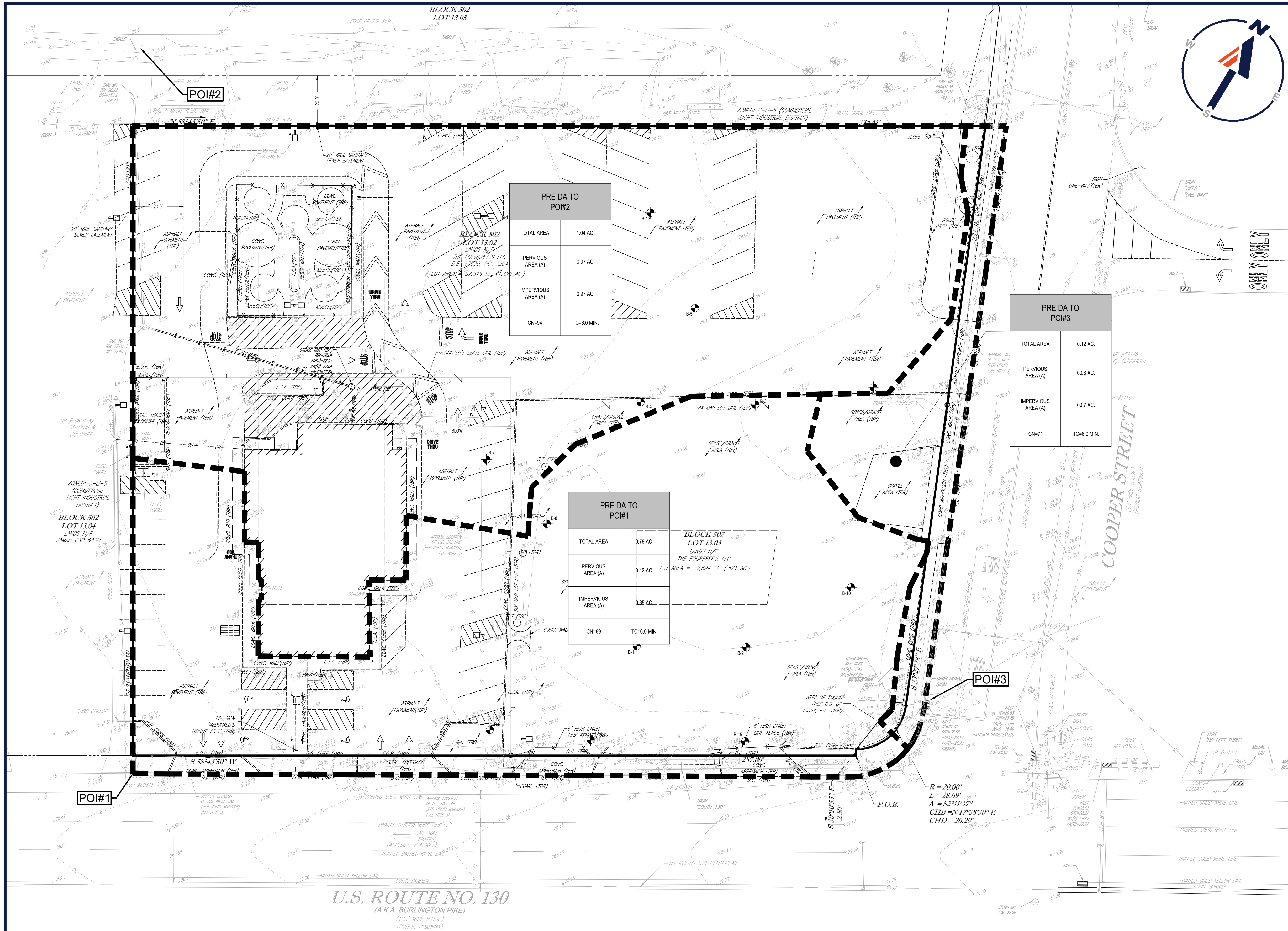
REV	DATE	DESCRIPTION	BY	ISSUE REF
01	07/23/2020	REV FOR TOWNSHIP REVIEW	NJM	

FINAL PLAN SIGNATURES	P.M.	G.C.	O/O

McDonald's	OFFICE	LIBERTY FET - PHILADELPHIA REGION
	ADDRESS	6903 ROCKLEDGE DRIVE, SUITE 1100 BETHESDA, MD 20817
	CONTRACTOR	OWNER

PLAN APPROVALS	DATE	STATUS	DATE	BY
SIGNATURE (IF REQUIRED)		PRELIMINARY	5/29/2020	JDK
REGIONAL MGR.		PLAN CHECKED	5/29/2020	MEJ
CONST. MGR.		AS-BUILT	XXXX	XXXX
OPERATIONS DEPT.				
REAL ESTATE DEPT.				

C-401
OF 20



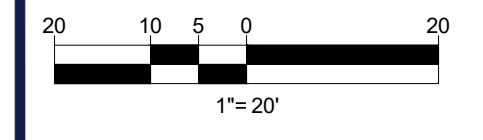
PRE DA TO POI#2	
TOTAL AREA	1.64 AC.
PERVIOUS AREA (A)	0.07 AC.
IMPERVIOUS AREA (A)	0.97 AC.
CN=94	TC=6.0 MIN.

PRE DA TO POI#3	
TOTAL AREA	0.12 AC.
PERVIOUS AREA (A)	0.06 AC.
IMPERVIOUS AREA (A)	0.07 AC.
CN=71	TC=6.0 MIN.

PRE DA TO POI#1	
TOTAL AREA	0.78 AC.
PERVIOUS AREA (A)	0.12 AC.
IMPERVIOUS AREA (A)	0.65 AC.
CN=89	TC=6.0 MIN.

LEGEND

- EXISTING CONTOURS
- EXISTING SANITARY SEWER LINE
- EXISTING SANITARY SEWER LINE TO BE REMOVED
- EXISTING WATER LINE
- EXISTING STORM SEWER LINE
- EXISTING GAS LINE
- EXISTING OVERHEAD WIRES
- EXISTING CURBS (TO BE REMOVED)
- EXISTING CURB
- EXISTING BUILDING (TO BE REMOVED)
- EDGE OF PAVEMENT (TO BE REMOVED)
- EXISTING PAVEMENT MARKINGS (TO BE REMOVED)
- PROPERTY LINE
- EXISTING EDGE OF PAVEMENT
- EXISTING EASEMENT
- ADJACENT TRACT LINE
- POINT OF INTEREST DRAINAGE BOUNDARY LINE (PRI)



U.S. ROUTE NO. 130
(A.K.A. BURLINGTON PIKE)
(105' WIDE R.O.W.)
(PUBLIC ROADWAY)

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NEW JERSEY LICENSE NO. 24GE0449300
DELAWARE LICENSE NO. 18315

TAX MAP SHEET 5 - BLOCK 502 - LOT 13.02

PRELIMINARY / FINAL MAJOR SITE PLANS

PLAN SCALE: AS NOTED

STREET ADDRESS
4295 US ROUTE 130

TOWNSHIP: EDGEWATER PARK STATE: NJ
COUNTY: BURLINGTON

REGIONAL DWG. NO: LC #29-0019 PLAN DESCRIPTION: **PRE-DEVELOPMENT DRAINAGE AREA PLAN**

CAD FILE: PY170090 SITE-1

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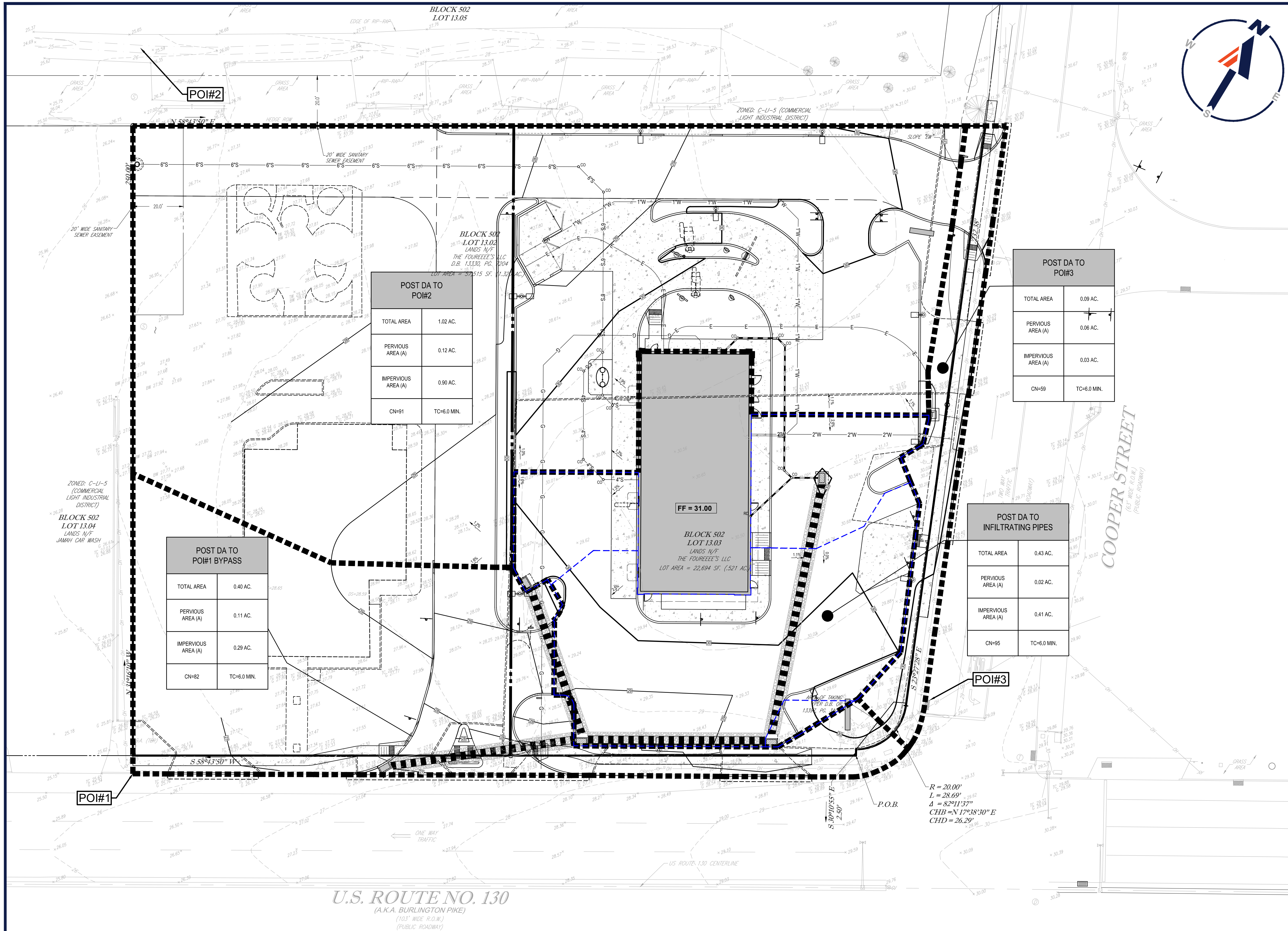
PLAN APPROVALS	DATE	STATUS	DATE	BY
SIGNATURE (2 REQUIRED)		PRELIMINARY	5/29/2020	JDK
REGIONAL MGR.		PLAN CHECKED	5/29/2020	MEJ
CONST. MGR.		AS-BUILT	XXXX	XXXX
OPERATIONS DEPT.				
REAL ESTATE DEPT.				
CONTRACTOR				
OWNER				

FINAL PLAN SIGNATURES: P.M., G.C., O/O

REV: 01 DATE: 07/23/2020 DESCRIPTION: REV FOR TOWNSHIP REVIEW

BY: NUM. ISSUE REF.

C-402
OF 20



LEGEND

- PROPOSED CONTOURS
- EXISTING CONTOURS
- 6" S 6" S 6" S PROPOSED SANITARY SEWER LINE
- 2" W 2" W 2" W PROPOSED WATER LINE
- G G G PROPOSED GAS LINE
- E E E PROPOSED UNDERGROUND ELECTRIC LINE
- EXISTING OVERHEAD WIRES
- PROPOSED CURB
- EXISTING CURB (TO BE REMOVED)
- EXISTING CURB
- EXISTING BUILDING (TO BE REMOVED)
- EDGE OF PAVEMENT (TO BE REMOVED)
- PROPOSED RIDGE LINE
- PROPOSED ROOF DRAIN
- PROPOSED PERFORATED PIPE W/ STONE TRENCH
- POINT OF INTEREST DRAINAGE BOUNDARY LINE (POST)
- INLET DRAINAGE AREA

POST DA TO POI#2

TOTAL AREA	1.02 AC.
PERVIOUS AREA (A)	0.12 AC.
IMPERVIOUS AREA (A)	0.90 AC.
CN#91	TC#6.0 MIN.

POST DA TO POI#3

TOTAL AREA	0.09 AC.
PERVIOUS AREA (A)	0.06 AC.
IMPERVIOUS AREA (A)	0.03 AC.
CN#99	TC#6.0 MIN.

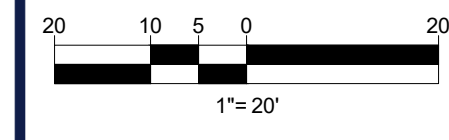
POST DA TO POI#1 BYPASS

TOTAL AREA	0.40 AC.
PERVIOUS AREA (A)	0.11 AC.
IMPERVIOUS AREA (A)	0.29 AC.
CN#82	TC#6.0 MIN.

POST DA TO INFILTRATING PIPES

TOTAL AREA	0.43 AC.
PERVIOUS AREA (A)	0.02 AC.
IMPERVIOUS AREA (A)	0.41 AC.
CN#95	TC#6.0 MIN.

U.S. ROUTE NO. 130
(A.K.A. BURLINGTON PIKE)
(105' WIDE R.O.W.)
(PUBLIC ROADWAY)



FINAL PLAN SIGNATURES		REV	DATE	DESCRIPTION	BY	ISSUE REF
P.M.		01	07/23/2020	REV FOR TOWNSHIP REVIEW	NJM	
G.C.						
O/O						

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OFFICE	LIBERTY FET - PHILADELPHIA REGION	ADDRESS	6905 ROCKLEDGE DRIVE, SUITE 1100 BETHESDA, MD 20817

PLAN APPROVALS		DATE
SIGNATURE (2 REQUIRED)		
REGIONAL MGR.		
CONST. MGR.		
OPERATIONS DEPT.		
REAL ESTATE DEPT.		
CO-SIGN SIGNATURES		
CONTRACTOR		
OWNER		

TAX MAP SHEET 5 - BLOCK 502 - LOT 13.02	
PRELIMINARY / FINAL MAJOR SITE PLANS	
PLAN SCALE: AS NOTED	
STREET ADDRESS 4295 US ROUTE 130	
TOWNSHIP EDGEWATER PARK	STATE NJ
COUNTY BURLINGTON	
REGIONAL DWG. NO. LC #29-0019	PLAN DESCRIPTION POST-DEVELOPMENT DRAINAGE AREA PLAN
CAD FILE: PY170090 SITE-1	

STATUS	DATE	BY
PRELIMINARY	5/29/2020	JDK
PLAN CHECKED	5/29/2020	MEJ
AS-BUILT	XXXX	XXXX

C-403	
OF 20	

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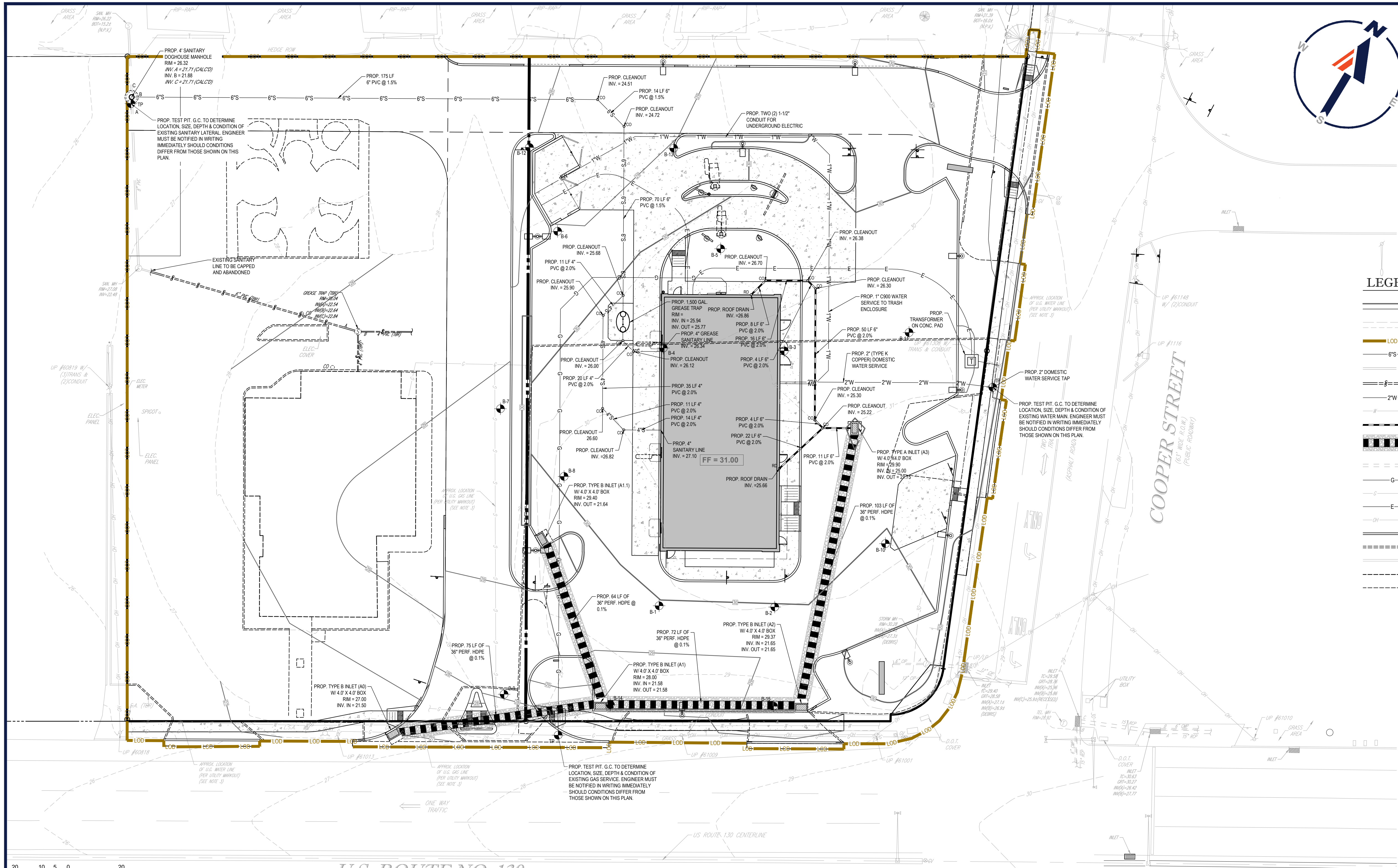
M.E. JEITNER
Professional Engineer
MICHAEL E. JEITNER

PROFESSIONAL ENGINEER:
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PERMITTING SERVICES
TRANSPORTATION SERVICES



LEGEND

	PROPOSED CONTOURS
	EXISTING CONTOURS
	LIMIT OF DISTURBANCE
	PROPOSED SANITARY SEWER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING SANITARY SEWER LINE TO BE REMOVED
	PROPOSED WATER LINE
	EXISTING WATER LINE
	PROPOSED ROOF DRAIN
	PROPOSED PERFORATED PIPE W/ STONE TRENCH
	EXISTING STORM SEWER LINE
	PROPOSED GAS LINE
	EXISTING GAS LINE
	PROPOSED UNDERGROUND ELECTRIC LINE
	EXISTING OVERHEAD WIRES
	PROPOSED CURB
	EXISTING CURB (TO BE REMOVED)
	EXISTING CURB
	EXISTING BUILDING (TO BE REMOVED)
	EDGE OF PAVEMENT (TO BE REMOVED)
	PROPOSED SANITARY MANHOLE
	EXISTING SANITARY MANHOLE
	EXISTING SANITARY MANHOLE TO BE REMOVED
	PROPOSED GREEN TURTLE 1500 GALLON GREASE TRAP
	EXISTING CLEANOUT TO BE REMOVED
	PROPOSED CLEANOUT
	PROPOSED TRANSFORMER ON CONCRETE PAD
	BORING LOCATION (REFER TO GEOTECHNICAL REPORT FOR RESULTS)
	PROPOSED TEST PIT
	EXISTING INLET
	PROPOSED TYPE B INLET WITH 4' X 4' BOX
	EXISTING TYPE A INLET WITH 4' X 4' BOX



GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.
- THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS SITE PLAN:
 - BLUE MARSH ASSOCIATES, INC. 1541 ROUTE 37 EAST, SUITE B TOMS RIVER, NJ 08753
 - PREPARED FOR: "MCDONALD'S USA, LLC" ENTITLED: "ALTAIRSPS LAND TITLE SURVEY" PROJECT NO. 18-B122-133 DATED: 04-12-2018 REVISED: 02-19-2020
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST VERIFY THAT HE/SHE HAS THE LATEST EDITION OF THE DOCUMENTS REFERENCED ABOVE. THIS IS CONTRACTOR'S RESPONSIBILITY.
- APPLICANT: MCDONALD'S USA, LLC 6903 ROCKLEDGE DRIVE, SUITE 1100 BETHESDA, MD 20817 C/O JONATHAN BASKE
OWNER: THE FOUR EEEES LLC 407 COTTAGE AVENUE EDGEWATER PARK, NJ 08010 C/O EARL R. BLYLER III
- PROPERTY KNOWN AS TAX MAP SHEET 5, LOT 13.02 & 13.03, BLOCK 502, AS IDENTIFIED ON THE OFFICIAL TAX MAP OF EDGEWATER PARK TOWNSHIP, BURLINGTON COUNTY, STATE OF NEW JERSEY.
- AND THE ALL A.D.A. ACCESSIBLE PARKING SPACES, RAMPS, AND ACCESSIBLE ROUTES SHALL BE CONSTRUCTED TO MEET CURRENT A.D.A. REQUIREMENTS, AS AMENDED.
- ALL FEATURES ARE EXISTING TO REMAIN UNLESS OTHERWISE NOTED.
- FEATURES TO BE REMOVED ARE NOTED (TBR).
- MCDONALD'S TO COORDINATE AND CONFIRM DELIVERY TRUCK PATH WITH DISTRIBUTION COMPANY IN ORDER TO REVIEW POTENTIAL IMPACT/CONFLICT WITH DRIVE THRU ORDER POINT CANOPIES.
- CONSTRUCTION MANAGER TO COORDINATE WITH OWNER/OPERATOR AND GENERAL CONTRACTOR TO POSITION MENU BOARD PLACEMENT IN THE FIELD FOR 100% VISIBILITY, PRIOR TO POURING OF SIGN FOUNDATIONS.
- SIGN FOUNDATIONS TO BE INSTALLED IN ACCORDANCE W/FOUNDATION DESIGN PLANS PROVIDED BY THE MCD'S SIGN VENDOR. G.C. TO DIG FOUNDATIONS W/ AUGER DIGGER UNLESS SPECIFIED OTHERWISE BY SIGN VENDOR DRAWINGS.
- ELEVATIONS ARE BASED UPON (NAVD 88) DATUM ESTABLISHED ONSITE UTILIZING GLOBAL POSITIONING SYSTEM DATA COLLECTED.

UTILITY COMPANIES
 EDGEWATER PARK SEWERAGE AUTHORITY 609-877-1411
 NEW JERSEY AMERICAN WATER 1-800-272-1325
 VERIZON 1-800-832-0076
 1-800-VERIZON

BOHLER
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M.E. JEITNER
 Michael E. Jeitner
 PROFESSIONAL ENGINEER
 PENNSYLVANIA LICENSE NO. PE055733
 NEW JERSEY LICENSE NO. 24GE0449300
 DELAWARE LICENSE NO. 18315

TAX MAP SHEET 5 - BLOCK 502 - LOT 13.02

PRELIMINARY / FINAL MAJOR SITE PLANS

PLAN SCALE: AS NOTED

STREET ADDRESS
 4295 US ROUTE 130

TOWNSHIP
 EDGEWATER PARK

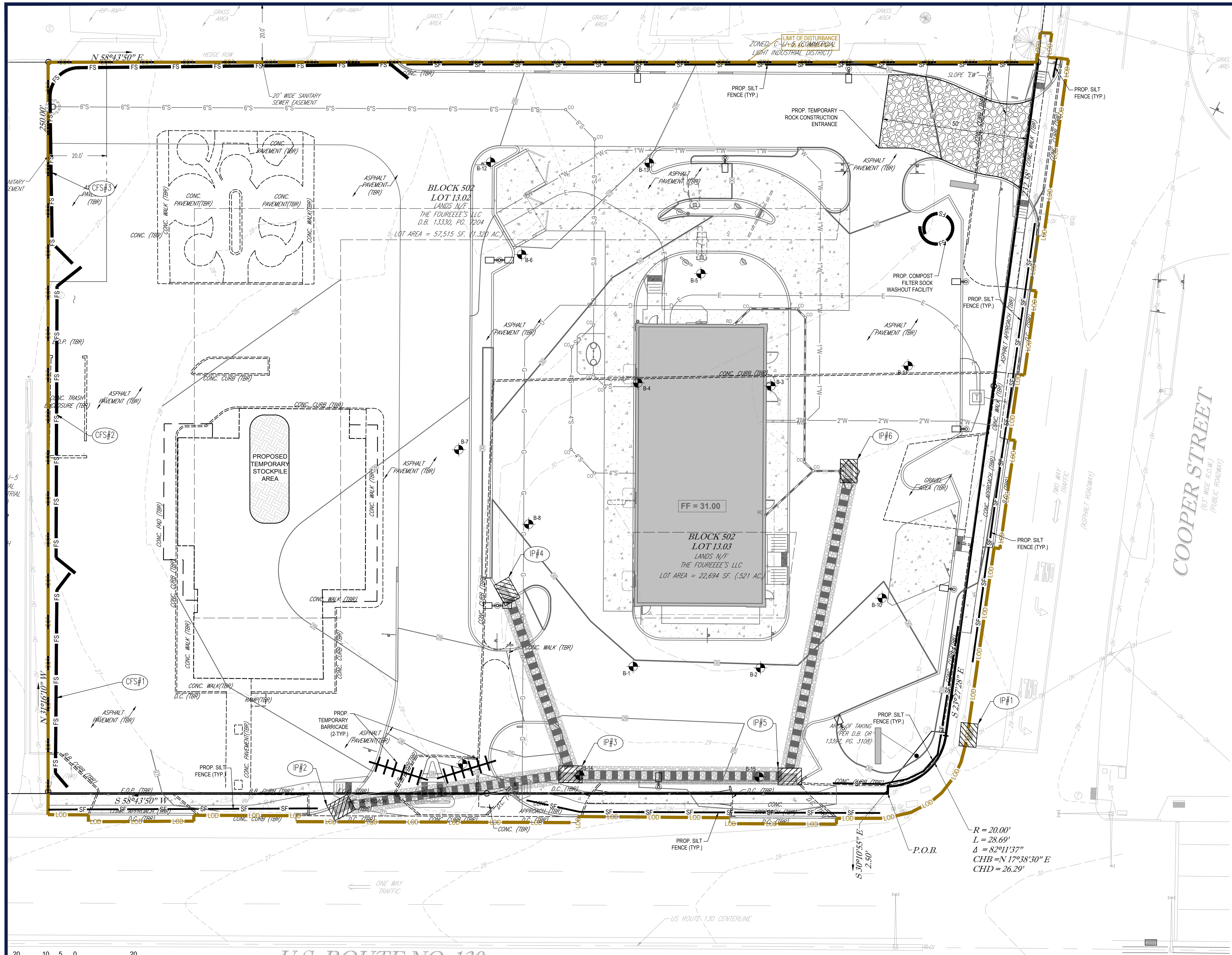
COUNTY
 BURLINGTON

STATE
 NJ

REGIONAL DWG. NO
 LC #29-0019

PLAN DESCRIPTION
UTILITY PLAN

FINAL PLAN SIGNATURES		REV	DATE	DESCRIPTION	BY	ISSUE REF
P.M.	G.C.	01	07/23/2020	REV FOR TOWNSHIP REVIEW		
McDonald's THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF MCDONALD'S USA, LLC AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION. OFFICE: LIBERTY FET - PHILADELPHIA REGION ADDRESS: 6903 ROCKLEDGE DRIVE, SUITE 1100 BETHESDA, MD 20817		PLAN APPROVALS SIGNATURE (2 REQUIRED) DATE		CO-SIGN SIGNATURES REGIONAL MGR. CONST. MGR. OPERATIONS DEPT. REAL ESTATE DEPT. CONTRACTOR OWNER		
STATUS PRELIMINARY PLAN CHECKED AS-BUILT		DATE 5/29/2020 5/29/2020 XXXX		BY JDK MEJ XXXX		
REGIONAL DWG. NO LC #29-0019		PLAN DESCRIPTION UTILITY PLAN		C-501 OF 20		



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 - SIGN FOUNDATIONS TO BE INSTALLED IN ACCORDANCE WITH FOUNDATION DESIGN PLANS PROVIDED BY THE MCD'S SIGN VENDOR. G.C. TO DIG FOUNDATIONS WITH AUGER/DIGGER UNLESS SPECIFIED OTHERWISE BY SIGN VENDOR DRAWINGS.
 - ELEVATIONS ARE BASED UPON (NAVD 88) DATUM ESTABLISHED ON-SITE UTILIZING GLOBAL POSITIONING SYSTEM DATA COLLECTED.

LEGEND

SF	SF	SF	PROPOSED SILT FENCE
FS	FS	FS	PROPOSED COMPOST FILTER SOCK
LOD	LOD	LOD	LIMIT OF DISTURBANCE
			PROPOSED CONTOUR (MAJOR ELEVATIONS, I.E. 5 & 10)
			PROPOSED CONTOUR (MINOR ELEVATIONS, I.E. 1-4 & 6-9)
			EXISTING CONTOUR (MINOR ELEVATIONS, I.E. 1-4 & 6-9)
			EXISTING CONTOUR (MAJOR ELEVATIONS, I.E. 5 & 10)
			PROPOSED PERFORATED PIPE W/ STONE TRENCH
			PROPOSED CURB
			EXISTING CURB (TO BE REMOVED)
			EXISTING CURB
			EXISTING BUILDING (TO BE REMOVED)
			EDGE OF PAVEMENT (TO BE REMOVED)
			PROPOSED CONCRETE
			PROPOSED TEMPORARY STABILIZED CONSTRUCTION ENTRANCE
			PROPOSED TEMPORARY SOIL STOCKPILE
			PROPOSED INLET FILTER BAG PROTECTION
			PROPOSED TEMPORARY BARRICADE

SOIL SUITABILITY AND CHARACTERISTICS

MAP UNIT SYMBOL	SOIL	DEPTH TO REGIONAL HIGH WATER TABLE	DEPTH TO RESTRICTIVE LAYER	BRIEF DESCRIPTION OF SOIL	DEPTH FROM SURFACE OF TYPICAL PROFILE	FERTILITY	SPHINX-PHILL POTENTIAL	HYDROLOGIC SOIL GROUP	SUBSISTANCE TO FROST HEAVING	FOR USE AS ROADFILL	FOR USE AS TOPSOIL	FOR USE AS GRAVEL	FOR USE AS SAND	HYDRO SOILS
GabB	GALESTOWN SAND 10% SILT	MORE THAN 80 INCHES	MORE THAN 80 INCHES	THIS COMPONENT IS ON-LAND TERRACES BROAD RIDGES NORTH ATLANTIC COASTAL PLAINS. THE PARENT MATERIAL CONSISTS OF SANDY SILTY CLAY DEPOSITS AND/OR FLUVIOMARINE DEPOSITS. DEPTH TO ROOT RESTRICTIVE LAYER IS GREATER THAN 80 INCHES. THE NATURAL DRAINAGE CLASS IS SOMEWHAT EXCESSIVELY DRAINAGE. WATER MOVEMENT IN THE MOST RESTRICTIVE LAYER IS HIGH. AVAILABLE WATER IS 1.5 TO 1.9 INCHES OR RESTRICTED TO UPPER 60 INCHES. SHRINK-SWELL POTENTIAL BELOW THIS SOIL IS NOT FLOODED. IT IS NOT FLOODED. THERE IS NO ZONE OF WATER SATURATION WITHIN A DEPTH OF 72 INCHES. ORGANIC MATTER CONTENT IN THE SURFACE HORIZON IS ABOUT 1.0%. TYPICAL NON-ROOTED LAND CAPABILITY CLASSIFICATION IS S. THIS SOIL DOES NOT MEET HYDRO CRITERIA.	94 INCHES SAND 52 INCHES LOAMY SAND 26 INCHES LOAMY SAND 30 INCHES LOAMY SAND	HIGH	LOW	A	LOW	GOOD	POOR	POOR	FAR	NO
URSAAB	URSAALAND SANDY SILTY CLAY	MORE THAN 80 INCHES	MORE THAN 80 INCHES	THIS COMPONENT IS ON-LAND TERRACES BROAD RIDGES NORTH ATLANTIC COASTAL PLAINS. THE PARENT MATERIAL CONSISTS OF SANDY SILTY CLAY DEPOSITS AND/OR FLUVIOMARINE DEPOSITS. DEPTH TO ROOT RESTRICTIVE LAYER IS GREATER THAN 80 INCHES. THE NATURAL DRAINAGE CLASS IS SOMEWHAT EXCESSIVELY DRAINAGE. WATER MOVEMENT IN THE MOST RESTRICTIVE LAYER IS HIGH. AVAILABLE WATER IS 1.5 TO 1.9 INCHES OR RESTRICTED TO UPPER 60 INCHES. SHRINK-SWELL POTENTIAL BELOW THIS SOIL IS NOT FLOODED. IT IS NOT FLOODED. THERE IS NO ZONE OF WATER SATURATION WITHIN A DEPTH OF 72 INCHES. ORGANIC MATTER CONTENT IN THE SURFACE HORIZON IS ABOUT 1.0%. TYPICAL NON-ROOTED LAND CAPABILITY CLASSIFICATION IS S. THIS SOIL DOES NOT MEET HYDRO CRITERIA.	64 INCHES SAND 44 INCHES COARSE SAND SAND GRAVELLY SAND					GOOD	POOR	POOR	FAR	NO

SOIL LIMITATIONS AND RESOLUTIONS

REUSE OF ON-SITE SOILS FOR ROADFILL-IMPORT ROADFILL WHERE NECESSARY OR BORROW FROM OTHER AREAS ON ON-SITE CUTS WHERE SOILS CHARACTERISTICS ARE SUITABLE

REUSE OF ON-SITE SOILS FOR TOPSOIL-IMPORT TOPSOIL WHERE NECESSARY OR BORROW FROM OTHER AREAS ON ON-SITE CUTS WHERE SOILS CHARACTERISTICS ARE SUITABLE

REUSE OF ON-SITE SOILS FOR GRAVEL-IMPORT GRAVEL WHERE NECESSARY OR BORROW FROM OTHER AREAS ON ON-SITE CUTS WHERE SOILS CHARACTERISTICS ARE SUITABLE

REUSE OF ON-SITE SOILS FOR SAND-IMPORT SAND WHERE NECESSARY OR BORROW FROM OTHER AREAS ON ON-SITE CUTS WHERE SOILS CHARACTERISTICS ARE SUITABLE

SEQUENCE OF CONSTRUCTION

- ALL EARTH DISTURBANCE ACTIVITIES SHALL PROCEED IN ACCORDANCE WITH THE FOLLOWING SEQUENCE. EACH STAGE SHALL BE COMPLETED BEFORE ANY FOLLOWING STAGE IS INITIATED. CLEARING AND GRUBBING SHALL BE LIMITED ONLY TO THOSE AREAS DESCRIBED IN EACH STAGE.
- THE INTENT WITH CONSTRUCTION IS TO MAINTAIN OPERATIONS IN THE EXISTING RESTAURANT FOR AS LONG AS IS PERMITTED WHILE THE CONSTRUCTION OF THE REBUILT MCDONALD'S IS UNDERWAY.
 - INSTALL STABILIZED ROCK CONSTRUCTION ENTRANCE AND ALL COMPOST FILTER SOCK AND SILT FENCE AROUND PERIMETER OF SITE.
 - INGRESS AND EGRESS OF CONSTRUCTION VEHICLES THROUGHOUT THE DURATION OF THIS PROJECT MUST OCCUR AT THE PROPOSED STABILIZED ROCK CONSTRUCTION ENTRANCE.
 - INSTALL CONCRETE WASHOUT AND INLET PROTECTION #1 (IP#1).
 - LOCATE ALL UTILITIES AND EXCAVATE ALL TEST PITS. ALL EXISTING UTILITIES MUST BE LOCATED PRIOR TO COMMENCING EARTH-MOVING ACTIVITIES.
 - STRIP SITE AND COMPLETE DEMOLITION ON THE PORTION OF THE PLAN REFERENCED AS LEASE AREA #1 (WHILE MAINTAINING OPERATIONS AT THE EXISTING RESTAURANT).
 - BEGIN ROUGH GRADING, DIRECT RUNOFF TO COMPOST FILTER SOCK AND SILT FENCE SECTIONS.
 - ROUGH GRADE SITE AND PROVIDE TEMPORARY STABILIZATION. FILL BUILDING PADS AND MAINTAIN GRADE TOWARDS COMPOST FILTER SOCK AND SILT FENCE SECTIONS. STRIP RUNOFF IS DIRECTED TO COMPOST FILTER SOCK SECTIONS THROUGHOUT CONSTRUCTION.
 - STABILIZE TRIBUTARY AREAS TO THE SITE LOW POINT WITH STONE BASE COURSE FOR PAVED AREAS OR WITH TEMPORARY VEGETATION FOR NON-PAVED AREAS.
 - BUILDING PAD CONSTRUCTION CAN COMMENCE CONCURRENTLY WITH ON-SITE IMPROVEMENTS. NOTE THAT BUILDING CONSTRUCTION MAY COMMENCE UPON ACCEPTANCE OF BUILDING PAD BY OWNER.
 - EXCAVATE AND INSTALL UNDERGROUND UTILITIES AND ON-SITE IMPROVEMENTS INCLUDING BUILDING, CURBING, AND SIDEWALK. BUILDING INSTALLATION MAY OCCUR CONCURRENTLY WITH SITE AND UTILITY CONSTRUCTION. ENSURE THAT DISTURBED AREAS DRAIN TOWARDS COMPOST FILTER SOCK AND SILT FENCE SECTIONS PRIOR TO DISCHARGE FROM THE SITE.
 - PRIOR TO THE INSTALLATION OF THE ROUTE 130 FRONTAGE IMPROVEMENTS AND THE ROUTE 130 ACCESS POINT, THE EXISTING MCDONALD'S MUST CEASE OPERATIONS. UPON CLOSE OF THE MCDONALD'S, DEMOLITION OF THE EXISTING BUILDING MAY COMMENCE AND THE INSTALLATION OF THE ROUTE 130 ACCESS MAY BEGIN.
 - INSTALL PIPE RUN A AND ASSOCIATED INLET PROTECTION. AVOID EXCESSIVE COMPACTION OF THE AREAS CONTAINING THE STONE TRENCH AND PERFORATED HOPE PIPE, AS INFILTRATION WILL OCCUR IN THIS AREA.
 - UPON COMPLETION OF THE ROUTE 130 ACCESS, INSTALL THE TEMPORARY BARRICADES.
 - PERFORM FINAL SITE GRADING AND INSTALL STONE BASE COURSE. INSTALL BITUMINOUS PAVING AND CONCRETE. STABILIZE DISTURBED AREAS WITH GRAVEL OR SEEDING AS APPROPRIATE.
 - INSTALL FINAL VEGETATION INCLUDING SOD AND LANDSCAPING. CLEAR SITE OF DEBRIS AND ALL UNWANTED MATERIALS. DISPOSAL SHALL BE IN A SAFE AND LAWFUL MANNER.
 - UPON SITE STABILIZATION (ONCE ALL AREAS ARE COVERED WITH BUILDING FOUNDATION OR PAVEMENT, OR HAVE A STAND OF GRASS WITH AT LEAST 70 PERCENT PERENNIAL/VEGETATIVE COVER, WITH A DENSITY CAPABLE OF RESISTING ACCELERATED EROSION AND SEDIMENTATION) ANY TEMPORARY BMP'S SHALL BE REMOVED. IMMEDIATELY REPAIR AND STABILIZE ANY DISTURBANCE ASSOCIATED WITH SEDIMENT CONTROL REMOVAL.
- AS SOON AS SLOPES AND OTHER DISTURBED AREAS REACH FINAL GRADE THEY MUST BE STABILIZED. UPON COMPLETION OR TEMPORARY CESSATION OF ALL EARTH DISTURBANCE ACTIVITIES OF AT LEAST FOUR (4) DAYS, WILL REQUIRE TEMPORARY STABILIZATION.

THIS PLAN IS FOR SOIL EROSION & SEDIMENT POLLUTION CONTROL PURPOSES ONLY

UNNAMED TRIBUTARY TO MILL CREEK IS CLASSIFIED AS FW2-N2

BOHLER

74 W BROAD STREET, SUITE 500
BETHLEHEM, PA 18018
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Fax: (610) 709-9976
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PENNSYLVANIA LICENSE NO. PE055733
NEW JERSEY LICENSE NO. 24GE0449300
DELAWARE LICENSE NO. 18315

TAX MAP SHEET 5 - BLOCK 502 - LOT 13.02

PRELIMINARY / FINAL MAJOR SITE PLANS

PLAN SCALE: AS NOTED

STREET ADDRESS
4295 US ROUTE 130

TOWNSHIP	STATE
EDGEWATER PARK	NJ
COUNTY	
BURLINGTON	

REGIONAL DWG. NO
LC #29-0019

PLAN DESCRIPTION
EROSION & SEDIMENT CONTROL PLAN

McDonald's

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OFFICE: LIBERTY FET - PHILADELPHIA REGION
ADDRESS: 6905 ROCKLEDGE DRIVE, SUITE 1100 BETHESDA, MD 20817

DATE	REVISION	DESCRIPTION	BY	ISSUE REF
	01	REV FOR TOWNSHIP REVIEW		

DATE	REVISION	DESCRIPTION	BY	ISSUE REF
	01	REV FOR TOWNSHIP REVIEW		

FINAL PLAN SIGNATURES

P.M. G.C. O/O

PLANNING SIGNATURES

CONTRACTOR SIGNATURES

OWNER SIGNATURES

STATUS DATE BY

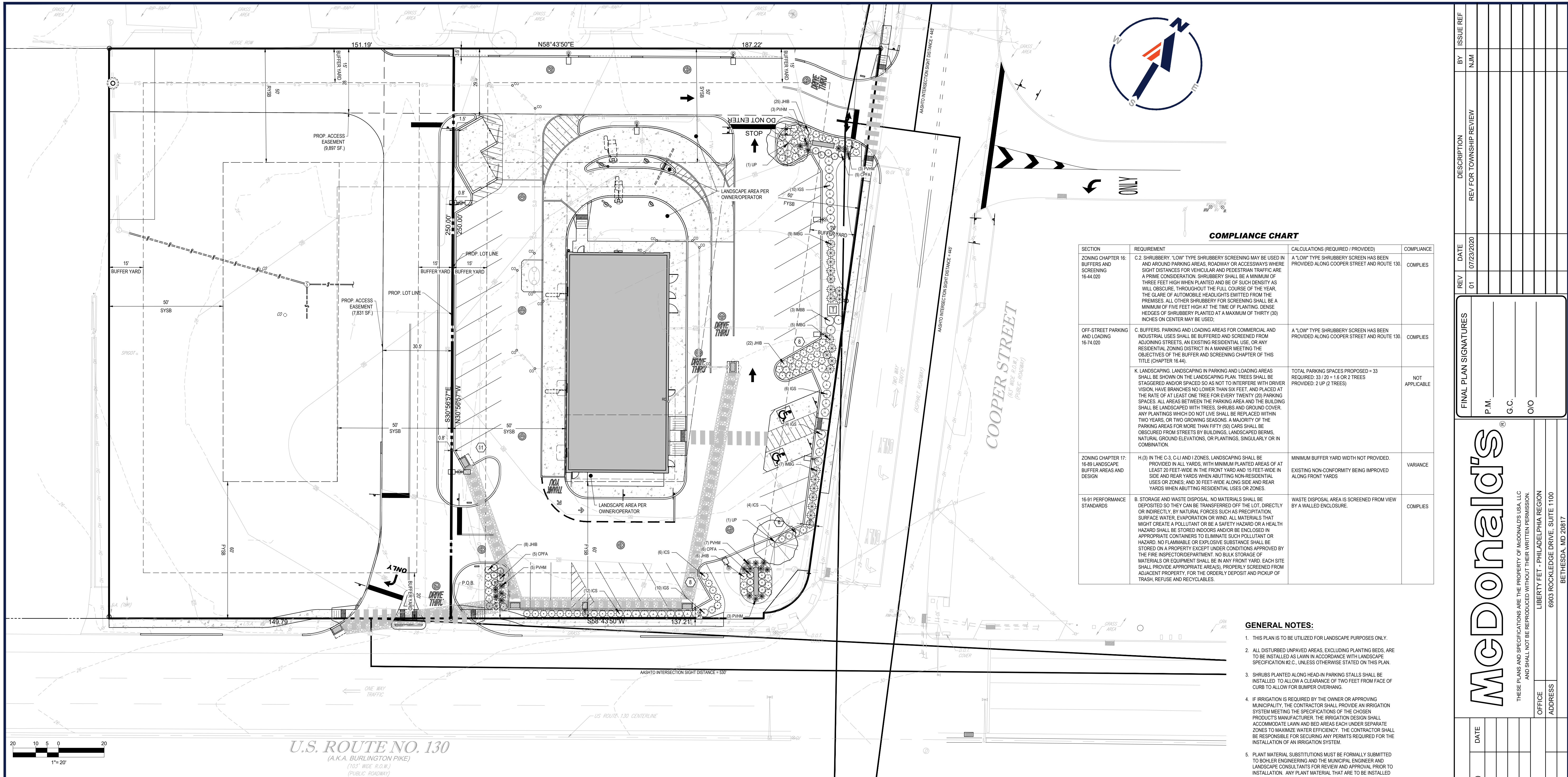
PRELIMINARY 5/29/2020 JJK

PLAN CHECKED 5/29/2020 MEJ

AS-BUILT XXXX XXXX

C-601

OF 20

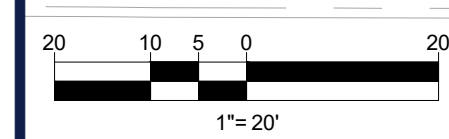


COMPLIANCE CHART

SECTION	REQUIREMENT	CALCULATIONS (REQUIRED / PROVIDED)	COMPLIANCE
ZONING CHAPTER 16: 16-44.020	C.2 SHRUBBERY: "LOW" TYPE SHRUBBERY SCREENING MAY BE USED IN AND AROUND PARKING AREAS, ROADWAY OR ACCESSWAYS WHERE SIGHT DISTANCES FOR VEHICULAR AND PEDESTRIAN TRAFFIC ARE A PRIME CONSIDERATION. SHRUBBERY SHALL BE A MINIMUM OF THREE FEET HIGH WHEN PLANTED AND BE OF SUCH DENSITY AS WILL OBSCURE, THROUGHOUT THE FULL COURSE OF THE YEAR, THE CLARE OF AUTOMOBILE HEADLIGHTS EMITTED FROM THE PREMISES. ALL OTHER SHRUBBERY FOR SCREENING SHALL BE A MINIMUM OF FIVE FEET HIGH AT THE TIME OF PLANTING. DENSE HEDGES OF SHRUBBERY PLANTED AT A MAXIMUM OF THIRTY (30) INCHES ON CENTER MAY BE USED.	A "LOW" TYPE SHRUBBERY SCREEN HAS BEEN PROVIDED ALONG COOPER STREET AND ROUTE 130	COMPLIES
OFF-STREET PARKING AND LOADING 16-74.020	B. BUFFERS, PARKING AND LOADING AREAS FOR COMMERCIAL AND INDUSTRIAL USES SHALL BE BUFFERED AND SCREENED FROM ADJOINING STREETS, AN EXISTING RESIDENTIAL USE, OR ANY RESIDENTIAL ZONING DISTRICT IN A MANNER MEETING THE OBJECTIVES OF THE BUFFER AND SCREENING CHAPTER OF THIS TITLE (CHAPTER 16.44). K. LANDSCAPING: LANDSCAPING IN PARKING AND LOADING AREAS SHALL BE SHOWN ON THE LANDSCAPING PLAN. TREES SHALL BE STAGGERED AND/OR SPACED SO AS NOT TO INTERFERE WITH DRIVER VISION. HAVE BRANCHES NO LOWER THAN SIX FEET, AND PLACED AT THE RATE OF AT LEAST ONE TREE FOR EVERY TWENTY (20) PARKING SPACES. ALL AREAS BETWEEN THE PARKING AREA AND THE BUILDING SHALL BE LANDSCAPED WITH TREES, SHRUBS AND GROUND COVER. ANY PLANTINGS WHICH DO NOT LIVE SHALL BE REPLACED WITHIN TWO YEARS, OR TWO GROWING SEASONS. A MAJORITY OF THE PARKING AREAS FOR MORE THAN FIFTY (50) CARS SHALL BE OBSCURED FROM STREETS BY BUILDINGS, LANDSCAPED BERMS, NATURAL GROUND ELEVATIONS, OR PLANTINGS, SINGULARLY OR IN COMBINATION.	A "LOW" TYPE SHRUBBERY SCREEN HAS BEEN PROVIDED ALONG COOPER STREET AND ROUTE 130 TOTAL PARKING SPACES PROPOSED = 33 REQUIRED: 33 / 20 + 1.6 OR 2 TREES PROVIDED: 2 UP (2 TREES)	COMPLIES NOT APPLICABLE
ZONING CHAPTER 17: 16-89 LANDSCAPE BUFFER AREAS AND DESIGN	H.(3) IN THE C-3, C-1 AND I ZONES, LANDSCAPING SHALL BE PROVIDED IN ALL YARDS, WITH MINIMUM PLANTED AREAS OF AT LEAST 20 FEET-WIDE IN THE FRONT YARD AND 15 FEET-WIDE IN SIDE AND REAR YARDS WHEN ADJUTING NON-RESIDENTIAL USES OR ZONES, AND 30 FEET WIDE ALONG SIDE AND REAR YARDS WHEN ADJUTING RESIDENTIAL USES OR ZONES.	MINIMUM BUFFER YARD WIDTH NOT PROVIDED. EXISTING NON-CONFORMITY BEING IMPROVED ALONG FRONT YARDS	VARIANCE
16-91 PERFORMANCE STANDARDS	B. STORAGE AND WASTE DISPOSAL: NO MATERIALS SHALL BE DEPOSITED SO THEY CAN BE TRANSFERRED OFF THE LOT, DIRECTLY OR INDIRECTLY, BY NATURAL FORCES SUCH AS PRECIPITATION, SURFACE WATER, EVAPORATION OR WIND. ALL MATERIALS THAT MIGHT CREATE A POLLUTANT OR BE A SAFETY HAZARD OR A HEALTH HAZARD SHALL BE STORED INDOORS AND/OR BE ENCLOSED IN APPROPRIATE CONTAINERS TO ELIMINATE SUCH POLLUTANT OR HAZARD. NO FLAMMABLE OR EXPLOSIVE SUBSTANCES SHALL BE STORED ON A PROPERTY EXCEPT UNDER CONDITIONS APPROVED BY THE FIRE INSPECTOR/DEPARTMENT. NO BULK STORAGE OF MATERIALS OR EQUIPMENT SHALL BE IN ANY FRONT YARD. EACH SITE SHALL PROVIDE APPROPRIATE AREAS(S), PROPERLY SCREENED FROM ADJACENT PROPERTY, FOR THE ORDERLY DEPOSIT AND PICKUP OF TRASH, REFUSE AND RECYCLABLES.	WASTE DISPOSAL AREA IS SCREENED FROM VIEW BY A WALLED ENCLOSURE.	COMPLIES

GENERAL NOTES:

- THIS PLAN IS TO BE UTILIZED FOR LANDSCAPE PURPOSES ONLY.
- ALL DISTURBED UNPAVED AREAS, EXCLUDING PLANTING BEDS, ARE TO BE INSTALLED AS LAWN IN ACCORDANCE WITH LANDSCAPE SPECIFICATION #2.C., UNLESS OTHERWISE STATED ON THIS PLAN.
- SHRUBS PLANTED ALONG HEAD-IN PARKING STALLS SHALL BE INSTALLED TO ALLOW A CLEARANCE OF TWO FEET FROM FACE OF CURB TO ALLOW FOR BUMPER OVERHANG.
- IF IRRIGATION IS REQUIRED BY THE OWNER OR APPROVING MUNICIPALITY, THE CONTRACTOR SHALL PROVIDE AN IRRIGATION SYSTEM MEETING THE SPECIFICATIONS OF THE CHOSEN PRODUCTS MANUFACTURER. THE IRRIGATION DESIGN SHALL ACCOMMODATE LAWN AND BED AREAS EACH UNDER SEPARATE ZONES TO MAXIMIZE WATER EFFICIENCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING ANY PERMITS REQUIRED FOR THE INSTALLATION OF AN IRRIGATION SYSTEM.
- PLANT MATERIAL SUBSTITUTIONS MUST BE FORMALLY SUBMITTED TO BOHLER ENGINEERING AND THE MUNICIPAL ENGINEER AND LANDSCAPE CONSULTANTS FOR REVIEW AND APPROVAL, PRIOR TO INSTALLATION. ANY PLANT MATERIAL THAT ARE TO BE INSTALLED WITHIN STORMWATER BMP FEATURES MUST BE NATIVE SPECIES.
- WITHOUT EXCEPTION, WEED BARRIER FABRIC SHALL NOT BE INSTALLED WITHIN ANY BMP FACILITY. BMP FACILITIES INCLUDE RAINGARDENS, INFILTRATION TRENCHES, VEGETATIVE SWALES AND STORMWATER BASINS.



U.S. ROUTE NO. 130
(A.K.A. BURLINGTON PIKE)
(103' WIDE R.O.W.)
(PUBLIC ROADWAY)

PLANT SCHEDULE					
TREES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
UP	2	ULMUS AMERICANA 'PRINCETON'	AMERICAN ELM	2.5" CAL.	B&B
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
CPFA	16	CHAMAECYPARIS PISIFERA 'FILIFERA AUREA NANA'	DWARF GOLD THREAD CYPRESS	24"30" SPRD.	CONTAINER
ICS	22	ILEX CRENATA 'STEEDS'	STEEDS JAPANESE HOLLY	3' HT.	CONTAINER
ICS	30	ILEX GLABRA 'SHAMROCK'	SHAMROCK INKBERRY	3' HT.	CONTAINER
IMBB	3	ILEX X MESERVEAE 'BLUE BOY'	BLUE BOY HOLLY	3' HT.	CONTAINER
IMBG	21	ILEX X MESERVEAE 'BLUE GIRL'	BLUE GIRL HOLLY	3' HT.	CONTAINER
JHB	61	JUNIPERUS HORIZONTALIS 'MONBER'	ICEE BLUE JUNIPER	15-18" SPRD	CONTAINER
GRASSES	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
PVHM	21	PANICUM VIRGATUM 'HEAVY METAL'	BLUE SWITCH GRASS	1 GAL.	CONTAINER

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TAX MAP SHEET 5 - BLOCK 502 - LOT 13.02

PRELIMINARY / FINAL MAJOR SITE PLANS

PLAN SCALE: AS NOTED

STREET ADDRESS
4295 US ROUTE 130

TOWNSHIP: EDGEWATER PARK STATE: NJ
COUNTY: BURLINGTON

REGIONAL DWG. NO: LC #29-0019 PLAN DESCRIPTION: **LANDSCAPE PLAN**

CAD FILE: PY170090.LND-1

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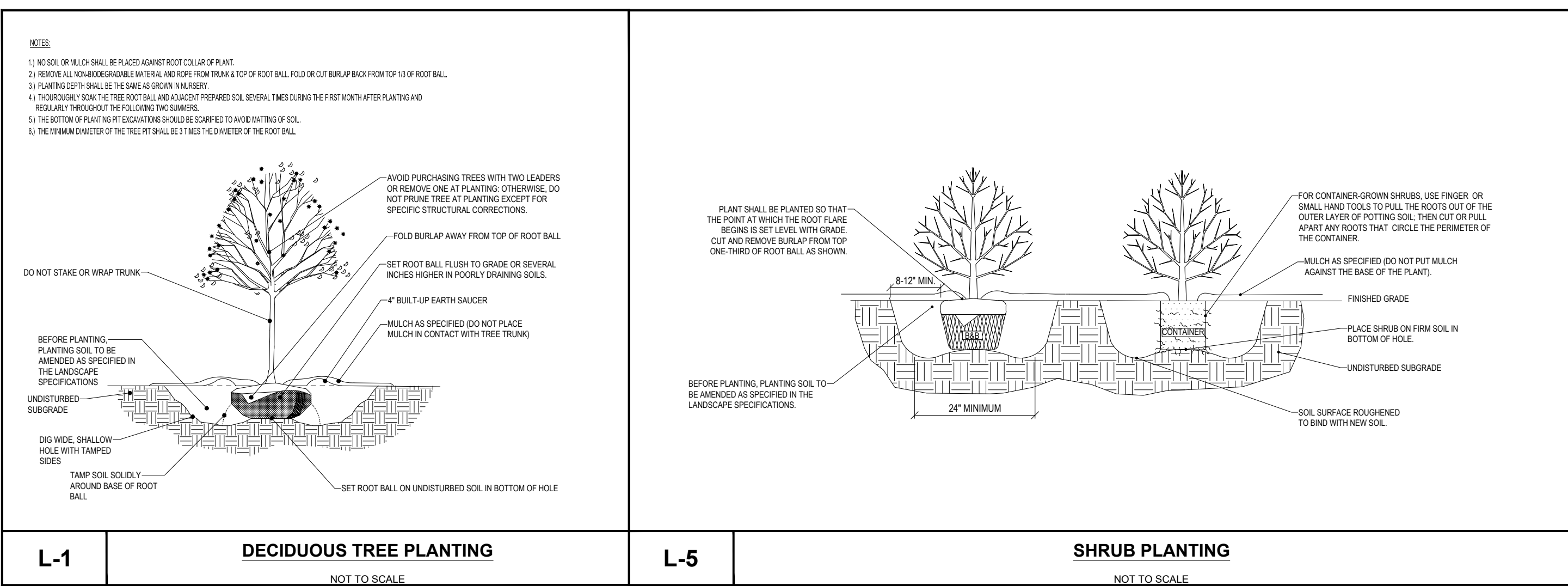
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ADDRESS: 6905 ROCKLEDGE DRIVE, SUITE 1100 BETHESDA, MD 20817

PLAN APPROVALS		DATE	STATUS	DATE	BY
REGIONAL MGR.	CONSTR. MGR.		PRELIMINARY	5/29/2020	JDK
OPERATIONS DEPT.	REAL ESTATE DEPT.		PLAN CHECKED	5/29/2020	MEJ
CONTRACTOR	OWNER		AS-BUILT	XXXX	XXXX

CO-SIGN SIGNATURES

C-701
OF 20



<p>L-1</p> <p align="center">DECIDUOUS TREE PLANTING</p> <p align="center">NOT TO SCALE</p>	<p>L-5</p> <p align="center">SHRUB PLANTING</p> <p align="center">NOT TO SCALE</p>
---	--

LANDSCAPE SPECIFICATIONS:

1. SCOPE OF WORK:
 THE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISH GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SOODING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS:
 A. GENERAL: ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION SPECIFICATIONS.
 B. TOPSOIL - NATURAL, FRABLE, LOAMY SILT SOIL HAVING AN ORGANIC CONTENT NOT LESS THAN 4%, A PH RANGE BETWEEN 6.5 TO 7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE (1) INCH, ROOTS, VEGETABLE MATTER AND CLAY CLUMPS.
 C. LAWN: LAWN AREAS SHALL BE SEEDED OR SOODED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES FOR SOIL BED PREPARATIONS. REFER TO ITEM # BELOW
 I. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED.
 II. SOIL SHALL BE STRONGLY ROOTED, WEED AND DISEASE FREE WITH A UNIFORM THICKNESS. SOIL TEST RESULTS ON VALUES GREATER THAN 1" SHALL BE REJECTED TO HOLD SOIL IN PLACE.
 D. MULCH - ALL PLANTING BEDS SHALL BE MULCHED WITH A 7\"/>

3. FERTILIZER:
 I. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNFERTILIZED STANDARD BAGS SHOWING HEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.
 II. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 8% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.

4. PLANT MATERIAL:
 I. ALL PLANTS SHALL, IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI Z60.1) LATEST EDITION AS PUBLISHED BY AMERICAN HORTICULTURE SOCIETY, THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION.
 II. ALL CASES (BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES) FOR ANY AND ALL PLANT MATERIAL.
 III. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION.
 IV. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1" WHICH HAVE NOT BEEN COMPLETELY CALLED, SHALL BE REJECTED.
 V. ALL PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPES AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES.
 VI. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH WELL DEVELOPED BRANCHES DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, AND GROWTH HORMONE VI. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES ABOVE THE GROUND. THE CALIPER SHALL BE MEASURED AT A POINT FOUR INCH CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS THAT AT FOUR INCHES (4") ABOVE THE GROUND, THE CALIPER SHALL BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE.
 VII. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB AND NOT TO THE LONGEST BRANCH.
 VIII. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

5. GENERAL WORK PROCEDURES:
 A. CONTRACTOR SHALL FOLLOW THE NORMATIVE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS, MATERIAL AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF.
 B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY REMOVED FROM THE SITE.
 C. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED BY THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE WATER TRENCHES.
 D. SITE PREPARATIONS:
 I. BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN.
 II. ALL EXISTING TREES TO REMAIN SHALL BE PROTECTED BY THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE WATER TRENCHES.
 E. TREES TO BE REMOVED SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE END LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
 F. A FORTY EIGHT (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH DENSITY POLYESTER OR APPROVED EQUIVALENT SHALL BE PLACED ALONG THE DRIFTLINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.
 G. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED.
 H. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.
 I. SOIL MODIFICATIONS:
 A. CONTRACTOR SHALL ATAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY.
 B. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE CONTRACTOR DEPENDING ON SITE CONDITIONS.
 C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISSED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS PERFORMED BY A CERTIFIED SOIL LABORATORY.
 I. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 12\"/>

6. FINISHED GRADING:
 A. UNLESS OTHERWISE CONTRACTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE GRADING WITHIN THE DISTURBANCE AREA OF THE SITE.
 B. CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE SUBGRADE OF THE SITE MUST MEET THE FINISHED GRADE LESS THE REQUIRED THICKNESS (1%)
 C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH AN ABSOLUTE CHANGE OF SURFACE AS DIRECTED WITHIN THIS SET OF CONSTRUCTION PLANS. UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT.
 D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

7. TOPSOILING:
 A. CONTRACTOR SHALL PROVIDE A SIX (6) INCH THICK MINIMUM LAYER OF TOPSOIL OR AS DIRECTED BY THE LOCAL JURISDICTION OR CLIENT. ALL PLANTING AND LAWN AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS.
 B. ON SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.
 C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY A ANALYSIS REPORT (AS SHOWN ON DRAWINGS) AND A SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE.

8. CLEAN UP:
 A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED AREAS ARE TO BE CLEANED.
 B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

FINAL PLAN SIGNATURES

REV: 01 DATE: 07/23/2020

BY: _____

NUM: _____

ISSUE REF: _____

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PLAN APPROVALS		CO-SIGN SIGNATURES	
SIGNATURE (2 REQUIRED)	DATE	SIGNATURES	DATE

R:\170000\DRAWINGS\PLAN SET\LAND DEVELOPMENT\REV\PPY170000.LND1...LAYOUT; C-702 LSC-D DETAILS

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PRELIMINARY / FINAL MAJOR SITE PLANS

PLAN SCALE: AS NOTED

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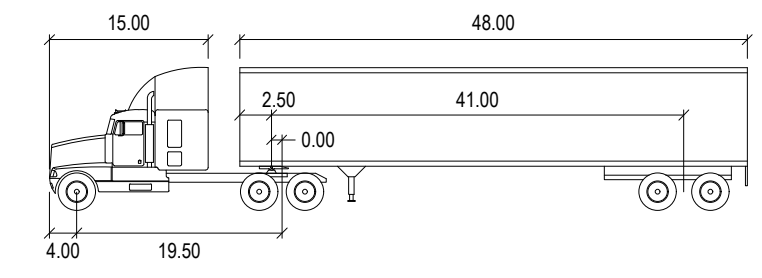
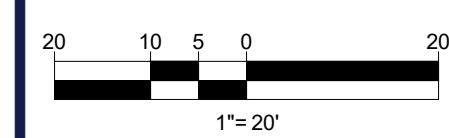
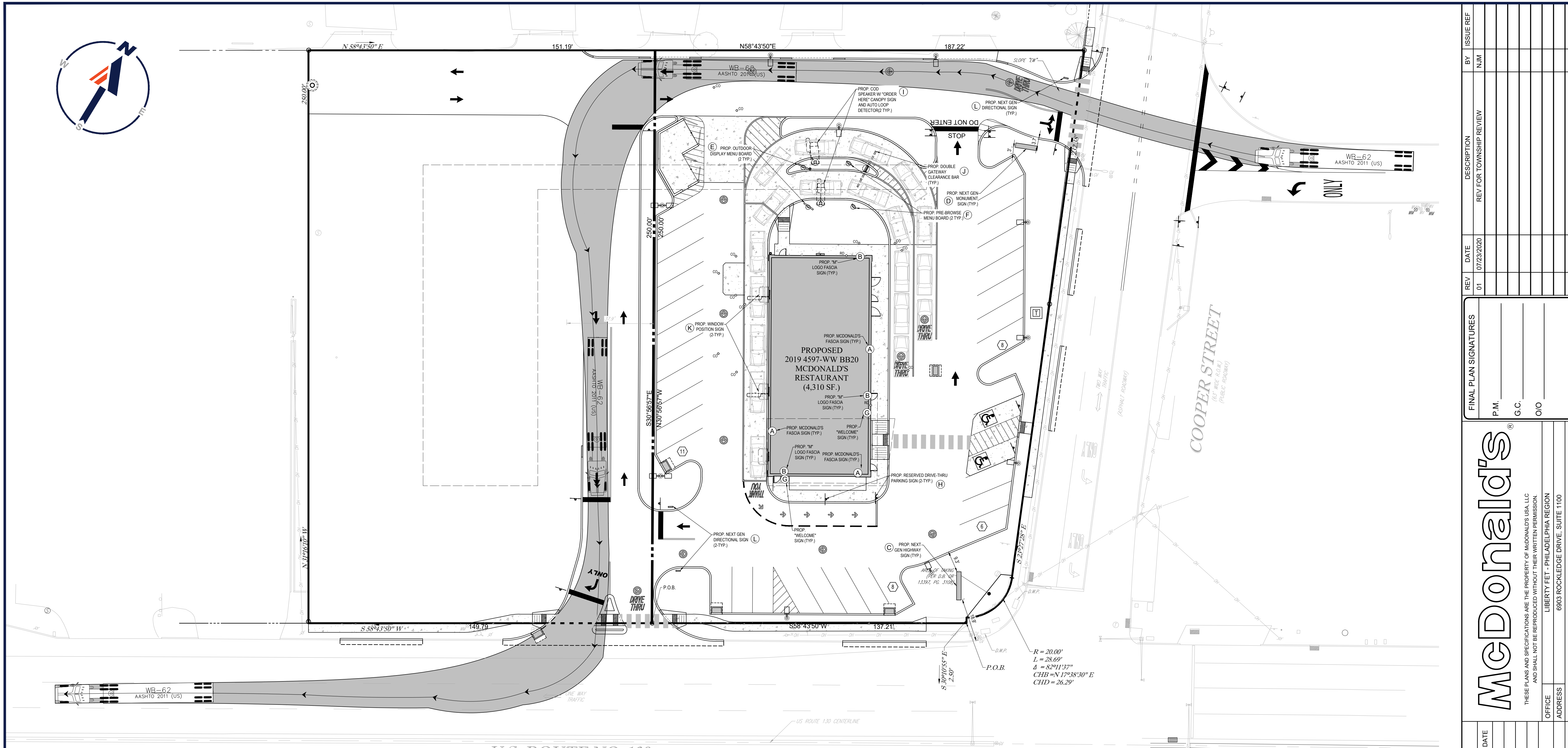
TOWNSHIP: EDGEWATER PARK STATE: NJ
 COUNTY: BURLINGTON

REGIONAL DWG. NO: LC #29-0019
 PLAN DESCRIPTION: LANDSCAPE DETAILS

CAD FILE: PY170000.LND-1

STATUS	DATE	BY
PRELIMINARY	5/29/2020	JDK
PLAN CHECKED	5/29/2020	MEJ
AS-BUILT	XXXX	XXXX

C-702
OF 20



	feet		
Tractor Width	15.00	Lock to Lock Time	6.0
Trailer Width	48.00	Steering Angle	28.4
Tractor Track	19.50	Articulating Angle	70.0
Trailer Track	41.00		

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(103' WIDE R.O.W.)
(PUBLIC ROADWAY)

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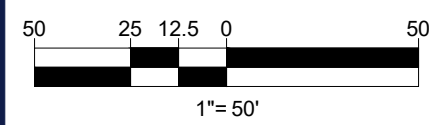
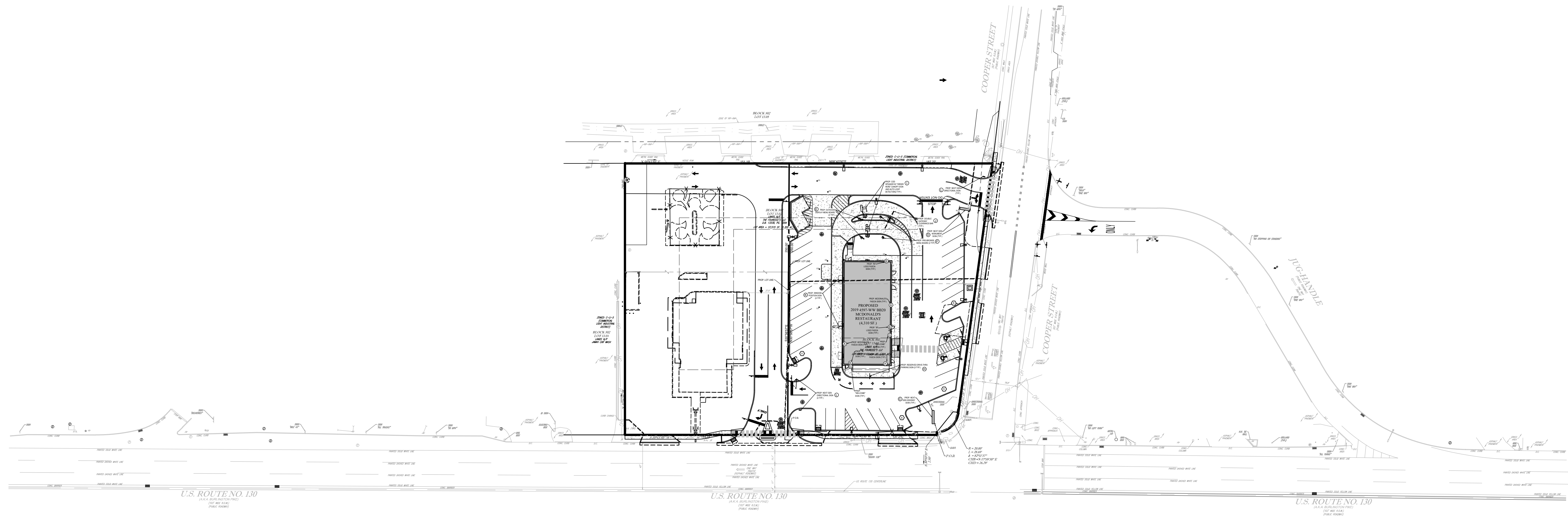
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PRELIMINARY / FINAL MAJOR SITE PLANS	
PLAN SCALE: AS NOTED	
STREET ADDRESS 4295 US ROUTE 130	
TOWNSHIP EDGEWATER PARK	STATE NJ
COUNTY BURLINGTON	
REGIONAL DWG. NO. LC #29-0019	PLAN DESCRIPTION TRUCK CIRCULATION PLAN
CAD FILE: PY170090 SITE-1	

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			01	07/23/2020	REV FOR TOWNSHIP REVIEW		
		P.M.					
		G.C.					
		O/O					
PLAN APPROVALS	DATE						
SIGNATURE (2 REQUIRED)							
REGIONAL MGR.							
CONST. MGR.							
OPERATIONS DEPT.							
REAL ESTATE DEPT.							
CO-SIGN SIGNATURES							
CONTRACTOR							
OWNER							
STATUS	DATE						
PRELIMINARY	5/29/2020	JDK					
PLAN CHECKED	5/29/2020	MEJ					
AS-BUILT	XXXX	XXXX					
<p>C-901</p> <p>OF 20</p>							



R:\171000\DRAWINGS\PLAN SET\LAND DEVELOPMENT\REV\171000\ SITE - LAYOUT - C-902-500' LOCATION PLAN

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PRELIMINARY / FINAL MAJOR SITE PLANS

PLAN SCALE: AS NOTED

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TOWNSHIP STATE
 EDGEWATER PARK NJ

COUNTY
 BURLINGTON

REGIONAL DWG. NO. PLAN DESCRIPTION
 LC #29-0019 NJDOT 500'
 LOCATION PLAN

CAD FILE: PY170090 SITE-1

FINAL PLAN SIGNATURES

P.M.	
G.C.	
O/O	

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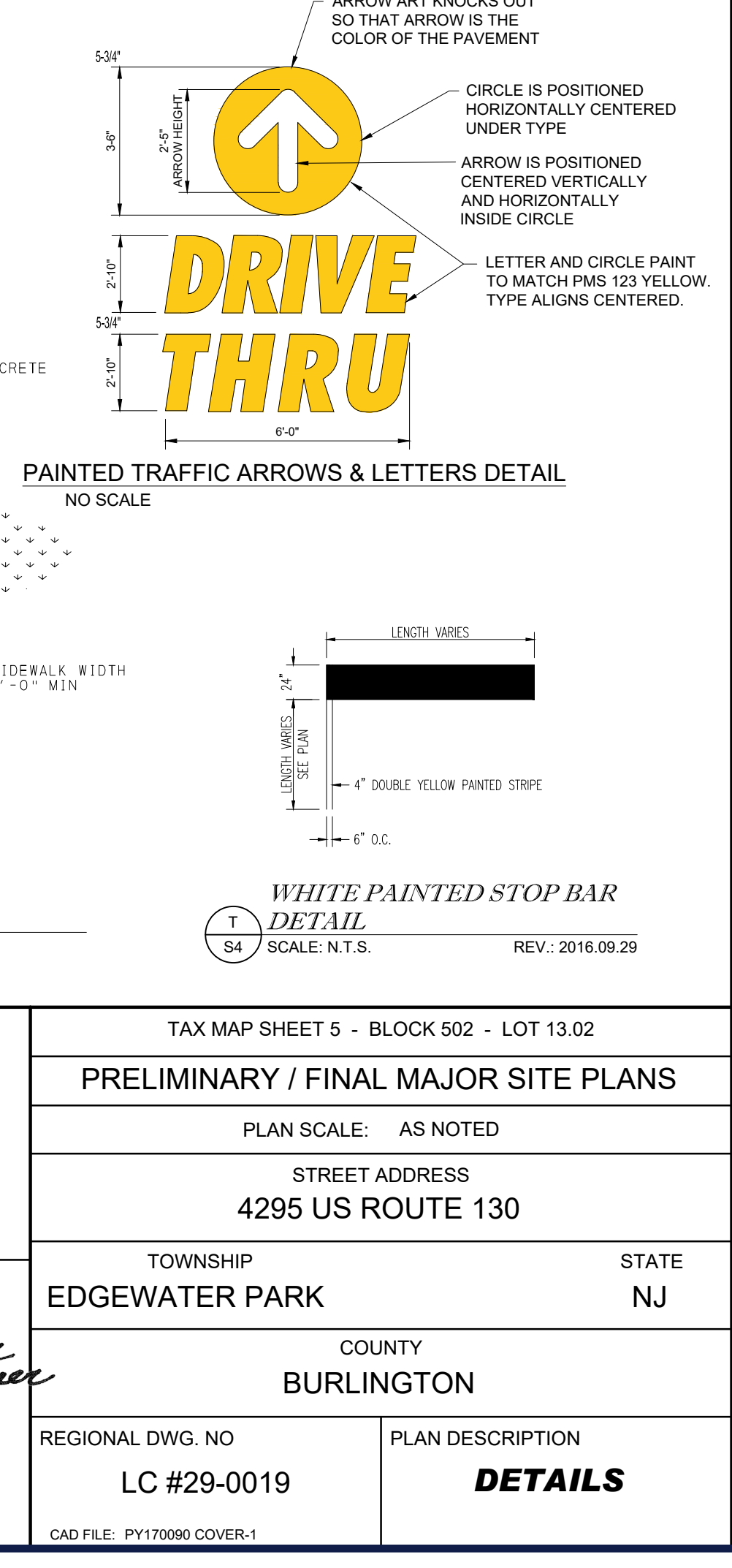
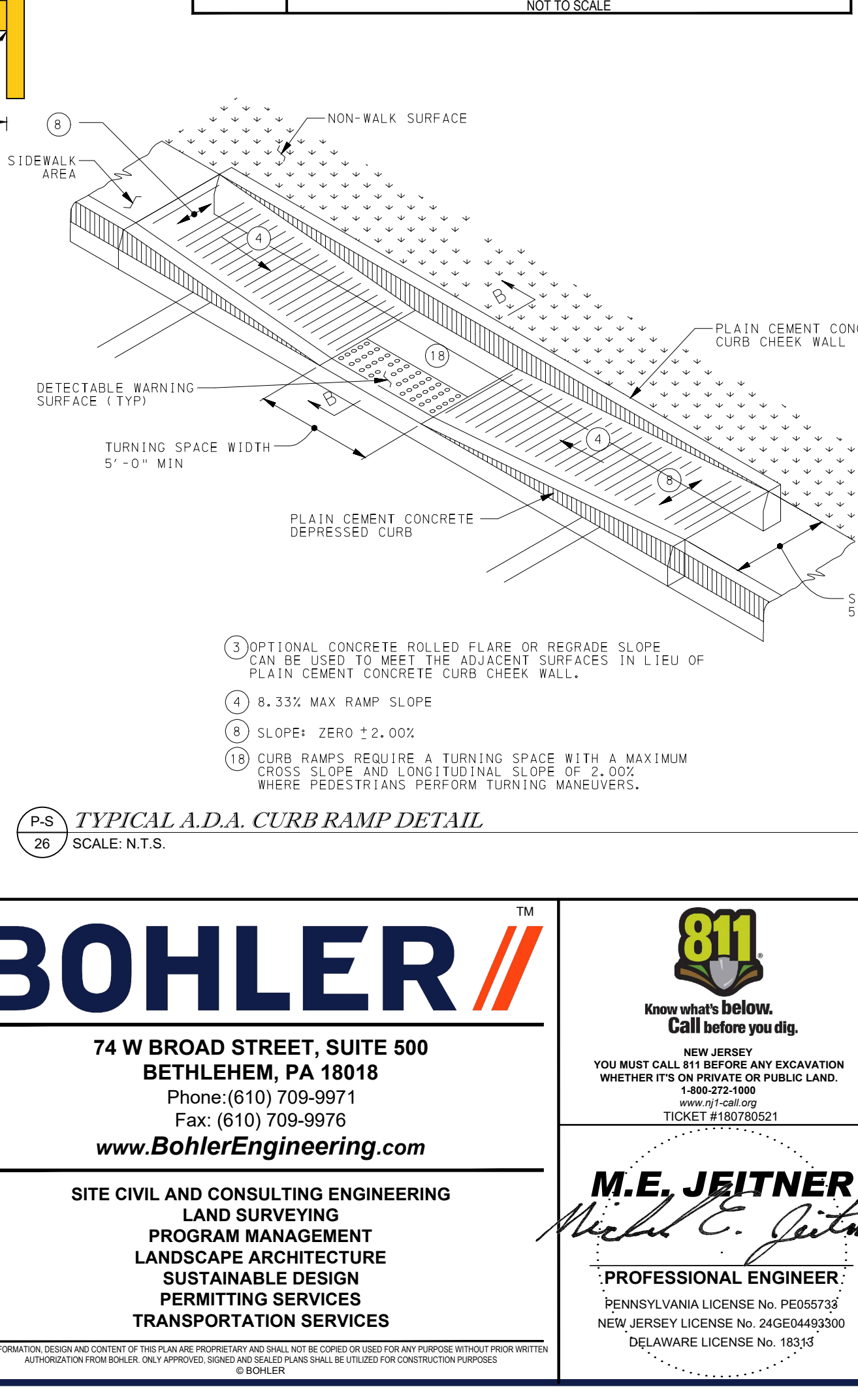
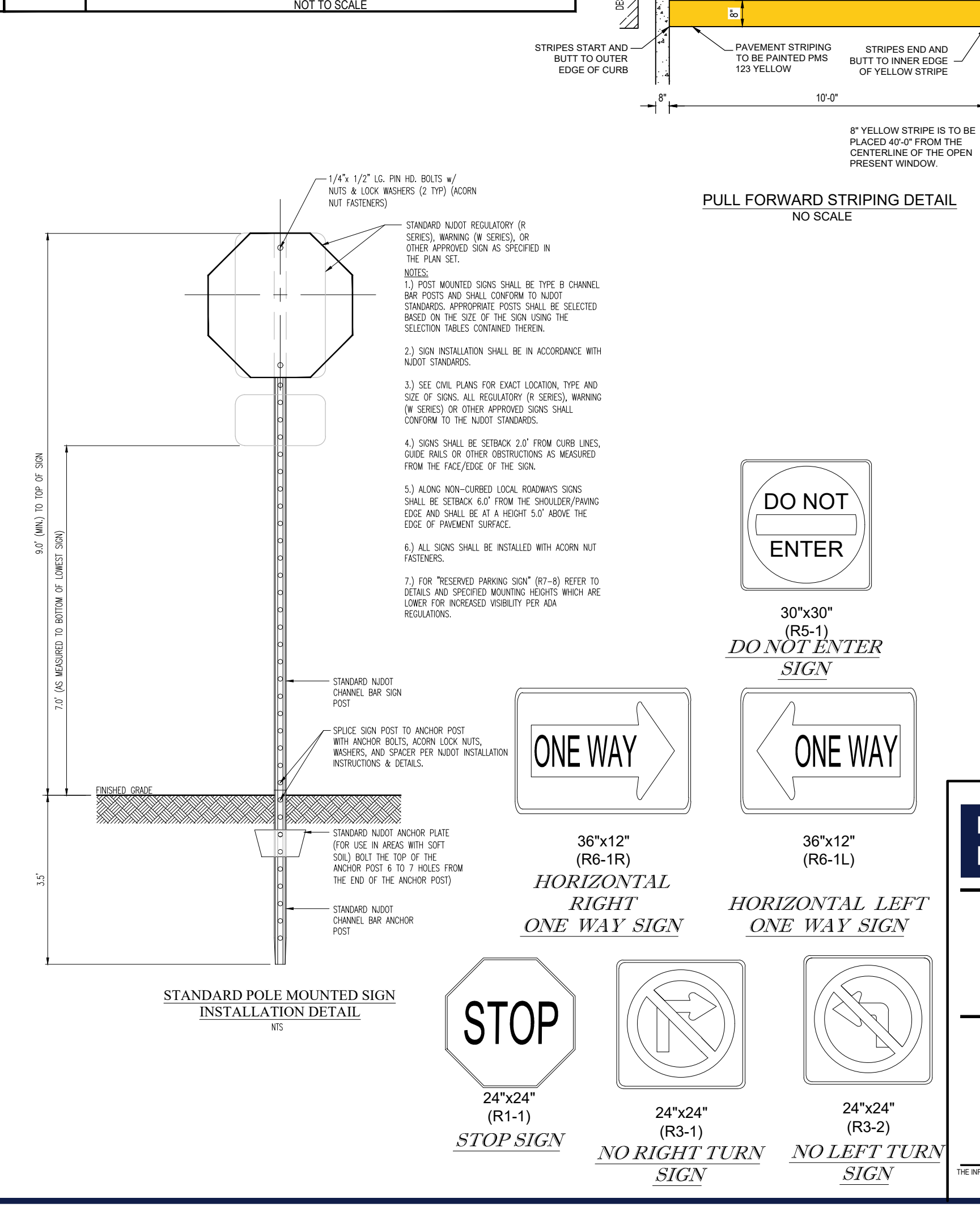
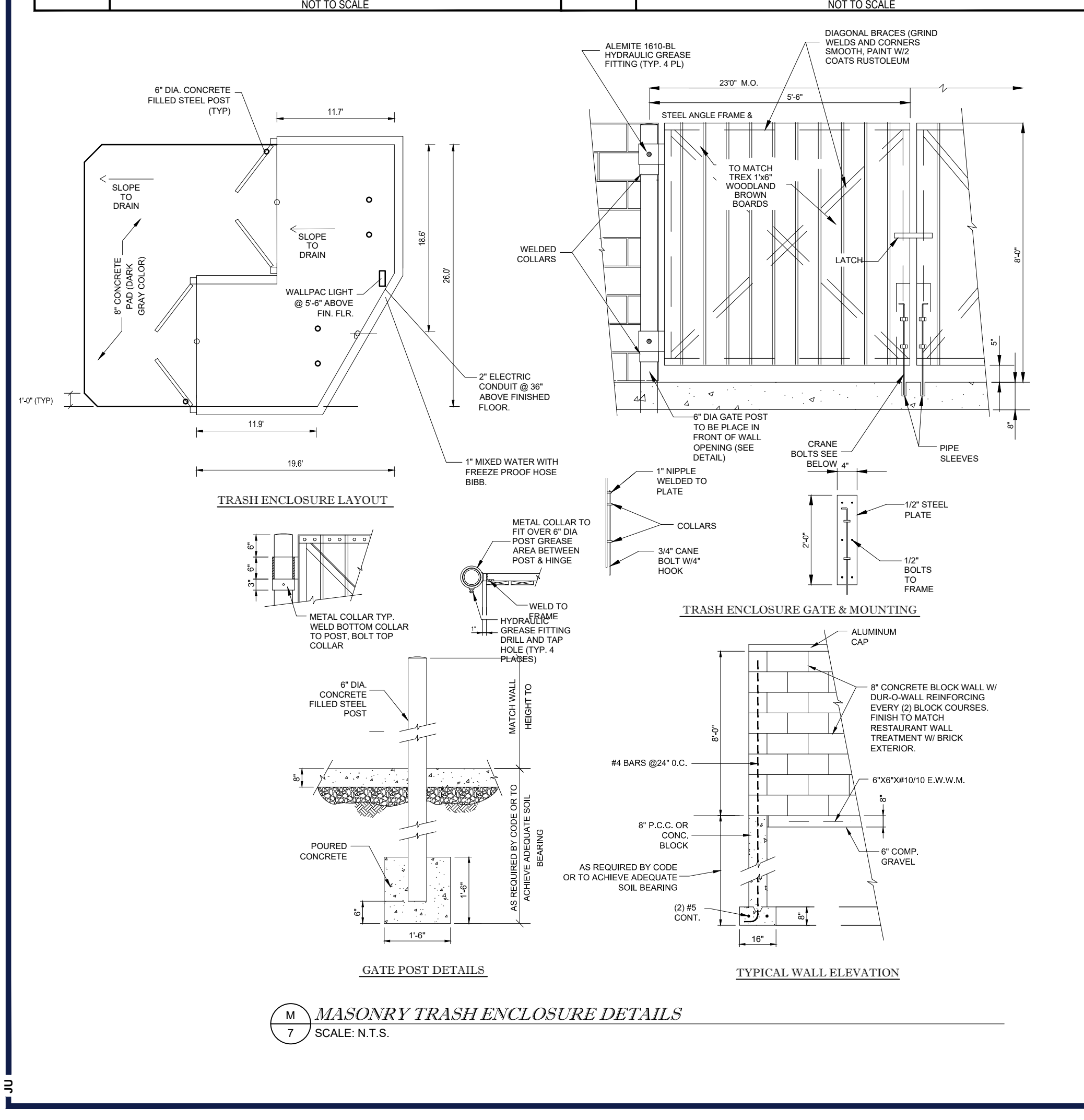
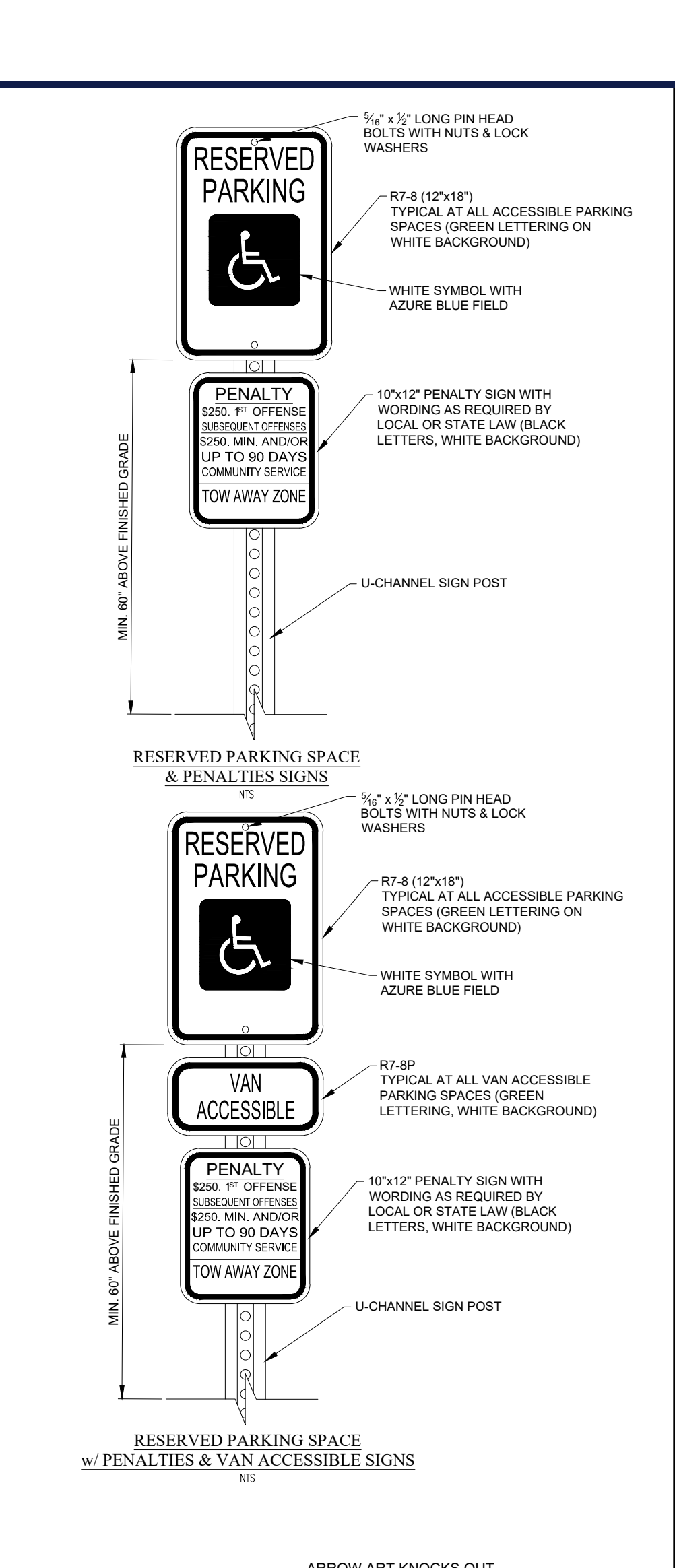
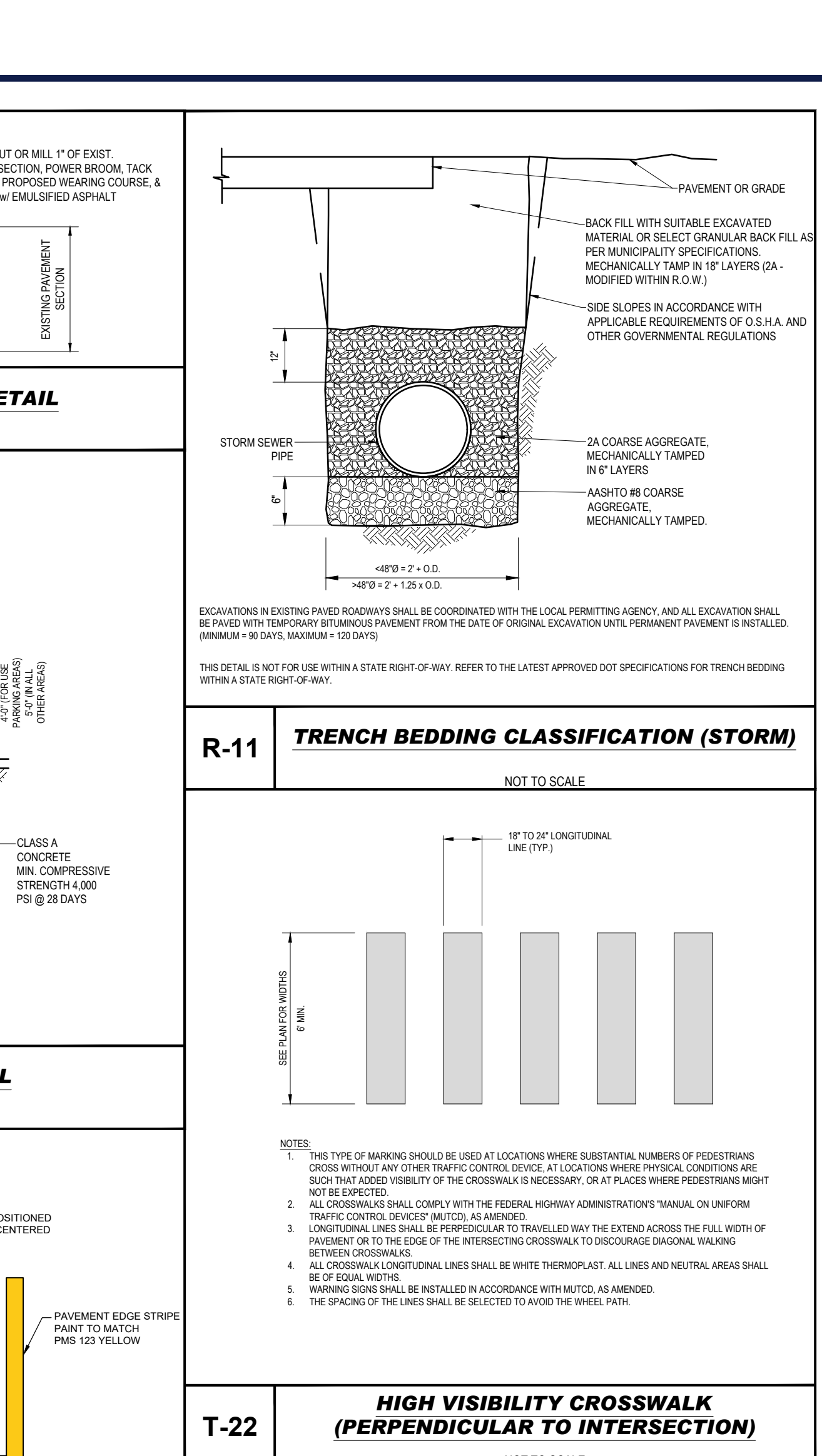
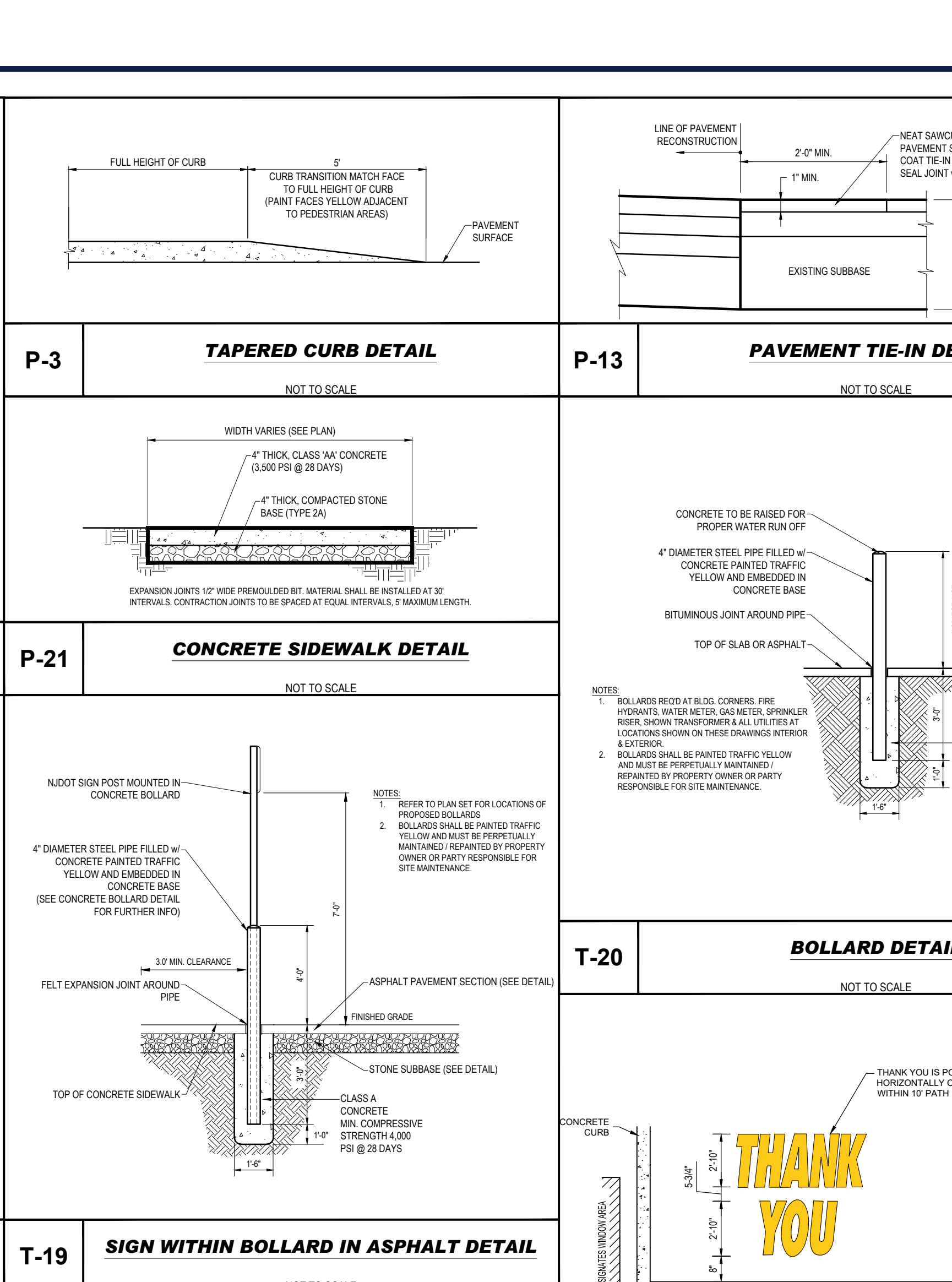
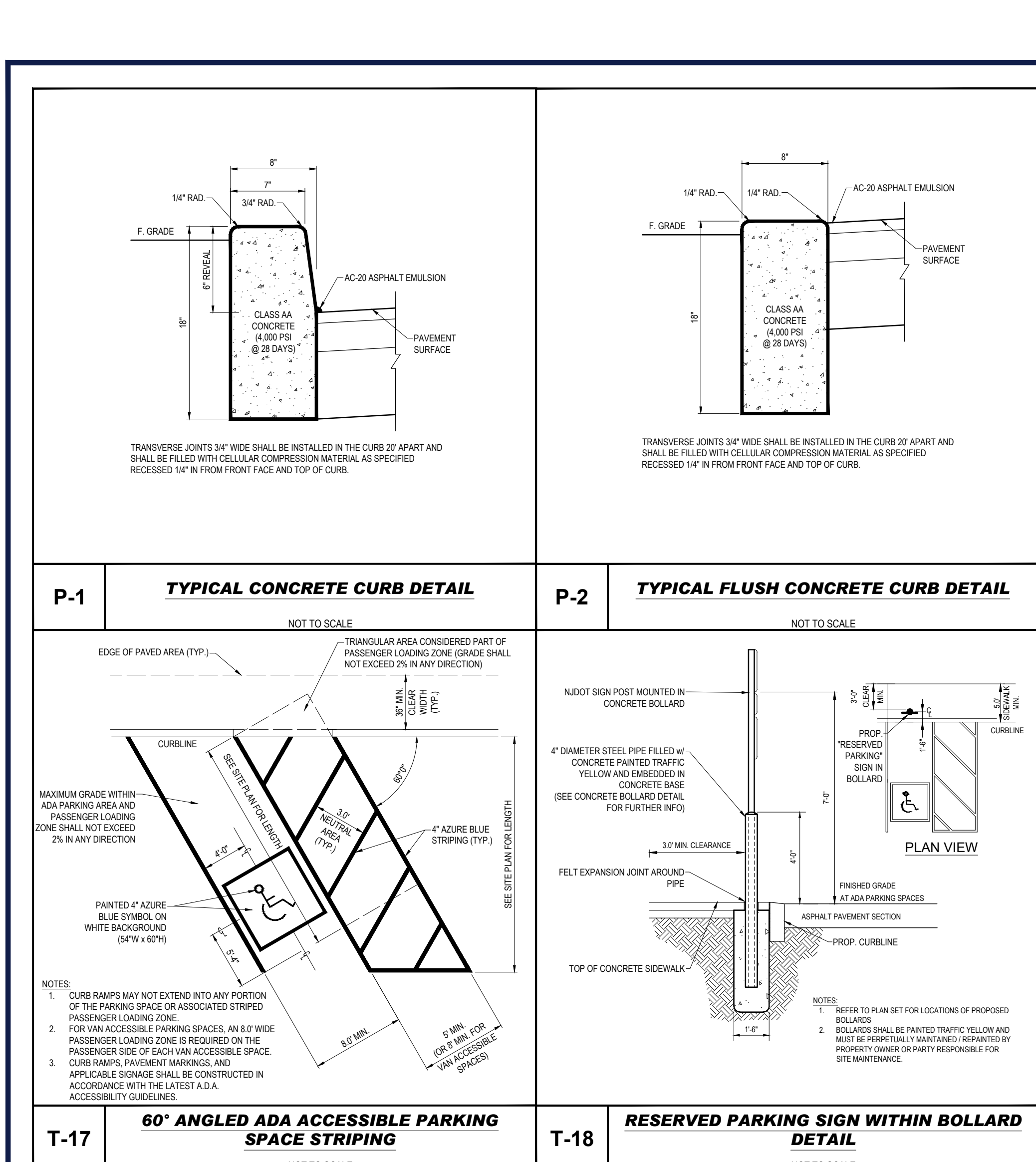
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REAL ESTATE DEPT.			
CO-SIGN SIGNATURES			
CONTRACTOR			
OWNER			

STATUS	DATE	BY
PRELIMINARY	5/29/2020	JDK
PLAN CHECKED	5/29/2020	MEJ
AS-BUILT	XXXX	XXXX

REV	DATE	DESCRIPTION	BY	ISSUE REF
01	07/23/2020	REV FOR TOWNSHIP REVIEW	NJM	



FINAL PLAN SIGNATURES	DATE	REV	DESCRIPTION	ISSUE REF
P.M.	07/29/2020	01		
G.C.				
O/O				

PLAN APPROVALS	DATE	STATUS	DATE	BY
SIGNATURE (2 REQUIRED)		PRELIMINARY	5/29/2020	JDK
REGIONAL MGR.		PLAN CHECKED	5/29/2020	MEJ
CONST. MGR.		AS-BUILT	XXXX	XXX
OPERATIONS DEPT.				
REAL ESTATE DEPT.				
CONTRACTOR				
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PLAN APPROVALS	DATE	STATUS	DATE	BY
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REGIONAL MGR.		PLAN CHECKED	5/29/2020	MEJ
CONST. MGR.		AS-BUILT	XXXX	XXX
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TAX MAP SHEET 5 - BLOCK 502 - LOT 13.02

PRELIMINARY / FINAL MAJOR SITE PLANS

PLAN SCALE: AS NOTED

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STATE
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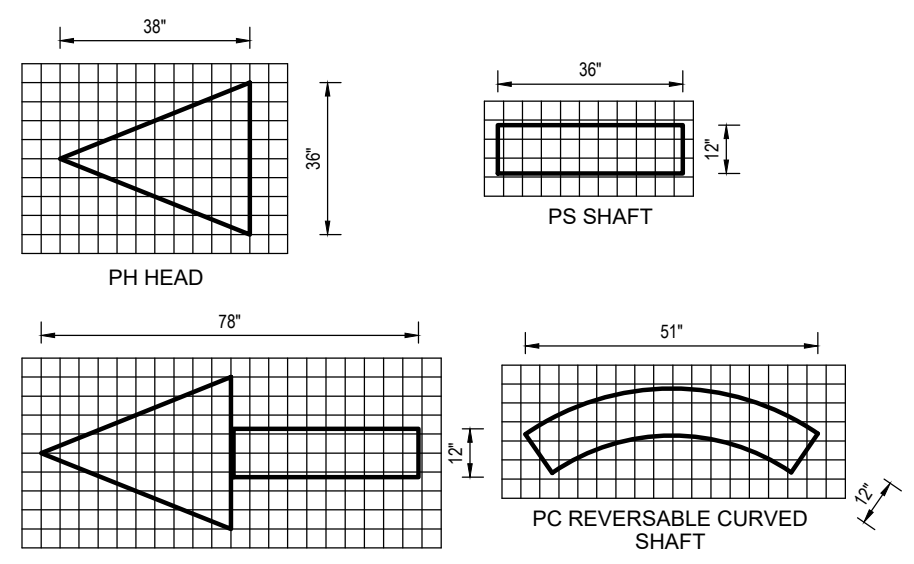
COUNTY
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REGIONAL DWG. NO.
LC #29-0019

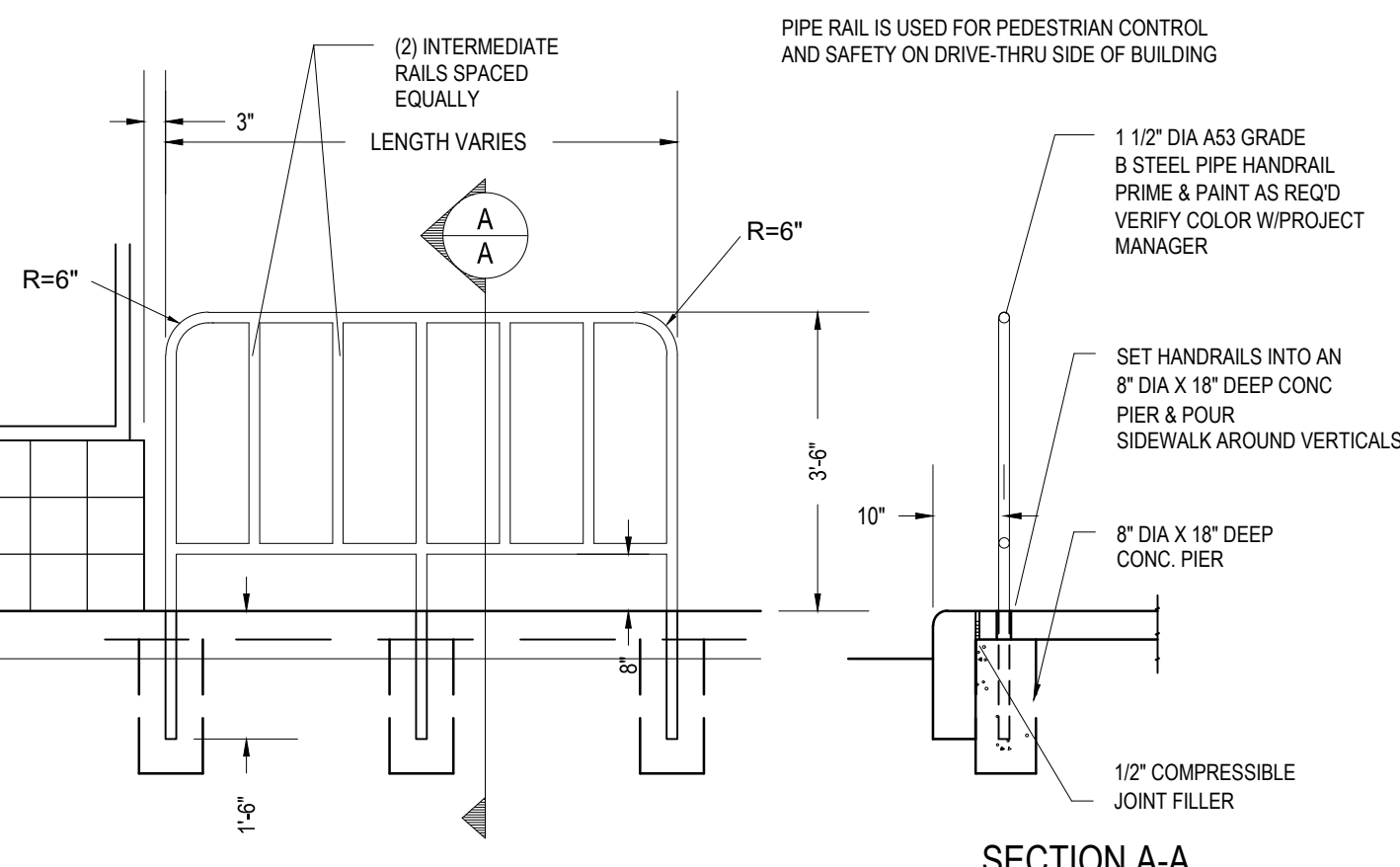
PLAN DESCRIPTION
DETAILS

CAD FILE: PY170090-COVER-1

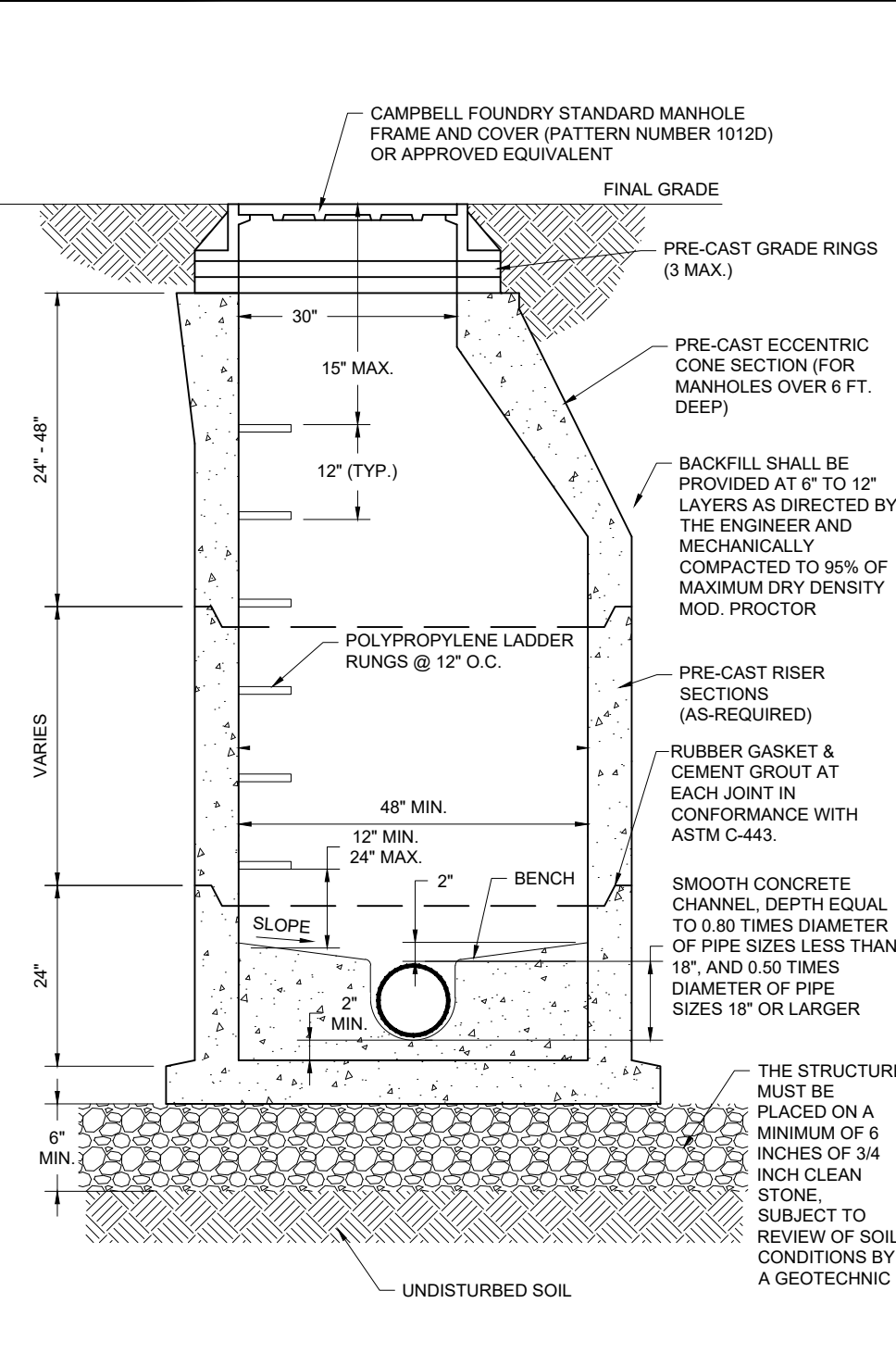
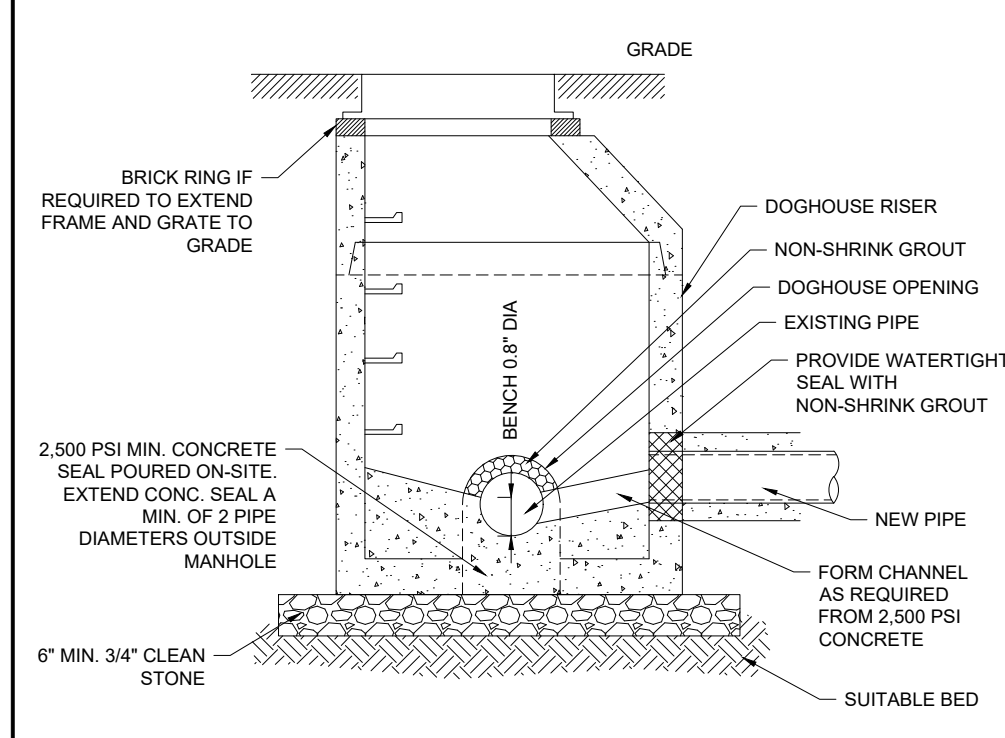
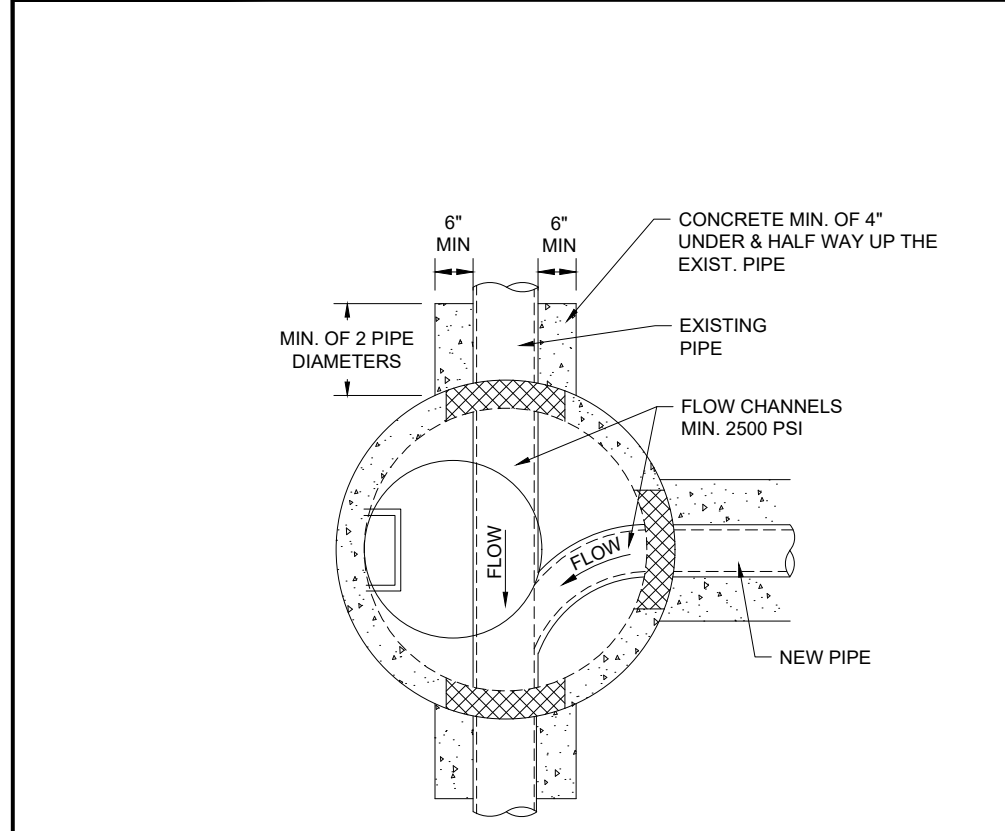
C-903
OF 20



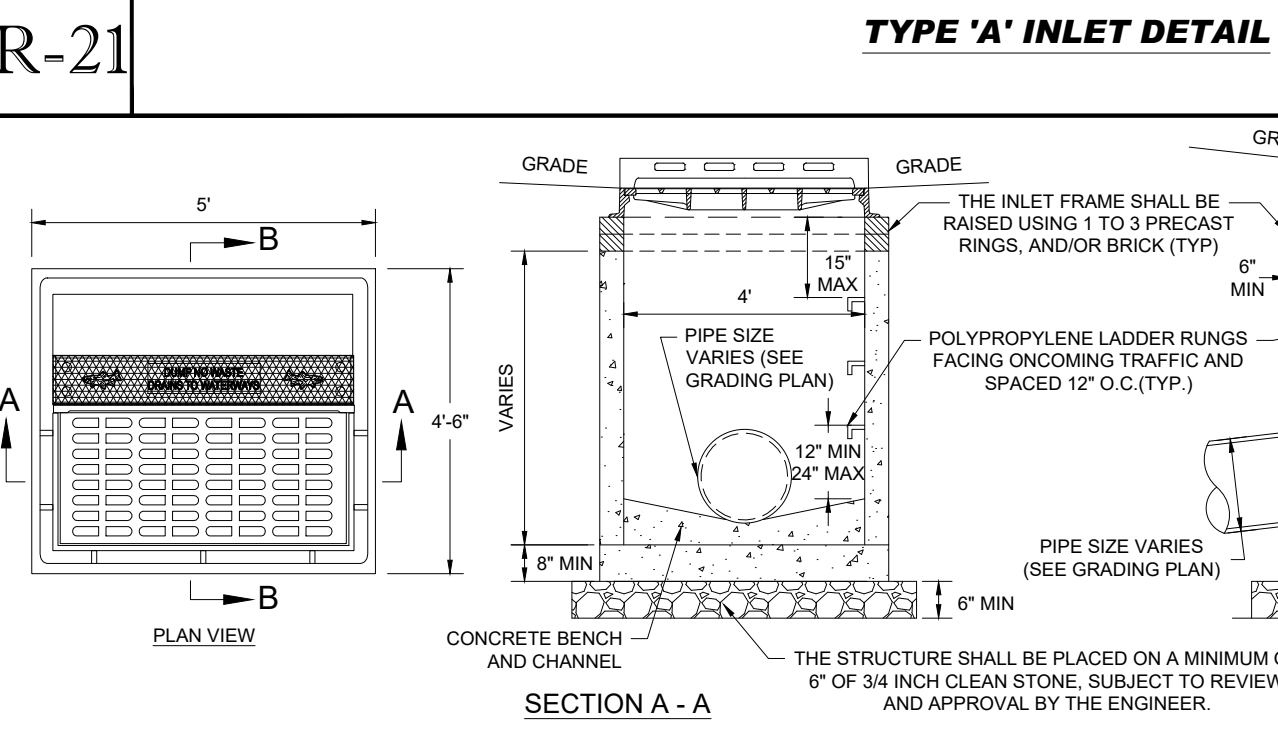
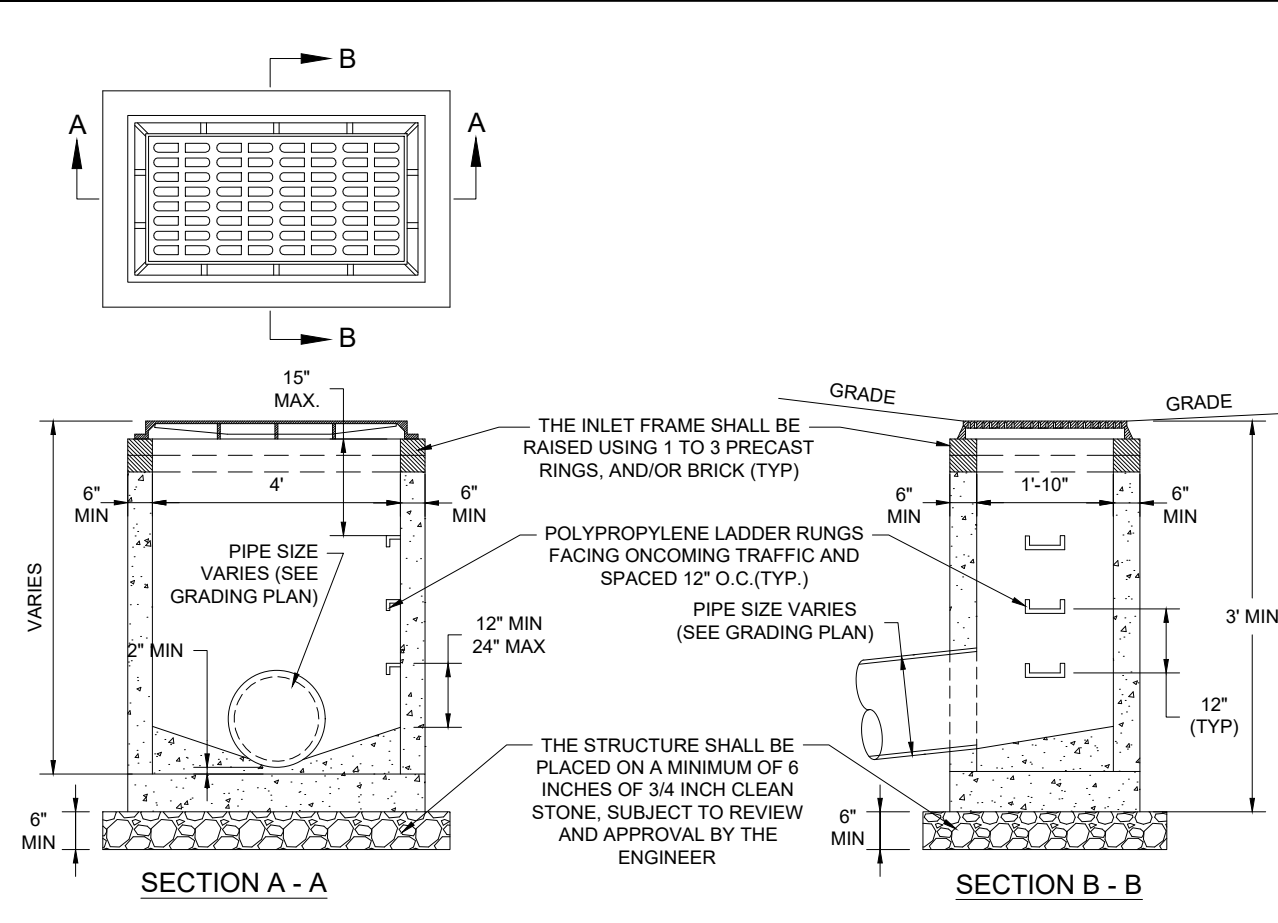
DOUBLE HEADED ARROW DETAIL
NO SCALE



PROPOSED FREE STANDING RAIL WITH EDGE PROTECTION
SCALE: N.T.S.



TYPE 'A' INLET DETAIL



TYPE 'B' INLET WITH ECO CURB PIECE DETAIL
NOT TO SCALE

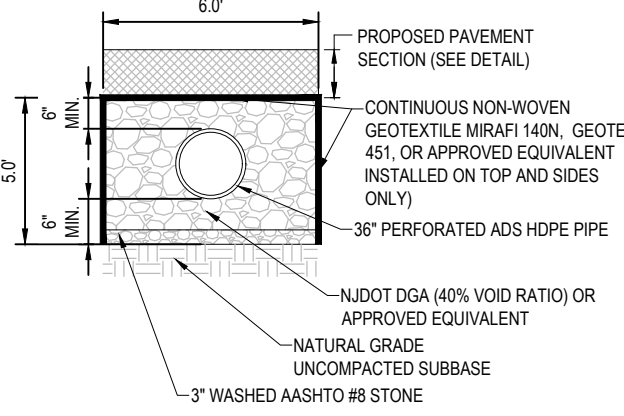
S-20 DOGHOUSE MANHOLE DETAIL

R-20 STORM MANHOLE DETAIL

R-22 TYPE 'B' INLET WITH ECO CURB PIECE DETAIL

STORMWATER INFILTRATING PIPES SPECIFICATIONS:

- UTILIZE A UNIFORMLY GRADED CRUSHED STONE (28), PROVIDED THAT THE STONE IS PROPERLY CLEANED AND THAT A MINIMUM VOID RATIO OF 40% IS PROVIDED. HIGHER VOID RATIOS MAY BE SELECTED BY THE DESIGN ENGINEER, AND # 30. THE DESIGN VOID RATIO SHALL GOVERN. IN ORDER TO INSURE THAT THE STONE USED IS PROPERLY CLEANED, IN ADDITION TO AASHTO DESIGNATION, M4388 GRADATION, THE PERCENT PASSING THE NO. 200 SIEVE SHALL NOT EXCEED 0.2%.
- A CERTIFICATION FROM THE MANUFACTURER DOCUMENTING THE FULL GRADATION AND VOID RATIO SHALL BE OBTAINED.
- WHEN IN THE OPINION OF THE TOWNSHIP INSPECTOR OR THE GEOTECHNICAL ENGINEER THE STONE IS NOT CONSISTENT WITH THE APPROVED SAMPLE, IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO HAVE THE STONE RETESTED AND CERTIFIED BEFORE ANY ADDITIONAL STONE IS INSTALLED OR DELIVERED.
- ALL STONE SAMPLES AND CERTIFICATIONS SHALL BE SUBMITTED TO THE TOWNSHIP 14 DAYS PRIOR TO THE START OF STORMWATER DETENTION BASIN CONSTRUCTION.
- EXCAVATION OF THE INFILTRATION FACILITIES SHALL BE PERFORMED WITH EQUIPMENT THAT WILL NOT COMPACT THE BOTTOM OF THE BED.
- THE BOTTOM OF THE EXCAVATION SHALL BE SCARIFIED PRIOR TO THE PLACEMENT OF AGGREGATE.
- ONLY CLEAN AGGREGATE, FREE OF DEBRIS, SHALL BE ALLOWED.
- THE TOP AND SIDES OF THE BEDS SHALL BE COVERED WITH CONTINUOUS NON-WOVEN GEOTEXTILE, MIRAFI 140N, AMOCO 4547, GEOTEX 451, OR APPROVED EQUIVALENT.
- CONSTRUCTION OF THE FACILITY SHALL PREVENT SILT FROM CLOGGING THE AGGREGATE BACKFILL.
- CONTRACTOR TO REVIEW AND IMPLEMENT PIPE BEDDING AND BACKFILL REQUIREMENTS RECOMMENDED BY THE SPECIFIC PIPE MANUFACTURER.
- THE BEDS SHALL BE BACKFILLED WITH CLEAN WASHED AGGREGATE AND SHALL BE KEPT CLEAN OF SOIL/SEDIMENT DURING THE INSTALLATION PROCESS. IF INSPECTION INDICATES THAT SOIL/SEDIMENT HAS CONTAMINATED THESE ITEMS, THE MATERIALS SHALL BE REPLACED AND/OR CLEANED AS NECESSARY.



CROSS SECTION OF INFILTRATING PIPES
NOT TO SCALE

B-3

REV	DATE	DESCRIPTION	BY	ISSUE REF
01	07/29/2020	REV FOR TOWNSHIP REVIEW		

FINAL PLAN SIGNATURES
P.M.
G.C.
O/O

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S USA, LLC AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

LIBERTY FET - PHILADELPHIA REGION
OFFICE ADDRESS: 6903 ROCKLEDGE DRIVE, SUITE 1100, BETHESDA, MD 20817

PLAN APPROVALS	DATE	STATUS	DATE	BY
SIGNATURE (2 REQUIRED)		PRELIMINARY	5/29/2020	JDK
REGIONAL MGR.		PLAN CHECKED	5/29/2020	MEJ
CONST. MGR.		AS-BUILT	XXXX	XXXX
OPERATIONS DEPT.				
REAL ESTATE DEPT.				
CONTRACTOR				
OWNER				

74 W BROAD STREET, SUITE 500
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Fax: (610) 709-9976
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PROFESSIONAL ENGINEER
PENNSYLVANIA LICENSE NO. PED565732
NEW JERSEY LICENSE NO. 2460E04493300
DELAWARE LICENSE NO. 18313

TAX MAP SHEET 5 - BLOCK 502 - LOT 13.02

PRELIMINARY / FINAL MAJOR SITE PLANS

PLAN SCALE: AS NOTED

STREET ADDRESS
4295 US ROUTE 130

TOWNSHIP: EDGEWATER PARK STATE: NJ

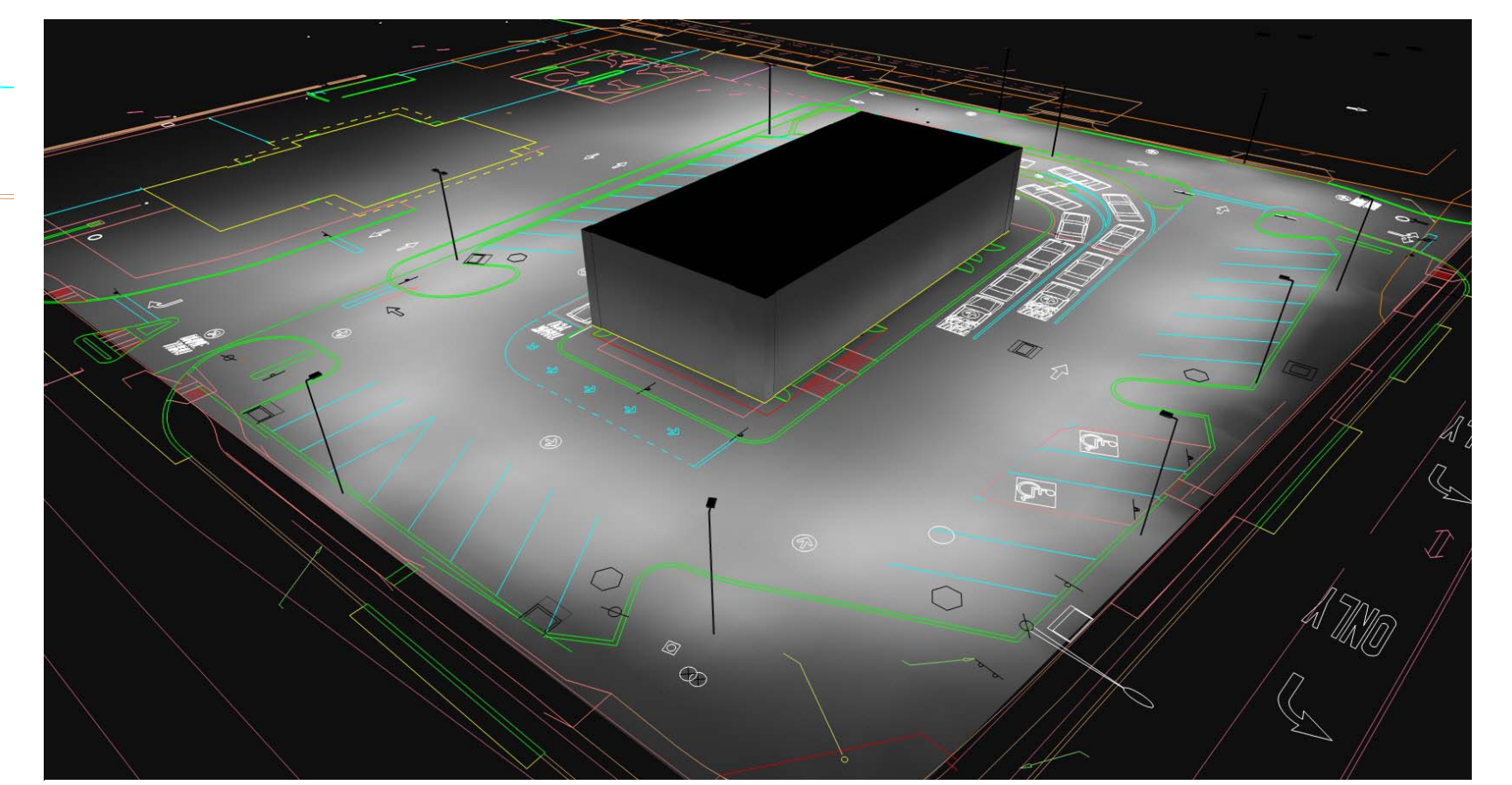
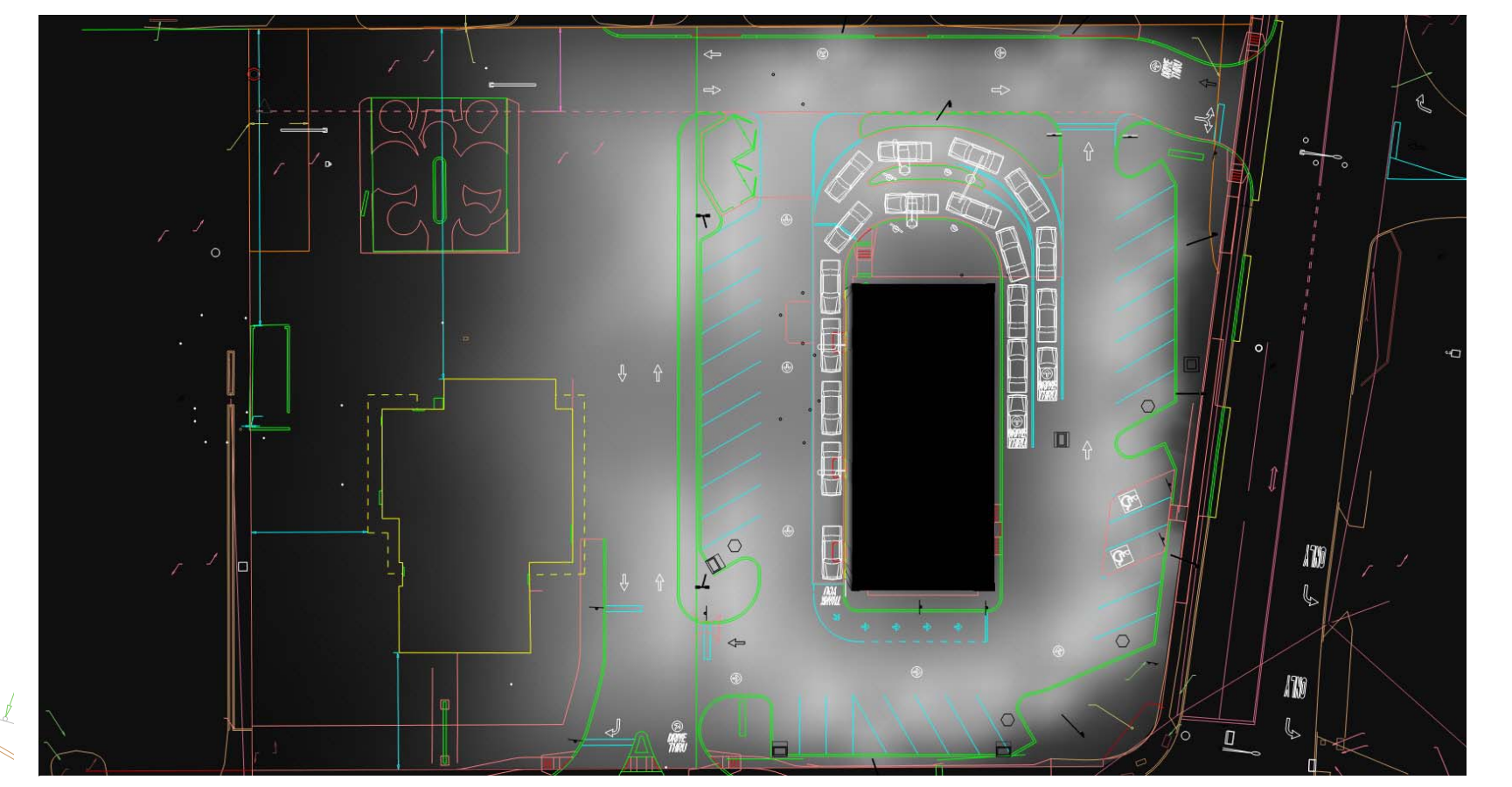
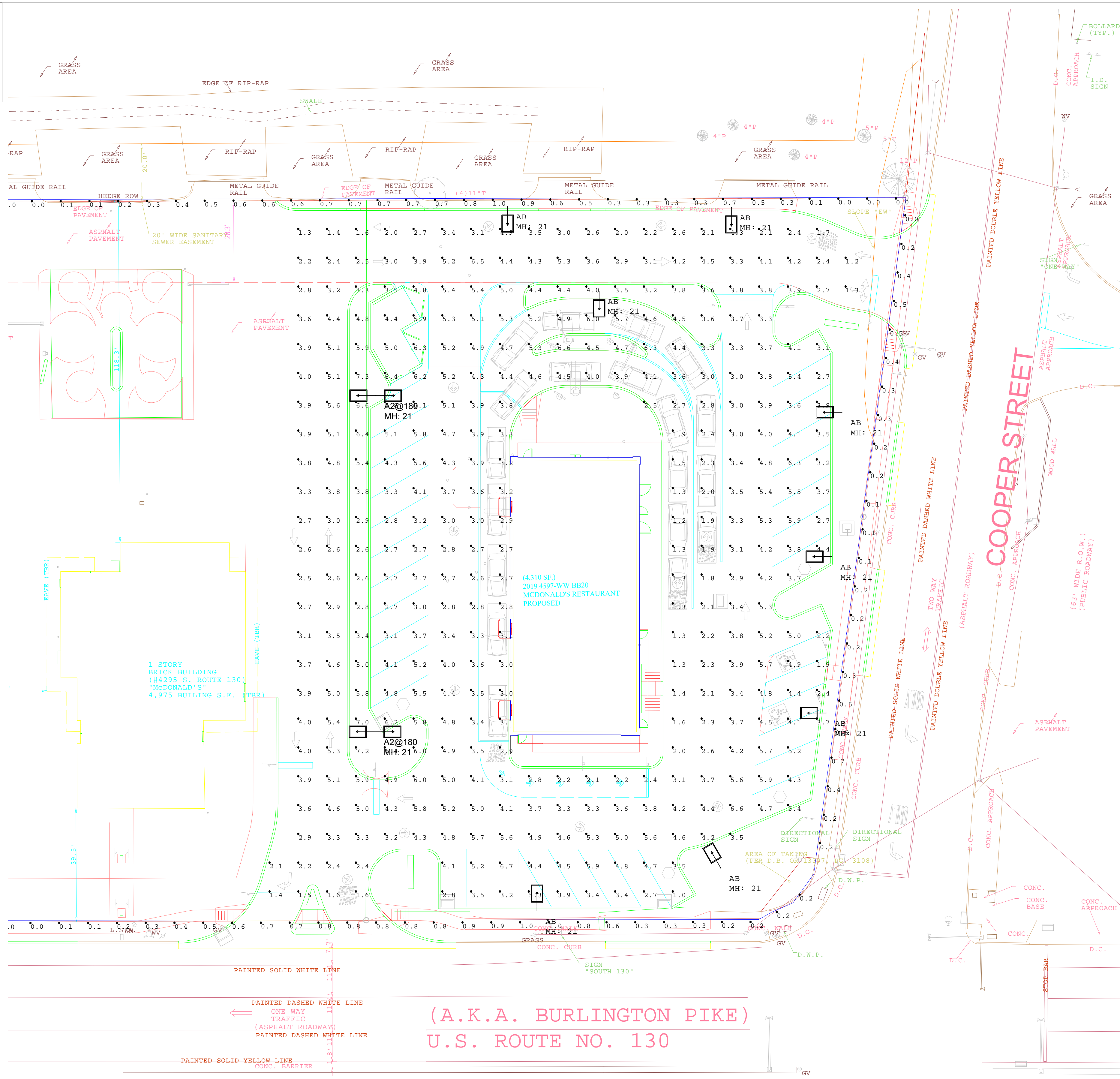
COUNTY: BURLINGTON

REGIONAL DWG. NO: LC #29-0019 PLAN DESCRIPTION: DETAILS

CAD FILE: P1170090 COVER-1

R:\1170090\DRAWINGS\PLAN SETS\LAND DEVELOPMENT\REV\1170090 COVER-1.dwg - LAYOUT: C-905 DETAILS

NOTES:
 1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
 2. DISTANCE BETWEEN READINGS 10'



Pole Lights Are Full Cutoff
 With Backlight Shielding


Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PAVED SURFACE READINGS	Illuminance	Fc	3.82	7.3	1.0	3.82	7.30
PROPERTY LINE READINGS	Illuminance	Fc	0.31	1.0	0.0	N.A.	N.A.

Luminaire Schedule	Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	EPA	Mtg Height	Pole Type
	□	8	AB	SINGLE	0.900	VPL-96L-280-5K7-4W-BC	276.7	1.2	21	SES-18-40-1-GL-TA-xx (4")
	□	2	A2@180	BACK-BACK	0.900	VP-L-96L-280-5K7-4W-TWIN	280	2.4	21	SES-18-40-1-GL-TA-xx (4")

* PROJECT WIND LOAD CRITERIA BASED ON:
 ASCE 7-10 WIND SPEEDS (3-SEC PEAK GUST MPH)
 50 YEAR MEAN RECURRENCE INTERVAL
 Allowed EPA 7.2 @
 Wind Load 90MPH

THIS DRAWING MEETS OR EXCEEDS MCDONALD'S CURRENT ILLUMINATION SPECIFICATIONS OF A 3-4 FOOTCANDLE AVERAGE, UNLESS SUPERSEDED BY OTHER REQUIREMENTS.

1. THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS TO SECURITY LIGHTING SYSTEMS. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AND FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.
 2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.
 3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.
 4. THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO BE COMPLIANT WITH TITLE 24 OR OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.



SECURITY LIGHTING™

2100 Golf Road, Suite 400, Rolling Meadows, IL 60008
 1-800-544-6888

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES
 SCALE 1"=20' 0"
 DRAWN BY BV
 POINT-BY-POINT FOOTCANDLE PLOT FOR
 MCDONALD'S
 4295 US ROUTE 130
 EDGEWATER PARK, NJ
 NATIONAL STORE NUMBER
00573
 DATE 4/4/2020 DRAWING NUMBER
 SL2004004-Rev1.AGI

Regional Drawing
 # 29-0019