VARIANCES REQUESTED

LOT 13.02: FROM SECTION §16.82.O. EXHIBIT A -

a. TO PERMIT A LOT AREA OF 0.864 ACRES IN LIEU OF THE REQUIRED 5 ACRES. b. TO PERMIT LOT FRONTAGE ON ROUTE 130 OF 149.8 FT. IN LIEU OF THE REQUIRED 300 FT.

c. TO PERMIT A LOT DEPTH OF 250 FT. IN LIEU OF THE REQUIRED 500 FT. d. TO PERMIT A LOT WIDTH OF 149.8 FT. IN LIEU OF THE REQUIRED 300 FT.

• TO PERMIT A REAR LANDSCAPE BUFFER YARD OF 0.0 FT. IN LIEU OF THE REQUIRED 15 FT. (EXISTING = 0.0 FT) • TO PERMIT A SIDE LANDSCAPE BUFFER YARD OF 0.0 FT. IN LIEU OF THE REQUIRED 15 FT. (EXISTING = 0.0 FT)

FROM SECTION §16.82.17 TO PERMIT A FAST FOOD RESTAURANT WITH DRIVE-THRU IN THE COMMERCIAL-LIGHT INDUSTRIAL DISTRICT

a. TO PERMIT A LOT AREA OF 0.978 ACRES IN LIEU OF THE REQUIRED 5 ACRES.

b. TO PERMIT A LOT FRONTAGE ON US ROUTE 130 OF 137.2 FT. IN LIEU OF THE REQUIRED 300 FT. c. TO PERMIT A LOT FRONTAGE ON COOPER STREET OF 232.4 FT. IN LIEU OF THE REQUIRED 300 FT.

d. TO PERMIT A LOT DEPTH OF 250 FT. IN LIEU OF THE REQUIRED 500 FT. e. TO PERMIT A LOT WIDTH OF 137.21 FT. IN LIEU OF THE REQUIRED 300 FT.

f. TO PERMIT A SIDE YARD BUILDING SETBACK OF 46.0 FT. IN LIEU OF THE REQUIRED 50 FT. g. TO PERMIT AN IMPERVIOUS COVERAGE OF 82.9% IN LIEU OF THE MAXIMUM PERMITTED 65%.

FROM SECTION §16.82.17.E - TO PERMIT AN ACCESSORY REFUSE STRUCTURE TO BE LOCATED WITHIN THE BUFFER AREA.

FROM SECTION §16.83.E - TO PERMIT AN ACCESSORY REFUSE STRUCTURE WITH A SIDE YARD SETBACK OF 1.5 FT. IN LIEU OF THE REQUIRED 25 FT

FROM SECTION §16.88.B(8)(B) - TO PERMIT PARKING WITHIN THE REQUIRED LANDSCAPE BUFFER ALONG THE SOUTHERN, WESTERN, AND EASTERN PROPERTY

• TO PERMIT A FRONT LANDSCAPE BUFFER YARD OF 3.4 FT. IN LIFT OF THE REQUIRED 20 FT TO PERMIT A REAR LANDSCAPE BUFFER YARD OF 3.6 FT. IN LIEU OF THE REQUIRED 15 FT.

TO PERMIT A SIDE LANDSCAPE BUFFER YARD OF 0.8 FT. IN LIEU OF THE REQUIRED 15 FT.

FROM SECTION §16.90.1.A(1) - TO PERMIT CHANGEABLE TYPE (DIGITAL) SIGNS WHERE AS THEY ARE PROHIBITED. (PRE-BROWSE, MENU BOARD, MONUMENT

FROM SECTION §16.90.5.B(1) - TO PERMIT EIGHT (8) BUSINESS SIGNS IN LIEU OF THE PERMITTED THREE (3). (FOUR (4) EXISTING)

FROM SECTION §16.90.5.B(1)A - TO PERMIT SIGN AREA PER BUILDING FACADE TO BE GREATER THAN 40 SF. a. ROUTE 130 FACADE - TWO (2) SIGNS TOTALING 46.8 SF (77.8 SF EXISTING) b. COOPER STREET FAÇADE - TWO (2) SIGNS TOTALING 46.8 SF (0 SF EXISTING)

FROM SECTION §16.90.5.B(1)C - TO PERMIT A ROAD SIGN WITH AN AREA OF 121.2 SF IN LIEU OF THE PERMITTED 75 SF, A MAX HEIGHT OF 25 FT. IN LIEU OF THE PERMITTED 8 FT. AND A CURBLINE SETBACK OF 9.3 FT. IN LIEU OF THE REQUIRED 15 FT. (NEXT GEN HIGHWAY SIGN) (EXISTING: AREA (APPROX. BOXED) = 560

FROM SECTION §16.90.5.B(1)C - TO PERMIT A MONUMENT SIGN WITH A CURBLINE SETBACK OF 3.0 FT. IN LIEU OF THE REQUIRED 15 FT.

WAIVERS REQUESTED

FROM SECTION §16.04.80 - TO ALLOW COMBINED PRELIMINARY/FINAL MAJOR SITE PLAN APPROVAL IN LIEU OF SEPARATE PRELIMINARY MAJOR

FROM SECTION §16.04.90 - TO ALLOW COMBINED PRELIMINARY/FINAL MAJOR SITE PLAN APPROVAL IN LIEU OF SEPARATE FINAL MAJOR SITE PLAN

CHECKLIST WAIVERS REQUESTED

CHECKLIST ITEM #2 - A WAIVER IS REQUESTED TO ALLOW SCALE SIZES OF 1"=20' AND 1"=10' IN LIEU OF THE REQUIREMENT FOR A SCALE OF 1"=30'

CHECKLIST ITEM #12 - A WAIVER IS REQUESTED TO NOT PROVIDE ALL STRUCTURES WITHIN 200 FEET OF THE PROPERTY.

CHECKLIST ITEM #15 - A WAIVER IS REQUESTED TO NOT PROVIDE A "TREE SAVE PLAN".

CHECKLIST ITEM #2 - A WAIVER IS REQUESTED TO ALLOW SCALE SIZES OF 1"=20' AND 1"=10' IN LIEU OF THE REQUIREMENT FOR A SCALE OF 1"=30'

NJDOT APPROVAL



A-130-S-####-2020

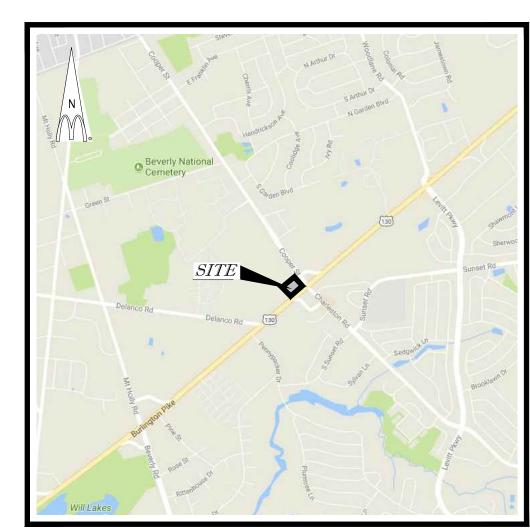
M.P. 42.98

NJDOT NOTES:

- 1. THE NEW JERSEY DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2019, WITH AMENDMENTS THERETO GOVERN.
- 2. NJDOT STANDARD CONSTRUCTION DETAILS ROADWAY-TRAFFIC CONTROL-BRIDGE 2016, AND STANDARD ELECTRICAL DETAIL BOOKLET 2007 ARE APPLICABLE TO THIS PROJECT EXCEPT FOR THOSE DETAILS CONTAINED HEREIN.
- 3. AN NJDOT PRE-CONSTRUCTION MEETING IS REQUIRED WITH NJOT OPERATIONS PERMITS OFFICE. CONTACT RAMESH PATEL (609) 240-5285.
- 4. THE NJDOT ACCESS PERMIT IS NOT VALIS UNTIL A CONFIRMATION NUMBER OBTAINED FROM THE ONE-CALL SYSTEM IN ACCORDANCE WITH P.L. 1994, CHAPTER 118, ITEM #11 FO THE UNDERGROUND FACILITY PROTECTION ACT IS SUPPLIED TO THE NJDOT OPERATIONS -
- 5. SEPARATE UTILITY PERMIT APPLICATIONS ARE REQUIRED FOR EACH PROPOSED UTILITY WORK (GAS, ELECTRIC, WATER, SEWER, ETC.) AND UTILITY PERMIT APPLICATION MUST BE

LAND DEVELOPMENT DRAWING SHEET INDEX

SHEET TITLE	SHEET NUMBER
COVER SHEET	C-101
NOTES SHEET	C-102
EXISTING CONDITIONS/DEMOLITION PLAN	C-201
SUBDIVISION PLAN	C-301
SITE PLAN	C-302
DRIVE-THRU PLAN	C-303
SIGNAGE PLAN	C-304
GRADING PLAN	C-401
PRE-DEVELOPMENT DRAINAGE AREA PLAN	C-402
POST-DEVELOPMENT DRAINAGE AREA PLAN	C-403
UTILITY PLAN	C-501
SOIL EROSION AND SEDIMENT CONTROL PLAN	C-601
SOIL EROSION AND SEDIMENT CONTROL DETAILS	C-602
LANDSCAPE PLAN	C-701
LANDSCAPE NOTES AND DETAILS	C-702
TRUCK TURN PLAN	C-901
NJDOT 500' LOCATION PLAN	C-902
DETAILS	C-903
DETAILS	C-904
DETAILS	C-905
LIGHTING PLAN	L-1

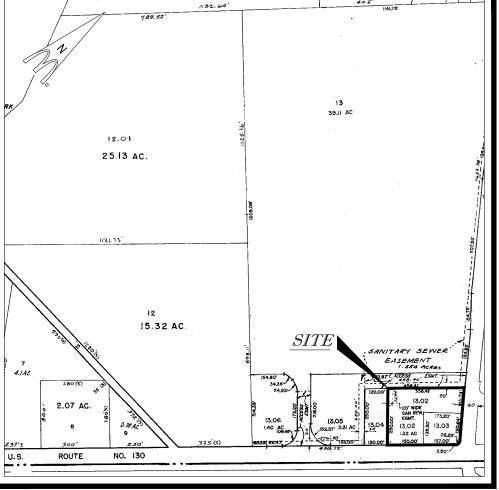


LOCATION MAP

SCALE: 1" = 2,000' SOURCE: GOOGLE MAPS

NJDOT ADDITIONAL SUBMISSION ITEMS INDEX

SURVEY	S-1
SIGNING & STRIPING PLAN (BY OTHERS)	1 OF 3
TRAFFIC CONTROL NOTES (BY OTHERS)	2 OF 3
TRAFFIC CONTROL PLAN (BY OTHERS)	3 OF 3



PRELIMINARY I FINAL MAJOR

SITE PLANS

MCDONALD'S USA, LLC

PROPOSED

McDONALD'S RESTAURANT NO. 29-0019 REBUILD

LOCATION OF SITE

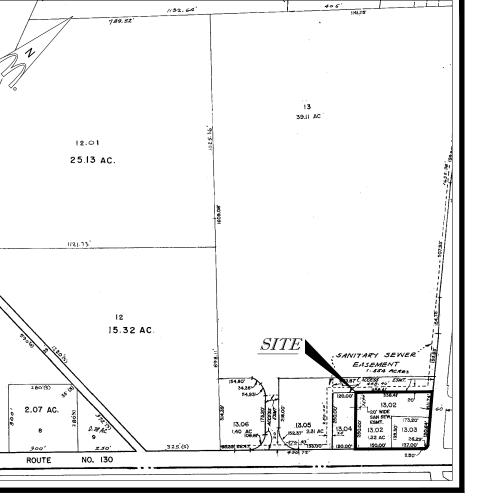
4295 US ROUTE 130, EDGEWATER PARK TOWNSHIP

BURLINGTON COUNTY, NEW JERSEY

TAX MAP SHEET 5, BLOCK 502, LOT 13.02 & 13.03

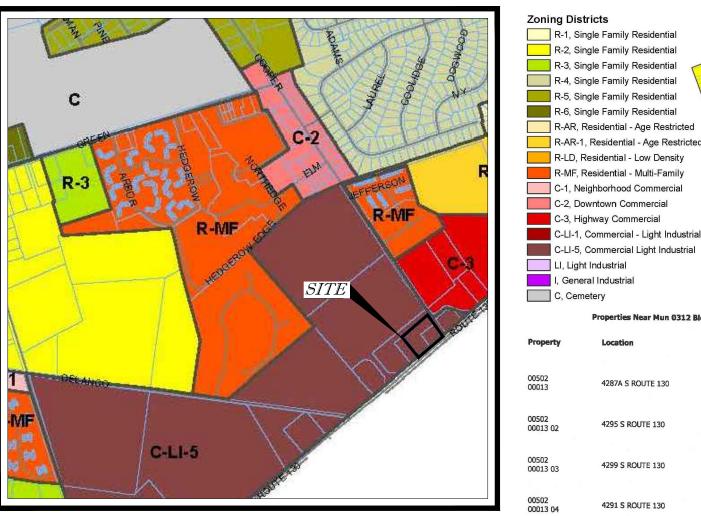
SOURCE: EDGEWATER PARK TOWNSHIP TAX MAPS

PREPARED BY



TAX MAP





ZONING MAP

74 W BROAD STREET, SUITE 500

BETHLEHEM, PA 18018

Phone:(610) 709-9971 Fax: (610) 709-9976

www.BohlerEngineering.com

SITE CIVIL AND CONSULTING ENGINEERING

LAND SURVEYING

PROGRAM MANAGEMENT

LANDSCAPE ARCHITECTURE

SUSTAINABLE DESIGN

PERMITTING SERVICES

TRANSPORTATION SERVICES

SCALE: 1" = 1000' SOURCE: EDGEWATER PARK

00502 00013 04	4291 S ROUTE 130	4 A	JAMAH CAR WASH 14 PONTY COURT MONMOUTH JUNCTION, NJ 08852
01202 07 00004 03	4303 S ROUTE 130	4A	MSS PARK, LLC 2929 ROUTE 130 DELRAN, NJ 08075
01202 07 00005	COOPER ST	15E	COOPERTOWN MEETING HOUSE & BURIAL (COOPERTOWN ROAD EDGEWATER PARK, NJ 08010
01203 00001	4301 S ROUTE 130	4A	CITY AVENUE GROUP, LLC 192 TENBY CHASE DR DELRAN, NJ 08075

BOHLER/

Call before you dig. **NEW JERSEY**

YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND.

M.E. JEITNER

PROFESSIONAL ENGINEER:

PENNSYLVANIA LICENSE No. PE055733

TAX MAP SHEET 5 - BLOCK 502 - LOT 13.02 PRELIMINARY / FINAL MAJOR SITE PLANS PLAN SCALE: AS NOTED STREET ADDRESS 4295 US ROUTE 130 **EDGEWATER PARK**

NEW JERSEY LICENSE No. 24GE04493300 DELAWARE LICENSE No. 18313

BURLINGTON

CERTIFICATION OF OWNERSHIP AND

LAW, DEPOSES AND SAYS THAT HE/SHE IS A DULY AUTHORIZED SENIOR COUNSEL OF

TOWNSHIP OF EDGEWATER PARK BOARD APPROVAL

APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF EDGEWATER PARK

NEW JERSEY

ADJOINING MUNICIPALITIES

MUNICIPAL COMPLEX

WILLINGBORO, NJ 08046

MUNICIPAL BUILDING

BEVERLY, NJ 08010

851 OLD YORK ROAD

BURLINGTON, NJ 08015

DELANCO, NJ 08075

GOVERNING AGENCIL

MT HOLLY, NJ 08060

P O BOX 600

BURLINGTON COAT FACTORY WARE CORP

COOPERTOWN MEETING HOUSE & BURIAL G

BURLINGTON COAT FACTORY WARE CORP

BURLINGTON, NJ 08016

BURLINGTON, NJ 08016

PO BOX 182571 COLUMBUS, OH 43218

BURLINGTON COUNTY PLANNING BOARD

CK LETTIERE, COMMISSIONER

856-461-0561

DATE

DATE

DATE

FOR INFORMATIONAL PURPOSES

ROBERT PRESTON, SALES CONSULTANT

KEVIN SMITH, GENERAL MANAGER 21 BEVERLY-RANCOCAS ROAD WILLINBORO, NJ 08046

MAUREEN DUFFY, COMMUNITY RELATIONS

EDGEWATER PARK SEWERAGE AUTHORIT

300 NEW ALBANY ROAD MOORESTOWN, NJ 08057

BARBARA WINWARD

989 LENOX DRIVE SUITE 224

AWRENCEVILLE, NJ 08648

COOPER AND GREEN STREETS

FAX: 800-637-9137

 \mathcal{O} G

ATTACHED SITE PLAN, AND THAT SUCH SITE PLAN WAS MADE WITH HIS/HER/ITS KNOWLEDGE, THAT HE/SHE ACKNOWLEDGES THE SAME TO BE HIS/HER/ITS ACT AND DESIRES THAT THE SITE

, BEING ONE OF THE OWNERS OF THE PROPERTIES SHOWN ON THE

20_____, BEFORE ME, THE UNDERSIGNED

ACKNOWLEDGMENT OF PLAN

, PERSONALLY APPEARED

DAY OF

PLAN BE RECORDED ACCORDING TO ALL LAWS.

SWORN TO AND SUBSCRIBED BEFORE ME THIS ____ DAY OF

MY COMMISSION EXPIRES:

CHAIRMAN

SECRETARY

ENGINEER

R-1, Single Family Residential

R-6, Single Family Residential

R-AR, Residential - Age Restricted

R-MF, Residential - Multi-Family

C-LI-1, Commercial - Light Industrial

4299 S ROUTE 130

4291 S ROUTE 130

C-1, Neighborhood Commercial

C-2. Downtown Commercial

C-3, Highway Commercial

LI, Light Industrial

I, General Industrial

R-AR-1, Residential - Age Restricted

R-2, Single Family Residential

R-3, Single Family Residential R-4, Single Family Residential R-5, Single Family Residential

COÙNTY:

REGIONAL DWG. NO PLAN DESCRIPTION

COVER LC #29-0019 SHEET

C-101

STATUS

RELIMINARY

PLAN CHECKED

DATE

5/29/2020 JDK

5/29/2020 ME

XXXX XXXX

GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH THE NOTES AND SPECIFICATIONS CONTAINED HEREIN. CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL SUBCONTRACTORS FULLY AND COMPLETELY CONFORM TO AND COMPLY WITH THESE REQUIREMENTS.
- . ALL ACCESSIBLE ADA PARKING SPACES MUST BE CONSTRUCTED TO MEET, AT A MINIMUM, THE MORE STRINGENT OF THE REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA) CODE (42 U.S.C. § 12101 et seq. AND 42 U.S.C. § 4151 et seq.) OR THE REQUIREMENTS OF

 26. ALL CONSTRUCTION AND MATERIALS MUST COMPLY WITH AND CONFORM TO APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, THE JURISDICTION WHERE THE PROJECT IS TO BE CONSTRUCTED, AND ANY AND ALL AMENDMENTS TO BOTH WHICH ARE IN EFFECT WHEN THESE PLANS ARE COMPLETED.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED. NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED THE COMMENTS TO ALL PLANS AND OTHER DOCUMENTS REVIEWED AND APPROVED BY THE PERMITTING AUTHORITIES AND CONFIRMED THAT ALL NECESSARY OR REQUIRED PERMITS HAVE BEEN OBTAINED. CONTRACTOR MUST HAVE COPIES OF ALL PERMITS AND APPROVALS ON SITE AT ALL TIMES
- 3. THE OWNER/CONTRACTOR MUST BE FAMILIAR WITH AND RESPONSIBLE FOR THE PROCUREMENT OF ANY AND ALL CERTIFICATIONS
- REQUIRED FOR THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY. 4. ALL WORK MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS.. SPECIFICATIONS AND CONDITIONS OF APPROVAL. AND ALL
- APPLICABLE REQUIREMENTS, RULES, REGULATIONS, STATUTORY REQUIREMENTS, CODES, LAWS AND STANDARDS OF ALL GOVERNMENTAL
- 5. THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SET FORTH HEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND, IN CASE OF CONFLICT, DISCREPANCY OR AMBIGUITY, THE MORE STRINGENT REQUIREMENTS AND/OR RECOMMENDATIONS CONTAINED IN THE PLANS AND THE GEOTECHNICAL REPORT AND RECOMMENDATIONS SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR MUST NOTIFY THE ENGINEER, IN WRITING, OF ANY SUCH CONFLICT, DISCREPANCY OR AMBIGUITY BETWEEN THE GEOTECHNICAL REPORT AND PLANS AND SPECIFICATIONS PRIOR TO PROCEEDING WITH ANY FURTHER
- 5. THESE PLANS ARE BASED ON INFORMATION PROVIDED TO BOHLER ENGINEERING BY THE OWNER AND OTHERS PRIOR TO THE TIME OF PLAN PREPARATION. CONTRACTOR MUST FIELD VERIFY EXISTING CONDITIONS AND NOTIFY BOHLER ENGINEERING, IN WRITING, IMMEDIATELY IF ACTUAL SITE CONDITIONS DIFFER FROM THOSE SHOWN ON THE PLAN, OR IF THE PROPOSED WORK CONFLICTS WITH ANY OTHER SITE FEATURES.
- . ALL DIMENSIONS SHOWN ON THE PLANS MUST BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, IF ANY CONFLICTS, DISCREPANCIES, OR AMBIGUITIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION. NO EXTRA COMPENSATION WILL BE PAID TO THE CONTRACTOR FOR WORK WHICH HAS TO BE REDONE OR REPAIRED DUE TO DIMENSIONS OR GRADES SHOWN INCORRECTLY ON THESE PLANS PRIOR TO CONTRACTOR GIVING ENGINEER WRITTEN NOTIFICATION OF SAME AND ENGINEER, THEREAFTER, PROVIDING CONTRACTOR WITH WRITTEN AUTHORIZATION TO PROCEED WITH SUCH
- 8. CONTRACTOR MUST REFER TO THE ARCHITECTURAL/BUILDING PLANS "OF RECORD" FOR EXACT LOCATIONS AND DIMENSIONS OF ENTRY/EXIT POINTS, ELEVATIONS, PRECISE BUILDING DIMENSIONS, AND EXACT BUILDING UTILITY LOCATIONS.
- 9. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR MUST COORDINATE THE BUILDING LAYOUT BY CAREFUL REVIEW OF THE LATEST CIVIL PLANS AND THE LATEST ARCHITECTURAL PLANS (INCLUDING, BUT NOT LIMITED TO, STRUCTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND FIRE SUPPRESSION PLAN WHERE APPLICABLE) CONTRACTOR MUST IMMEDIATELY NOTIFY OWNER ARCHITECT AND BOHLER ENGINEERING, IN WRITING, OF ANY CONFLICTS, DISCREPANCIES OR AMBIGUITIES WHICH EXIST.
- 10. DEBRIS MUST NOT BE BURIED ON THE SUBJECT SITE AND ALL UNSUITABLE EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) MUST BE DISPOSED OF IN ACCORDANCE WITH THE REQUIREMENTS OF ANY AND ALL GOVERNMENTAL AUTHORITIES WHICH HAVE JURISDICTION OVER THIS PROJECT OR OVER CONTRACTOR.
- 11. THE CONTRACTOR IS RESPONSIBLE FOR IDENTIFYING WHEN SHORING IS REQUIRED AND FOR INSTALLING ALL SHORING REQUIRED DURING EXCAVATION (TO BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS) AND ANY ADDITIONAL PRECAUTIONS TO BE TAKEN TO ASSURE THE STABILITY OF ADJACENT, NEARBY AND CONTIGUOUS STRUCTURES AND PROPERTIES.
- 12. THE CONTRACTOR IS TO EXERCISE EXTREME CARE WHEN PERFORMING ANY WORK ACTIVITIES ADJACENT TO PAVEMENT, STRUCTURES, ETC. WHICH ARE TO REMAIN EITHER FOR AN INITIAL PHASE OF THE PROJECT OR AS PART OF THE FINAL CONDITION. CONTRACTOR IS RESPONSIBLE FOR TAKING ALL APPROPRIATE MEASURES REQUIRED TO ENSURE THE STRUCTURAL STABILITY OF SIDEWALKS AND PAVEMENT, UTILITIES, BUILDINGS, AND INFRASTRUCTURE WHICH ARE TO REMAIN, AND TO PROVIDE A SAFE WORK AREA FOR THIRD PARTIES. PEDESTRIANS AND ANYONE INVOLVED WITH THE PROJECT.
- 13. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE DONE TO ANY NEW OR EXISTING CONSTRUCTION OR PROPERTY DURING THE COURSE OF CONSTRUCTION, INCLUDING BUT NOT LIMITED TO DRAINAGE, UTILITIES, PAVEMENT, STRIPING, CURB, ETC. AND SHALL BEAR ALL COSTS ASSOCIATED WITH SAME TO INCLUDE. BUT NOT BE LIMITED TO, REDESIGN, RE-SURVEY, REPERMITTING AND CONSTRUCTION. THE CONTRACTOR IS RESPONSIBLE FOR AND MUST REPLACE ALL SIGNAL INTERCONNECTION CABLE, WIRING CONDUITS, AND ANY UNDERGROUND ACCESSORY EQUIPMENT DAMAGED DURING CONSTRUCTION AND MUST BEAR ALL COSTS ASSOCIATED WITH SAME. THE REPAIR OF ANY SUCH NEW OR EXISTING CONSTRUCTION OR PROPERTY MUST RESTORE SUCH CONSTRUCTION OR PROPERTY TO A CONDITION FOLIVALENT TO OR BETTER THAN THE CONDITIONS PRIOR TO COMMENCEMENT OF THE CONSTRUCTION AND IN CONFORMANCE WITH APPLICABLE CODES, LAWS RULES. REGULATIONS, STATUTORY REQUIREMENTS AND STATUTES. CONTRACTOR MUST BEAR ALL COSTS ASSOCIATED WITH SAME. CONTRACTOR IS RESPONSIBLE TO DOCUMENT ALL EXISTING DAMAGE AND TO NOTIFY THE OWNER AND THE CONSTRUCTION MANAGER PRIOR TO THE START OF CONSTRUCTION.
- 14. ALL CONCRETE MUST BE AIR ENTRAINED AND HAVE THE MINIMUM COMPRESSIVE STRENGTH OF 4,000 PSI AT 28 DAYS UNLESS OTHERWISE NOTED ON THE PLANS, DETAILS AND/OR GEOTECHNICAL REPORT.
- 15. THE ENGINEER IS NOT RESPONSIBLE FOR CONSTRUCTION METHODS, MEANS, TECHNIQUES OR PROCEDURES, GENERALLY OR FOR THE AND FOR ANY CONFLICTS/SCOPE REVISIONS WHICH RESULT FROM SAME. CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE METHODS/MEANS FOR COMPLETION OF THE WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION.
- 16. THE ENGINEER OF RECORD IS NOT RESPONSIBLE FOR JOB SITE SAFETY. THE ENGINEER OF RECORD HAS NOT BEEN RETAINED TO PERFORM OR BE RESPONSIBLE FOR JOB SITE SAFETY. SAME BEING WHOLLY OUTSIDE OF ENGINEER'S SERVICES AS RELATED TO THE PROJECT. THE ENGINEER OF RECORD IS NOT RESPONSIBLE TO IDENTIFY OR REPORT ANY JOB SITE SAFETY ISSUES. AT ANY TIME.
- 17. ALL CONTRACTORS MUST CARRY THE SPECIFIED STATUTORY WORKER'S COMPENSATION INSURANCE, EMPLOYER'S LIABILITY INSURANCE AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE THEIR CGL POLICIES ENDORSED TO NAME BOHLER ENGINEERING, AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS MEMBERS. PRINCIPALS. COMMISSIONERS. AGENTS. SERVANTS. EMPLOYEES. AFFILIATES. SUBSIDIARIES. AND RELATED ENTITIES. AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AS ADDITIONAL NAMED INSUREDS AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THIS HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH BOHLER ENGINEERING WITH CERTIFICATIONS OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION AND FOR ONE YEAR AFTER THE COMPLETION OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED UNDER THE LAW, INDEMNIFY, DEFEND AND HOLD HARMLESS BOHLER ENGINEERING AND ITS PAST, PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES AND ITS SUBCONTRACTORS AND SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES. INJURIES, CLAIMS, ACTIONS PENALTIES, EXPENSES, PUNITIVE DAMAGES, TORT DAMAGES, STATUTORY CLAIMS, STATUTORY CAUSES OF ACTION, LOSSES, CAUSES OF ACTION, LIABILITIES OR COSTS, INCLUDING, BUT NOT LIMITED TO, REASONABLE ATTORNEYS' FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY WAY CONNECTED WITH OR TO THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS, ALL CLAIMS BY THIRD PARTIES AND ALL CLAIMS RELATED TO THE PROJECT. CONTRACTOR MUST NOTIFY ENGINEER, IN WRITING, AT LEAST THIRTY (30) DAYS PRIOR TO ANY TERMINATION, SUSPENSION OR CHANGE OF ITS INSURANCE HEREUNDER.
- 18. BOHLER ENGINEERING WILL REVIEW OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES, AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN INTENT AND THE INFORMATION SHOWN IN THE CONSTRUCTION CONTRACT DOCUMENTS. CONSTRUCTION MEANS AND/OR METHODS AND/OR TECHNIQUES OR PROCEDURES, COORDINATION OF THE WORK WITH OTHER TRADES, AND CONSTRUCTION SAFETY PRECAUTIONS ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND BOHLER HAS NO RESPONSIBILITY OR LIABILITY FOR SAME HEREUNDER. BOHLER ENGINEERING'S SHOP DRAWING REVIEW WILL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM MUST NOT INDICATE THAT BOHLER ENGINEERING HAS REVIEWED THE ENTIRE ASSEMBLY OF WHICH THE ITEM IS A COMPONENT. BOHLER ENGINEERING WILL NOT BE RESPONSIBLE FOR ANY DEVIATIONS FROM THE CONSTRUCTION DOCUMENTS NOT PROMPTLY AND IMMEDIATELY BROUGHT TO ITS ATTENTION, IN WRITING, BY THE CONTRACTOR. BOHLER ENGINEERING WILL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
- 19. NEITHER THE PROFESSIONAL ACTIVITIES OF BOHLER ENGINEERING, NOR THE PRESENCE OF BOHLER ENGINEERING AND/OR ITS PAST PRESENT AND FUTURE OWNERS, OFFICERS, DIRECTORS, PARTNERS, SHAREHOLDERS, MEMBERS, PRINCIPALS, COMMISSIONERS, AGENTS, ADA INSTRUCTIONS TO CONTRACTOR SERVANTS, EMPLOYEES, AFFILIATES, SUBSIDIARIES, AND RELATED ENTITIES, AND ITS SUBCONTRACTORS AND SUBCONSULTANTS AT A CONSTRUCTION/PROJECT SITE. SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, OVERSEEING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND COMPLIANCE ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES WITH JURISDICTION OVER THE PROJECT AND/OR PROPERTY. BOHLER ENGINEERING AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR JOB SITE SAFETY. BOHLER ENGINEERING SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND MUST BE NAMED AN ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE AS DESCRIBED ABOVE FOR JOB SITE SAFETY.
- 20. IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED HEREIN, WITHOUT FIRST FOR THE PAYMENT OF ALL COSTS INCURRED IN CORRECTING ANY WORK DONE WHICH DEVIATES FROM THE PLANS. ALL FINES AND/OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND, FURTHER, SHALL DEFEND INDEMNIEY AND HOLD HARMLESS THE ENGINEER TO THE FULLEST EXTENT PERMITTED UNDER THE LAW IN ACCORDANCE WITH THESE NOTES HEREIN, FOR AND FROM ALL FEES, ATTORNEYS' FEES, DAMAGES, COSTS, JUDGMENTS, PENALTIES AND THE LIKE RELATED TO SAME
- 21. CONTRACTOR IS RESPONSIBLE FOR MAINTENANCE AND PROTECTION OF TRAFFIC PLAN FOR ALL WORK THAT AFFECTS PUBLIC TRAVEL EITHER IN THE R.O.W. OR ON SITE. THE COST FOR THIS ITEM MUST BE INCLUDED IN THE CONTRACTOR'S PRICE.
- 22. ALL SIGNING AND PAVEMENT STRIPING MUST CONFORM TO MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES OR LOCALLY APPROVED
- 23. ENGINEER IS NOT RESPONSIBLE FOR ANY INJURY OR DAMAGES RESULTING FROM CONTRACTOR'S FAILURE TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH THE APPROVED PLANS. IF CONTRACTOR AND/OR OWNER FAIL TO BUILD OR CONSTRUCT IN STRICT ACCORDANCE WITH APPROVED PLANS, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL

INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS.

24. OWNER MUST MAINTAIN AND PRESERVE ALL PHYSICAL SITE FEATURES AND DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, IN STRICT ACCORDANCE WITH THE APPROVED PLAN(S) AND DESIGN AND, FURTHER ENGINEER IS NOT RESPONSIBLE FOR ANY FAILURE TO SO MAINTAIN OR PRESERVE SITE AND/OR DESIGN FEATURES. IF OWNER FAILS TO MAINTAIN AND/OR PRESERVE ALL PHYSICAL SITE FEATURES AND/OR DESIGN FEATURES DEPICTED ON THE PLANS AND RELATED DOCUMENTS, OWNER AGREES TO INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE

- 25. ALL DIMENSIONS MUST BE TO FACE OF CURB. EDGE OF PAVEMENT. OR EDGE OF BUILDING. UNLESS NOTED OTHERWISE
- LAWS, ORDINANCES, RULES AND CODES, AND ALL APPLICABLE OSHA REQUIREMENTS.
- 27. CONTRACTOR AND OWNER MUST INSTALL ALL ELEMENTS AND COMPONENTS IN STRICT COMPLIANCE WITH AND ACCORDANCE WITH MANUFACTURER'S STANDARDS AND RECOMMENDED INSTALLATION CRITERIA AND SPECIFICATIONS. IF CONTRACTOR AND/OR OWNER FAIL TO DO SO, THEY AGREE TO JOINTLY AND SEVERALLY INDEMNIFY AND HOLD ENGINEER HARMLESS FOR ALL INJURIES AND DAMAGES THAT ENGINEER SUFFERS AND COSTS THAT ENGINEER INCURS AS A RESULT OF SAID FAILURE.
- 28. AS CONTAINED IN THESE DRAWINGS AND ASSOCIATED APPLICATION DOCUMENTS PREPARED BY THE SIGNATORY PROFESSIONAL ENGINEER THE USE OF THE WORDS CERTIFY OR CERTIFICATION CONSTITUTES AN EXPRESSION OF "PROFESSIONAL OPINION" REGARDING THE INFORMATION WHICH IS THE SUBJECT OF THE UNDERSIGNED PROFESSIONAL KNOWLEDGE OR BELIEF AND IN ACCORDANCE WITH COMMON ACCEPTED PROCEDURE CONSISTENT WITH THE APPLICABLE STANDARDS OF PRACTICE, AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EITHER EXPRESSED OR IMPLIED.

GENERAL DEMOLITION NOTES

- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.
- BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.
- THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION, ONLY, REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
- CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS. CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE 5. THE CONTRACTOR MUST FAMILIARIZE ITSELF WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENTS AND IS REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.
- 5. PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR/TO:
- A. OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK AND DEMOLITION WORK.
- ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN ACCORDANCE WITH THESE PLANS, SPECIFICATIONS, AND REFERENCED DOCUMENTS AS WELL AS ALL FEDERAL. STATE AND LOCAL REGULATIONS. ANY DISCREPANCIES OR DEVIATIONS SHALL BE IDENTIFIED BY THE CONTRACTOR TO THE ENGINEER IN WRITING FOR RESOLUTION PRIOR TO INITIATION OF ACTIVITY.
- 7. PRIOR TO STARTING ANY DEMOLITION CONTRACTOR IS RESPONSIBLE FOR/TO:
- A. ENSURE COPIES OF ALL PERMITS AND APPROVALS ARE ON SITE FOR REVIEW.
- B. THE REQUIRED SOIL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IN PLACE PRIOR TO SITE DISTURBANCE.
- C. ALL UTILITIES AND SERVICES, INCLUDING BUT NOT LIMITED TO GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE, SHALL BE VERTICALLY AND HORIZONTALLY LOCATED. THE CONTRACTOR SHALL USE AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES.
- D. PROTECT AND MAINTAIN IN OPERATION, ALL ACTIVE SYSTEMS THAT ARE NOT BEING REMOVED DURING ALL DEMOLITION ACTIVITIES.
- E. FAMILIARIZE THEMSELVES WITH THE APPLICABLE UTILITY SERVICE PROVIDER REQUIREMENT AND IS RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR PROJECT. THE CONTRACTOR SHALL PROVIDE THE OWNER WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH JURISDICTION AND UTILITY COMPANY REQUIREMENTS.
- F. COORDINATION WITH UTILITY COMPANIES REGARDING WORKING "OFF-PEAK" HOURS OR ON WEEKENDS AS MAY BE REQUIRED TO MINIMIZE THE IMPACT ON THE AFFECTED PARTIES.
- G. A COMPLETE INSPECTION FOR CONTAMINANTS, BY A LICENSED ENVIRONMENTAL TESTING AGENCY, OF ALL BUILDINGS AND/OR STRUCTURES TO BE REMOVED SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL ENVIRONMENTAL REGULATIONS. ALL CONTAMINANTS SHALL BE REMOVED AND DISPOSED OF BY A FEDERALLY LICENSED CONTRACTOR IN ACCORDANCE WITH FEDERAL, STATE, AND LOCAL REGULATIONS. ALL ENVIRONMENTAL WORK INCLUDING HAZARDOUS MATERIAL, SOILS, ASBESTOS, OR OTHER REFERENCED OR IMPLIED HEREIN IS SOLELY THE RESPONSIBILITY OF THE OWNER'S ENVIRONMENTAL CONSULTANT.
- THE CONTRACTOR SHALL PROVIDE ALL THE "MEANS AND METHODS" NECESSARY TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF EXISTING STRUCTURES, AND ANY OTHER IMPROVEMENTS THAT ARE REMAINING ON OR OFF SITE.
- 10. IN THE ABSENCE OF SPECIFIC REQUIREMENTS, THE CONTRACTOR SHALL PERFORM EARTH MOVEMENT ACTIVITIES, DEMOLITION AND REMOVAL OF ALL FOUNDATION WALLS, FOOTINGS, AND OTHER MATERIALS WITHIN THE LIMITS OF DISTURBANCE IN ACCORDANCE WITH

 11. ALL FILL, COMPACTION, AND BACKFILL MATERIALS REQUIRED FOR UTILITY INSTALLATION MUST BE AS PER THE
- 11. EXPLOSIVES SHALL NOT BE USED WITHOUT PRIOR WRITTEN CONSENT OF BOTH THE OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES. ALL THE REQUIRED PERMITS AND EXPLOSIVE CONTROL MEASURES THAT ARE REQUIRED BY THE FEDERAL, STATE, AND LOCAL GOVERNMENTS SHALL BE IN PLACE PRIOR TO STARTING AN EXPLOSIVE PROGRAM. THE CONTRACTOR IS ALSO RESPONSIBLE FOR ALL INSPECTION AND SEISMIC VIBRATION TESTING THAT IS REQUIRED TO MONITOR THE EFFECTS ON ALL LOCAL STRUCTURES.
- 12. CONTRACTOR SHALL PROVIDE TRAFFIC CONTROL AND GENERALLY ACCEPTED SAFE PRACTICES IN CONFORMANCE WITH: THE "MANUAL ON UNIFORM TRAFFIC CONTROL," AS WELL AS FEDERAL, STATE, AND LOCAL REGULATIONS WHEN DEMOLITION RELATED ACTIVITIES IMPACT ROADWAYS OR ROADWAY RIGHTS-OF-WAY
- 13. THE CONTRACTOR SHALL CONDUCT DEMOLITION ACTIVITIES IN SUCH A MANNER TO INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, SIDEWALKS, WALKWAYS, AND OTHER ADJACENT FACILITIES. STREET CLOSURE PERMITS MUST BE RECEIVED FROM THE APPROPRIATE GOVERNMENTAL AUTHORITY WHERE REQUIRED
- 14. DEMOLITION ACTIVITIES AND EQUIPMENT SHALL NOT USE AREAS OUTSIDE THE DEFINED PROPERTY LINES, WITHOUT WRITTEN PERMISSION OF THE OWNER, AND/OR APPROPRIATE GOVERNMENT AGENCY.
- 15. USE DUST CONTROL MEASURES TO LIMIT THE AMOUNT OF AIRBORNE DUST AND DIRT RISING AND SCATTERING IN THE AIR TO WITHIN FEDERAL, STATE, AND/OR LOCAL STANDARDS. AFTER THE DEMOLITION IS COMPLETE, ADJACENT STRUCTURES AND IMPROVEMENTS SHALL BE CLEANED OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. THE CONTRACTOR IS RESPONSIBLE FOR RETURNING ALL ADJACENT AREAS TO THEIR "PRE-DEMOLITION" CONDITION.
- 16. THE CONTRACTOR IS RESPONSIBLE TO SAFEGUARD THE SITE AS NECESSARY TO PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
- 17. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING ITEMS/CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL METHODS AND MEANS ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND

 16. WHEN THE SITE IMPROVEMENT PLANS INVOLVE MULTIPLE BUILDINGS, SOME OF WHICH MAY BE BUILT AT A LATER DATE, THE JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL OSHA AND OTHER SAFETY PRECAUTIONS NECESSARY TO PROVIDE A SAFE WORK SITE
- 18. THE DEMOLITION CONTRACTOR IS RESPONSIBLE FOR ALL REPAIRS OF DAMAGE TO ALL ITEMS THAT ARE TO REMAIN AS A RESULT OF HIS ACTIVITIES. ALL REPAIRS SHALL USE NEW MATERIAL. THE REPAIRS SHALL RESTORE THE ITEM TO THE PRE-DEMOLITION CONDITION.
- 19. DEBRIS SHALL NOT BE BURIED ON THE SUBJECT SITE. ALL EXCAVATED MATERIAL AND DEBRIS (SOLID WASTE) SHALL BE DISPOSED OF IN 17. THE CONTRACTOR IS FULLY RESPONSIBLE FOR VERIFICATION OF EXISTING TOPOGRAPHIC INFORMATION AND UTILITY INVERT ACCORDANCE WITH ALL TOWN, COUNTY, STATE, AND FEDERAL LAWS AND APPLICABLE CODES. THE CONTRACTOR SHALL PROPERLY REMOVE AND DISPOSE OF HAZARDOUS/UNSUITABLE MATERIAL OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE CODES, ORDINANCES, AND LAWS.

- CONTRACTORS MUST EXERCISE APPROPRIATE CARE AND PRECISION IN CONSTRUCTION OF ADA ACCESSIBLE COMPONENTS AND ACCESS ROUTES FOR THE SITE. THESE COMPONENTS, AS CONSTRUCTED, MUST COMPLY WITH THE CURRENT ADA STANDARDS AND REGULATIONS' BARRIER FREE ACCESS AND ANY MODIFICATIONS, REVISIONS OR UPDATES TO SAME. FINISHED SURFACES ALONG THE ACCESSIBLE ROUTE OF TRAVEL FROM PARKING SPACE PUBLIC TRANSPORTATION PEDESTRIAN ACCESS, INTER-BUILDING ACCESS, TO POINTS OF ACCESSIBLE BUILDING ENTRANCE/EXIT. MUST COMPLY WITH THESE ADA CODE REQUIREMENTS. THESE INCLUDE. BUT ARE NOT LIMITED TO THE FOLLOWING PARKING SPACES AND PARKING AISLES - SLOPE SHALL NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
- CURB RAMPS SLOPE MUST NOT EXCEED 1:12 (8.3%)
- LANDINGS MUST BE PROVIDED AT EACH END OF RAMPS, MUST PROVIDE POSITIVE DRAINAGE, AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN ANY DIRECTION.
- OBTAINING THE PRIOR WRITTEN AUTHORIZATION OF THE ENGINEER FOR SUCH DEVIATIONS, THE CONTRACTOR IS SOLELY RESPONSIBLE PATH OF TRAVEL ALONG ACCESSIBLE ROUTE MUST PROVIDE A 36-INCH OR GREATER UNOBSTRUCTED WIDTH OF TRAVEL (CAR OVERHANGS AND/OR HANDRAILS CANNOT REDUCE THIS MINIMUM WIDTH). THE SLOPE MUST BE NO GREATER THAN 1:20 (5.0%) IN THE DIRECTION OF TRAVEL AND MUST NOT EXCEED 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) IN CROSS SLOPE. WHERE PATH OF TRAVEL WILL BE GREATER THAN 1:20 (5.0%) ADA RAMP MUST BE ADHERED TO. A MAXIMUM SLOPE OF 1:12 (8.3%), FOR A MAXIMUM RISE OF 2.5 FEET, MUST BE PROVIDED. THE RAMP MUST HAVE ADA HAND RAILS AND "LEVEL" LANDINGS ON EACH END THAT ARE CROSS SLOPED NO MORE THAN 1:50 IN ANY DIRECTION (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE.
 - DOORWAYS MUST HAVE A "LEVEL" LANDING AREA ON THE EXTERIOR SIDE OF THE DOOR THAT IS SLOPED AWAY FROM THE DOOR NO MORE THAN 1:50 (1/4" PER FOOT OR NOMINALLY 2.0%) FOR POSITIVE DRAINAGE. THIS LANDING AREA MUST BE NO LESS THAN 60 INCHES (5 FEET) LONG. EXCEPT WHERE OTHERWISE PERMITTED BY ADA STANDARDS FOR ALTERNATIVE DOORWAY OPENING CONDITIONS. (SEE ICC/ANSI A117.1-2003 AND OTHER REFERENCES INCORPORATED BY CODE.)
 - WHEN THE PROPOSED CONSTRUCTION INVOLVES RECONSTRUCTION, MODIFICATION, REVISION OR EXTENSION OF OR TO ADA COMPONENTS FROM EXISTING DOORWAYS OR SURFACES. CONTRACTOR MUST VERIEV EXISTING FLEVATIONS SHOWN ON THE PLAN. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER OF ANY DISCREPANCIES AND/OR FIELD CONDITIONS THAT DIFFER IN ANY WAY OR ANY RESPECT FROM WHAT IS SHOWN ON THE PLANS, IN WRITING, BEFORE COMMENCEMENT OF WORK. CONSTRUCTED IMPROVEMENTS MUST FALL WITHIN THE MAXIMUM AND MINIMUM LIMITATIONS IMPOSED BY THE BARRIER FREE REGULATIONS AND THE ADA REQUIREMENTS.
 - THE CONTRACTOR MUST VERIFY THE SLOPES OF CONTRACTOR'S FORMS PRIOR TO POURING CONCRETE. IF ANY NON-CONFORMANCE IS OBSERVED OR EXISTS, CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER PRIOR TO POURING CONCRETE. CONTRACTOR IS RESPONSIBLE FOR ALL COSTS TO REMOVE, REPAIR AND REPLACE NON-CONFORMING CONCRETE.
 - ullet ALL HORIZONTAL LINES SHOWN ON THE RAMP SURFACES ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE NOT DEPICTING HORIZONTAL GROOVES. IT IS STRONGLY RECOMMENDED THAT THE CONTRACTOR REVIEW THE INTENDED CONSTRUCTION WITH THE LOCAL BUILDING CODE PRIOR TO COMMENCEMENT OF CONSTRUCTION.

GENERAL GRADING & UTILITY NOTES

- 1. LOCATIONS OF ALL EXISTING AND PROPOSED SERVICES ARE APPROXIMATE AND MUST BE INDEPENDENTLY CONFIRMED WITH 19. REFER TO SITE PLAN FOR ADDITIONAL NOTES. LOCAL UTILITY COMPANIES PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION, SANITARY SEWER AND ALL OTHER UTILITY SERVICE CONNECTION POINTS MUST BE INDEPENDENTLY CONFIRMED BY THE CONTRACTOR IN THE FIELD PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL DISCREPANCIES MUST IMMEDIATELY BE REPORTED. IN WRITING. TO THE ENGINEER. CONSTRUCTION MUST COMMENCE BEGINNING AT THE LOWEST INVERT (POINT OF CONNECTION) AND PROGRESS UP GRADIENT. PROPOSED INTERFACE POINTS (CROSSINGS) WITH EXISTING UNDERGROUND UTILITIES SHALL BE FIELD VERIFIED BY TEST PITS PRIOR TO COMMENCEMENT OF CONSTRUCTION.
- 2. CONTRACTOR MUST VERTICALLY AND HORIZONTALLY LOCATE ALL EXISTING UTILITIES AND SERVICES INCLUDING, BUT NOT LIMITED TO, GAS, WATER, ELECTRIC, SANITARY AND STORM SEWER, TELEPHONE, CABLE, FIBER OPTIC CABLE, ETC. WITHIN THE LIMITS OF DISTURBANCE OR WORK SPACE. WHICHEVER IS GREATER. THE CONTRACTOR MUST USE. REFER TO. AND COMPLY WITH THE REQUIREMENTS OF THE APPLICABLE UTILITY NOTIFICATION SYSTEM TO LOCATE ALL THE UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ALL DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION, AT NO COST TO THE OWNER, CONTRACTOR SHALL BEAR ALL COSTS ASSOCIATED WITH DAMAGE TO ANY EXISTING UTILITIES DURING CONSTRUCTION.
- 3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REVIEW ALL CONSTRUCTION CONTRACT DOCUMENTS INCLUDING, BUT NOT LIMITED TO, ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THE PROJECT WORK SCOPE PRIOR TO THE INITIATION AND COMMENCEMENT OF CONSTRUCTION, SHOULD THE CONTRACTOR FIND A CONFLICT AND/OR DISCREPANCY BETWEEN THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR THE RELATIVE OR APPLICABLE CODES. REGULATIONS. LAWS, RULES, STATUTES AND/OR ORDINANCES, IT IS THE CONTRACTOR'S SOLE RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD. IN WRITING, OF SAID CONFLICT AND/OR DISCREPANCY PRIOR TO THE START OF CONSTRUCTION. CONTRACTOR'S FAILURE TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE CONTRACTOR'S FULL AND COMPLETE ACCEPTANCE OF ALL RESPONSIBILITY TO COMPLETE THE SCOPE OF WORK AS DEFINED BY THE DRAWINGS AND IN FULL COMPLIANCE WITH ALL FEDERAL, STATE AND LOCAL REGULATIONS, LAWS, STATUTES, ORDINANCES AND CODES AND, FURTHER, CONTRACTOR SHALL BE RESPONSIBLE FOR ALL COSTS ASSOCIATED WITH SAME.
- 4. THE CONTRACTOR MUST LOCATE AND CLEARLY AND UNAMBIGUOUSLY DEFINE VERTICALLY AND HORIZONTALLY ALL ACTIVE AND INACTIVE UTILITY AND/OR SERVICE SYSTEMS THAT ARE TO BE REMOVED. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN ALL ACTIVE AND INACTIVE SYSTEMS THAT ARE NOT BEING REMOVED/RELOCATED DURING SITE
- RESPONSIBLE FOR ALL COORDINATION REGARDING UTILITY DEMOLITION AS IDENTIFIED OR REQUIRED FOR THE PROJECT. THE CONTRACTOR MUST PROVIDE THE OWNER WITH WRITTEN NOTIFICATION THAT THE EXISTING UTILITIES AND SERVICES HAVE BEEN TERMINATED AND ABANDONED IN ACCORDANCE WITH THE JURISDICTION AND UTILITY COMPANY REQUIREMENTS AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
- 6. THE CONTRACTOR MUST INSTALL ALL STORM SEWER AND SANITARY SEWER COMPONENTS WHICH FUNCTION BY GRAVITY PRIOR TO THE INSTALLATION OF ALL OTHER UTILITIES.
- 7. CONTRACTOR IS RESPONSIBLE FOR COORDINATION OF SITE PLAN DOCUMENTS AND ARCHITECTURAL DESIGN FOR EXACT BUILDING UTILITY CONNECTION LOCATIONS, GREASE TRAP REQUIREMENTS/DETAILS, DOOR ACCESS, AND EXTERIOR GRADING. THE ARCHITECT WILL DETERMINE THE UTILITY SERVICE SIZES. THE CONTRACTOR MUST COORDINATE INSTALLATION OF UTILITIES/SERVICES WITH THE INDIVIDUAL COMPANIES, TO AVOID CONFLICTS AND TO ENSURE THAT PROPER DEPTHS ARE ACHIEVED. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT INSTALLATION OF ALL IMPROVEMENTS COMPLIES WITH ALL UTILITY REQUIREMENTS WITH JURISDICTION AND/OR CONTROL OF THE SITE, AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES AND, FURTHER, IS RESPONSIBLE FOR COORDINATING THE UTILITY TIE-INS/CONNECTIONS PRIOR TO CONNECTING TO THE EXISTING UTILITY/SERVICE. WHERE A CONFLICT(S) EXISTS BETWEEN THESE PLANS AND THE ARCHITECTURAL PLANS, OR WHERE ARCHITECTURAL PLAN UTILITY CONNECTION POINTS DIFFER, THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE ENGINEER, IN WRITING, AND PRIOR TO CONSTRUCTION, RESOLVE SAME.
- 8. WATER SERVICE MATERIALS, BURIAL DEPTH, AND COVER REQUIREMENTS MUST BE SPECIFIED BY THE LOCAL UTILITY COMPANY. CONTRACTOR'S PRICE FOR WATER SERVICE MUST INCLUDE ALL FEES, COSTS, TESTING AND APPURTENANCES REQUIRED BY THE UTILITY COMPANY TO PROVIDE FULL AND COMPLETE WORKING SERVICE. CONTRACTOR MUST CONTACT THE APPLICABLE UTILITY COMPANY TO CONFIRM THE SIZE AND TYPE OF WATER METER AND/OR VAULT, PRIOR TO COMMENCING CONSTRUCTION.
- 9. ALL NEW UTILITIES/SERVICES, INCLUDING ELECTRIC, TELEPHONE, CABLE TV, ETC. ARE TO BE INSTALLED UNDERGROUND. ALL NEW UTILITIES/SERVICES MUST BE INSTALLED IN ACCORDANCE WITH THE UTILITY/SERVICE PROVIDER INSTALLATION SPECIFICATIONS AND STANDARDS.
- 10. SITE GRADING MUST BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT REFERENCED IN THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING AND REPLACING UNSUITABLE MATERIALS WITH SUITABLE MATERIALS AS SPECIFIED IN THE GEOTECHNICAL REPORT. ALL EXCAVATED OR FILLED AREAS MUST BE COMPACTED AS OUTLINED IN THE GEOTECHNICAL REPORT. MOISTURE CONTENT AT TIME OF PLACEMENT MUST BE SUBMITTED IN A COMPACTION REPORT PREPARED BY A QUALIFIED GEOTECHNICAL ENGINEER, REGISTERED WITH THE STATE WHERE THE WORK IS PERFORMED, VERIFYING THAT ALL FILLED AREAS AND SUBGRADE AREAS WITHIN THE BUILDING PAD AREA AND AREAS TO BE PAVED HAVE BEEN COMPACTED IN ACCORDANCE WITH THESE PLANS. SPECIFICATIONS AND THE RECOMMENDATIONS SET FORTH IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES. SUBBASE MATERIAL FOR SIDEWALKS. CURB. OR ASPHALT MUST BE FREE OF ORGANICS AND OTHER UNSUITABLE MATERIALS. SHOULD SUBBASE BE DEEMED UNSUITABLE BY OWNER/DEVELOPER, OR OWNER/DEVELOPER'S REPRESENTATIVE, SUBBASE IS TO BE REMOVED AND FILLED WITH APPROVED FILL MATERIAL COMPACTED AS DIRECTED BY THE GEOTECHNICAL REPORT EARTHWORK ACTIVITIES INCLUDING. BUT NOT LIMITED TO. EXCAVATION. BACKFILL. AND COMPACTING MUST COMPLY WITH THE RECOMMENDATIONS IN THE GEOTECHNICAL REPORT AND ALL APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
- RECOMMENDATIONS PROVIDED IN THE GEOTECHNICAL REPORT AND MUST BE COORDINATED WITH THE APPLICABLE UTILITY COMPANY SPECIFICATIONS. WHEN THE PROJECT DOES NOT HAVE GEOTECHNICAL RECOMMENDATIONS, FILL AND COMPACTION MUST, AT A MINIMUM, COMPLY WITH THE STATE DOT REQUIREMENTS AND SPECIFICATIONS AND CONSULTANT SHALL HAVE NO LIABILITY OR RESPONSIBILITY FOR OR AS RELATED TO FILL, COMPACTION AND BACKFILL.
- 12. THE CONTRACTOR MUST COMPLY, TO THE FULLEST EXTENT, WITH THE LATEST OSHA STANDARDS AND REGULATIONS, AND/OR ANY OTHER AGENCY WITH JURISDICTION FOR EXCAVATION AND TRENCHING PROCEDURES. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE "MEANS AND METHODS" REQUIRED TO MEET THE INTENT AND PERFORMANCE CRITERIA OF OSHA, AS WELL AS ANY OTHER ENTITY THAT HAS JURISDICTION FOR EXCAVATION AND/OR TRENCHING PROCEDURES AND CONSULTANT SHALL HAVE NO RESPONSIBILITY FOR OR AS RELATED TO EXCAVATION AND TRENCHING
- 13. PAVEMENT MUST BE SAW CUT IN STRAIGHT LINES, AND EXCEPT FOR EDGE OF BUTT JOINTS, MUST EXTEND TO THE FULL DEPTH OF THE EXISTING PAVEMENT. ALL DEBRIS FROM REMOVAL OPERATIONS MUST BE REMOVED FROM THE SITE AT THE TIME OF EXCAVATION. STOCKPILING OF DEBRIS WILL NOT BE PERMITTED.
- 14. THE TOPS OF EXISTING MANHOLES. INLET STRUCTURES. UTILITY VALVES. AND SANITARY CLEANOUTS MUST BE ADJUSTED. AS NECESSARY, TO MATCH PROPOSED GRADES IN ACCORDANCE WITH ALL APPLICABLE STANDARDS, REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
- 15. DURING THE INSTALLATION OF SANITARY SEWER, STORM SEWER, AND ALL UTILITIES, THE CONTRACTOR MUST MAINTAIN A CONTEMPORANEOUS AND THOROUGH RECORD OF CONSTRUCTION TO IDENTIFY THE AS-INSTALLED LOCATIONS OF ALL UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR MUST CAREFULLY NOTE ANY INSTALLATIONS THAT DEVIATE FROM THE INFORMATION CONTAINED IN THE UTILITY PLAN. THIS RECORD MUST BE KEPT ON A CLEAN COPY OF THESE PLANS. WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER AT THE COMPLETION OF WORK.
- CONTRACTOR MUST EXTEND ALL LINES. INCLUDING BUT NOT LIMITED TO STORM SEWER. SANITARY SEWER. UTILITIES. AND IRRIGATION LINE, TO A POINT AT LEAST FIVE (5) FEET BEYOND THE PAVED AREAS FOR WHICH THE CONTRACTOR IS RESPONSIBLE. CONTRACTOR MUST CAP ENDS AS APPROPRIATE, MARK LOCATIONS WITH A 2X4 STAKE, AND MUST NOTE THE LOCATION OF ALL OF THE ABOVE ON A CLEAN COPY OF THESE PLANS, WHICH CONTRACTOR MUST PROMPTLY PROVIDE TO THE OWNER UPON COMPLETION OF THE WORK.
- ELEVATIONS PRIOR TO COMMENCING ANY CONSTRUCTION. CONTRACTOR MUST CONFIRM AND ENSURE 0.75% MINIMUM SLOPE AGAINST ALL ISLANDS, GUTTERS, AND CURBS; 1.0% ON ALL CONCRETE SURFACES; AND 1.5% MINIMUM ON ASPHALT (EXCEPT WHERE ADA REQUIREMENTS LIMIT GRADES), TO PREVENT PONDING, CONTRACTOR MUST IMMEDIATELY IDENTIFY, IN WRITING TO THE ENGINEER, ANY DISCREPANCIES THAT MAY OR COULD AFFECT THE PUBLIC SAFETY, HEALTH OR GENERAL WELFARE, OR PROJECT COST. IF CONTRACTOR PROCEEDS WITH CONSTRUCTION WITHOUT PROVIDING PROPER NOTIFICATION, THIS SHALL BE AT THE CONTRACTOR'S OWN RISK AND, FURTHER, CONTRACTOR SHALL INDEMNIFY, DEFEND AND HOLD HARMLESS THE DESIGN ENGINEER FOR ANY DAMAGES, COSTS, INJURIES, ATTORNEY'S FEES AND THE LIKE WHICH RESULT FROM SAME
- 18. PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 6" ABOVE EXISTING LOCAL ASPHALT GRADE UNLESS OTHERWISE NOTED. IT IS CONTRACTOR'S OBLIGATION TO ENSURE THAT DESIGN ENGINEER APPROVES FINAL CURBING CUT SHEETS PRIOR TO INSTALLATION OF SAME.

- 20. IN THE EVENT OF DISCREPANCIES AND/OR CONFLICTS BETWEEN PLANS OR RELATIVE TO OTHER PLANS, THE SITE PLAN WILL TAKE PRECEDENCE AND CONTROL. CONTRACTOR MUST IMMEDIATELY NOTIFY THE DESIGN ENGINEER, IN WRITING, OF ANY DISCREPANCIES AND/OR CONFLICTS.
- 21 CONTRACTOR IS REQUIRED TO SECURE ALL NECESSARY AND/OR REQUIRED PERMITS AND APPROVALS FOR ALL OFF SITE MATERIAL SOURCES AND DISPOSAL FACILITIES. CONTRACTOR MUST SUPPLY A COPY OF APPROVALS TO ENGINEER AND OWNER PRIOR TO INITIATING ANY WORK.
- 22. TOP AND BOTTOM OF WALL ELEVATIONS (TW & BW) REPRESENT THE PROPOSED FINISHED GRADE AT THE FACE OF WALL AND DO NOT REPRESENT THE FLEVATION OF THE PROPOSED WALL (INCLUDING THE CAP UNIT OR FOOTING) WALL FOOTINGS/FOUNDATION ELEVATIONS ARE NOT IDENTIFIED HEREIN AND ARE TO BE SET/DETERMINED BY THE CONTRACTOR BASED ON FINAL STRUCTURAL DESIGN SHOP DRAWINGS PREPARED BY THE APPROPRIATE PROFESSIONAL LICENSED IN THE STATE WHERE THE CONSTRUCTION OCCURS. THE CONTRACTOR MUST ENSURE ALL WALLS SHOWN HEREON MUST BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER AND THAT SIGNED AND SEALED SHOP DRAWINGS ARE APPROVED BY THE MUNICIPALITY PRIOR TO THEIR CONSTRUCTION. FURTHER THE CONTRACTOR SHALL ENSURE THAT FENCING, GUIDERAIL, UTILITIES, AND OTHER SITE AMENITIES IN THE VICINITY OF THE RETAINING WALL(S), PROPOSED SCHEMATICALLY IN THESE PLANS, SHALL BE CONSIDERED AND INCORPORATED INTO THE RETAINING WALL DESIGN (BY OTHERS).
- 23. STORM DRAINAGE PIPE
- UNLESS INDICATED OTHERWISE. ALL STORM SEWER PIPE MUST BE REINFORCED CONCRETE PIPE (RCP) CLASS III WITH JOINTS. WHEN HIGH-DENSITY POLYETHYLENE PIPE (HDPE) IS CALLED FOR ON THE PLANS, IT MUST CONFORM TO AASHTO M294 AND TYPE S (SMOOTH INTERIOR WITH ANGULAR CORRUGATIONS) WITH GASKET FOR WATERTIGHT JOINT. PVC PIPE FOR ROOF DRAIN CONNECTION MUST BE SDR 26 OR SCHEDULE 40 UNLESS INDICATED OTHERWISE.
- 24. SANITARY SEWER MAIN MUST BE POLYVINYL CHLORIDE (PVC) SDR 35 EXCEPT WHERE INDICATED OTHERWISE. SANITARY LATERALS MUST BE PVC SCHEDULE 40 OR PVC SDR 26 UNLESS INDICATED. IN WRITING. OTHERWISE.
- 25. STORM AND SANITARY SEWER PIPE LENGTHS INDICATED ARE NOMINAL
- 26 SEWERS CONVEYING SANITARY FLOW COMBINED SANITARY AND STORMWATER FLOW OR INDUSTRIAL FLOW MUST BE SEPARATED FROM WATER MAINS BY A DISTANCE OF AT LEAST 10 FEET HORIZONTALLY. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE PIPES MUST BE IN SEPARATE TRENCHES WITH THE SEWER AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN, OR SUCH OTHER SEPARATION AS APPROVED BY THE GOVERNMENT AGENCY WITH JURISDICTION OVER
- 27. WHERE APPROPRIATE SEPARATION FROM A WATER MAIN IS NOT POSSIBLE, THE SEWER MUST BE ENCASED IN CONCRETE, OR CONSTRUCTED OF DUCTILE IRON PIPE USING MECHANICAL OR SLIP-ON JOINTS FOR A DISTANCE OF AT LEAST 10 FEET ON EITHER SIDE OF THE CROSSING. IN ADDITION. ONE FULL LENGTH OF SEWER PIPE SHOULD BE LOCATED SO BOTH JOINTS WILL BE AS FAR FROM THE WATER LINE AS POSSIBLE. WHERE A WATER MAIN CROSSES UNDER A SEWER, ADEQUATE STRUCTURAL SUPPORT FOR THE SEWER MUST BE PROVIDED.
- 28. WATER MAIN PIPING MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS AND SPECIFICATIONS OF THE LOCAL WATER AUTHORITY ABSENCE OF SUCH REQUIREMENTS. WATER MAIN PIPING MUST BE CEMENT}LINED DUCTILE IRON (DIP) MINIMUM CLASS 52 THICKNESS. ALL PIPE AND APPURTENANCES MUST COMPLY WITH THE APPLICABLE AWWA STANDARDS IN EFFECT AT THE TIME OF APPLICATION.
- 29. CONTRACTOR MUST ENSURE THAT ALL UTILITY TRENCHES LOCATED IN EXISTING PAVED ROADWAYS INCLUDING SEWER. WATER AND STORM SYSTEMS, MUST BE REPAIRED IN ACCORDANCE WITH REFERENCED MUNICIPAL, COUNTY AND/OR DOT DETAILS AS APPLICABLE. CONTRACTOR MUST COORDINATE INSPECTION AND APPROVAL OF COMPLETED WORK WITH THE AGENCY WITH JURISDICTION OVER SAME.
- 30. WHERE BASEMENTS ARE TO BE PROVIDED FOR PROPOSED DWELLING UNITS, THE DEVELOPER SHALL, BY BORING OR BY TEST PIT. DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED DWELLINGS. WHERE GROUNDWATER IS ENCOUNTERED IN THE BASEMENT AREA, BASEMENTS WILL NOT BE INSTALLED UNLESS SPECIAL CONSTRUCTION METHODS ARE UTILIZED, TO BE REVIEWED AND APPROVED BY THE MUNICIPAL CONSTRUCTION CODE OFFICIAL. IF AND WHERE SUMP PUMPS ARE INSTALLED, ALL DISCHARGES MUST BE CONNECTED TO THE STORM SEWER. A CLEANOUT MUST BE PROVIDED PRIOR TO THE CONNECTION TO THE STORM DRAIN IN ORDER THAT BLOCKAGES CAN BE
- 31.FOR SINGLE AND MULTI-FAMILY RESIDENTIAL PROJECTS, WHERE THE PROPOSED DWELLING AND ADJACENT SPOT ELEVATION(S) ARE SCHEMATIC FOR GENERIC BUILDING FOOTPRINT. GRADES MUST BE ADJUSTED BASED ON FINAL ARCHITECTURAL PLANS TO PROVIDE A MINIMUM OF EIGHT (8) INCHES BELOW TOP OF BLOCK AND /OR EIGHT (8) INCHES BELOW SIDING, WHICHEVER IS LOWEST, AND MUST PROVIDE POSITIVE DRAINAGE (2% MIN.) AWAY FROM DWELLING. ALL CONSTRUCTION, INCLUDING GRADING, MUST COMPLY WITH THE LATEST LOCAL AND STATE BUILDING CODE AND ALL OTHER APPLICABLE REQUIREMENTS, RULES, STATUTES, LAWS, ORDINANCES AND CODES.
- 32. LOCATION OF PROPOSED UTILITY POLE RELOCATION IS AT THE SOLE DISCRETION OF UTILITY COMPANY.
- 33. CONSULTANT IS NEITHER LIABLE NOR RESPONSIBLE FOR ANY SUBSURFACE CONDITIONS AND FURTHER, SHALL HAVE NO LIABILITY FOR ANY HAZARDOUS MATERIALS, HAZARDOUS SUBSTANCES, OR POLLUTANTS ON, ABOUT OR UNDER THE

REFERENCES AND CONTACT INFORMATION

- THE FOLLOWING DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THIS PLAN SET:
- BLUE MARSH ASSOCIATES, INC 1541 ROUTE 37 EAST, SUITE B TOMS RIVER, NJ 08753 PREPARED FOR: "MCDONALD'S USA, LLC" ENTITLED: "ALTA/NSPS LAND TITLE SURVEY" PROJECT NO.: 18-B122-135 DATED: 04-12-2018

WHITESTONE ASSOCIATES, INC

REVISED: 02-19-2020

1600 MANOR DRIVE, SUITE 220 CHALFONT, PA 18914 PREPARED FOR: "McDONALD'S USA, LLC" ENTITLED: "REPORT OF GEOTECHNICAL INVESTIGATION" PROJECT NO.: GP1111577.001 DATED: 02-14-2020

THE ABOVE REFERENCED DOCUMENTS ARE INCORPORATED BY REFERENCE AS PART OF THESE PLANS, HOWEVER, BOHLER ENGINEERING DOES NOT CERTIFY THE ACCURACY OF THE WORK REFERENCED OR DERIVED FROM THESE DOCUMENTS, BY OTHERS.

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NEW JERSEY LICENSE No. 24GE04493300

DELAWARE LICENSE No. 18313

TAX MAP SHEET 5 - BLOCK 502 - LOT 13.02 PRELIMINARY / FINAL MAJOR SITE PLANS PLAN SCALE: AS NOTED STREET ADDRESS 4295 US ROUTE 130

TOWNSHIP STATE **EDGEWATER PARK** COUNTY BURLINGTON

SHEET

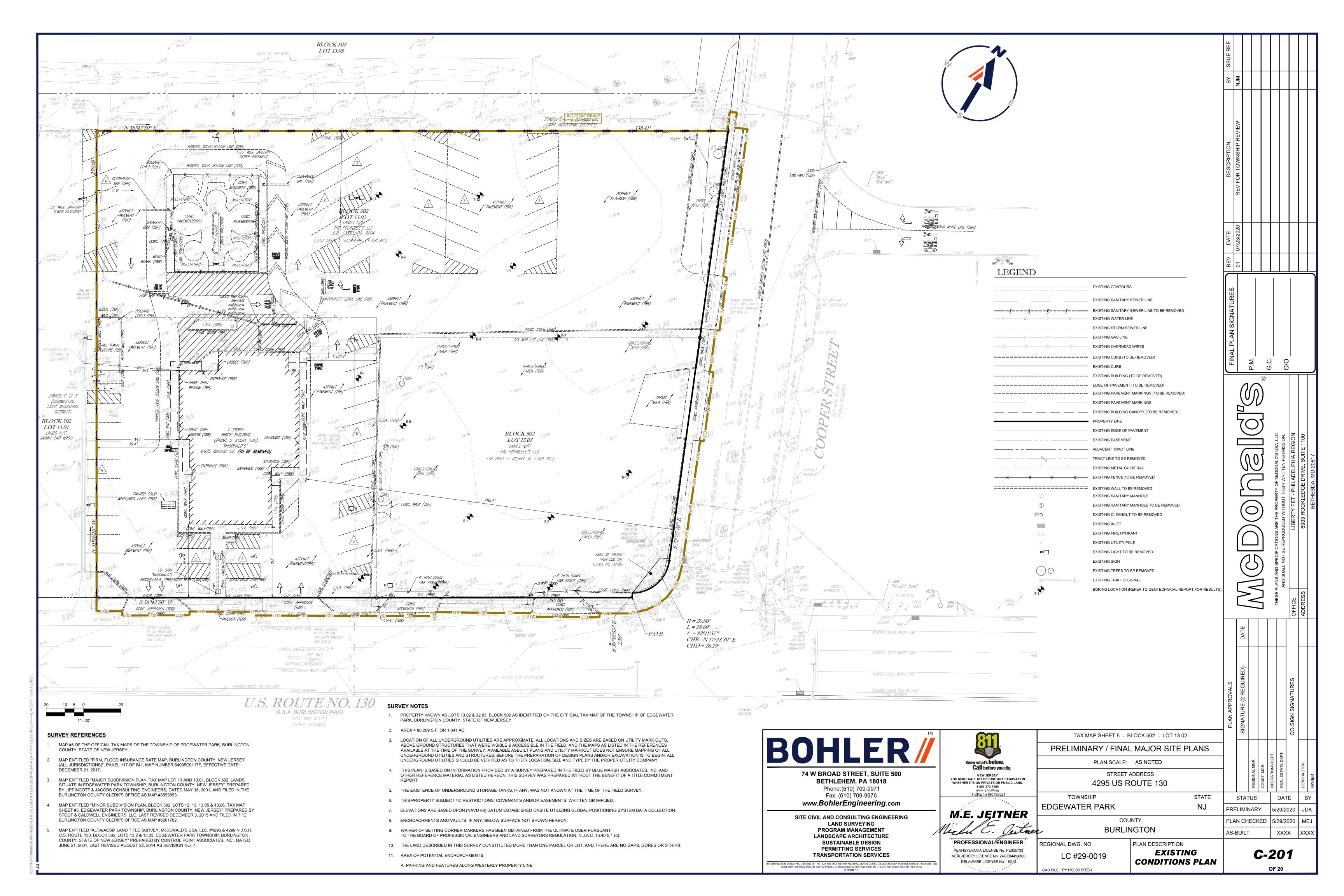
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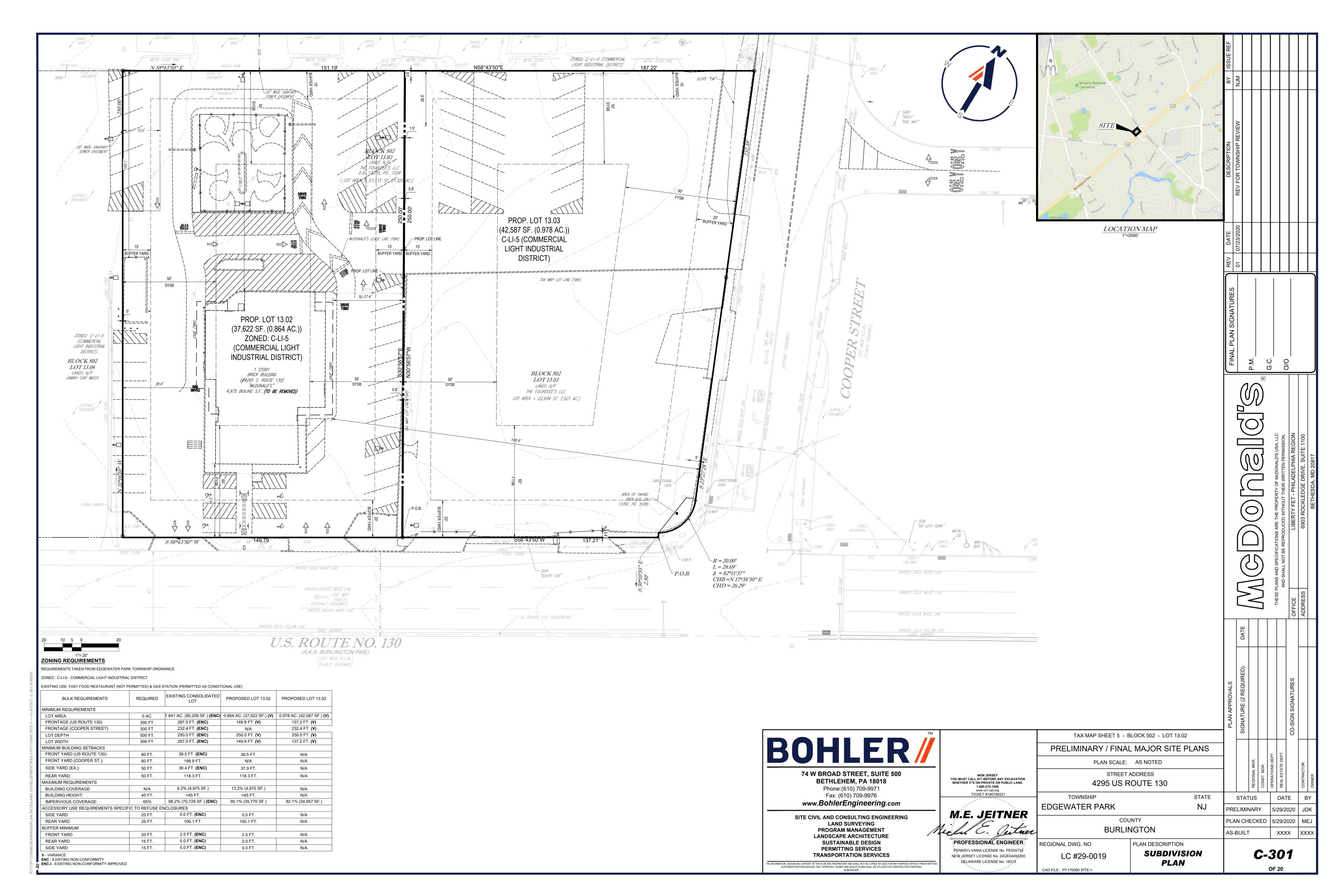
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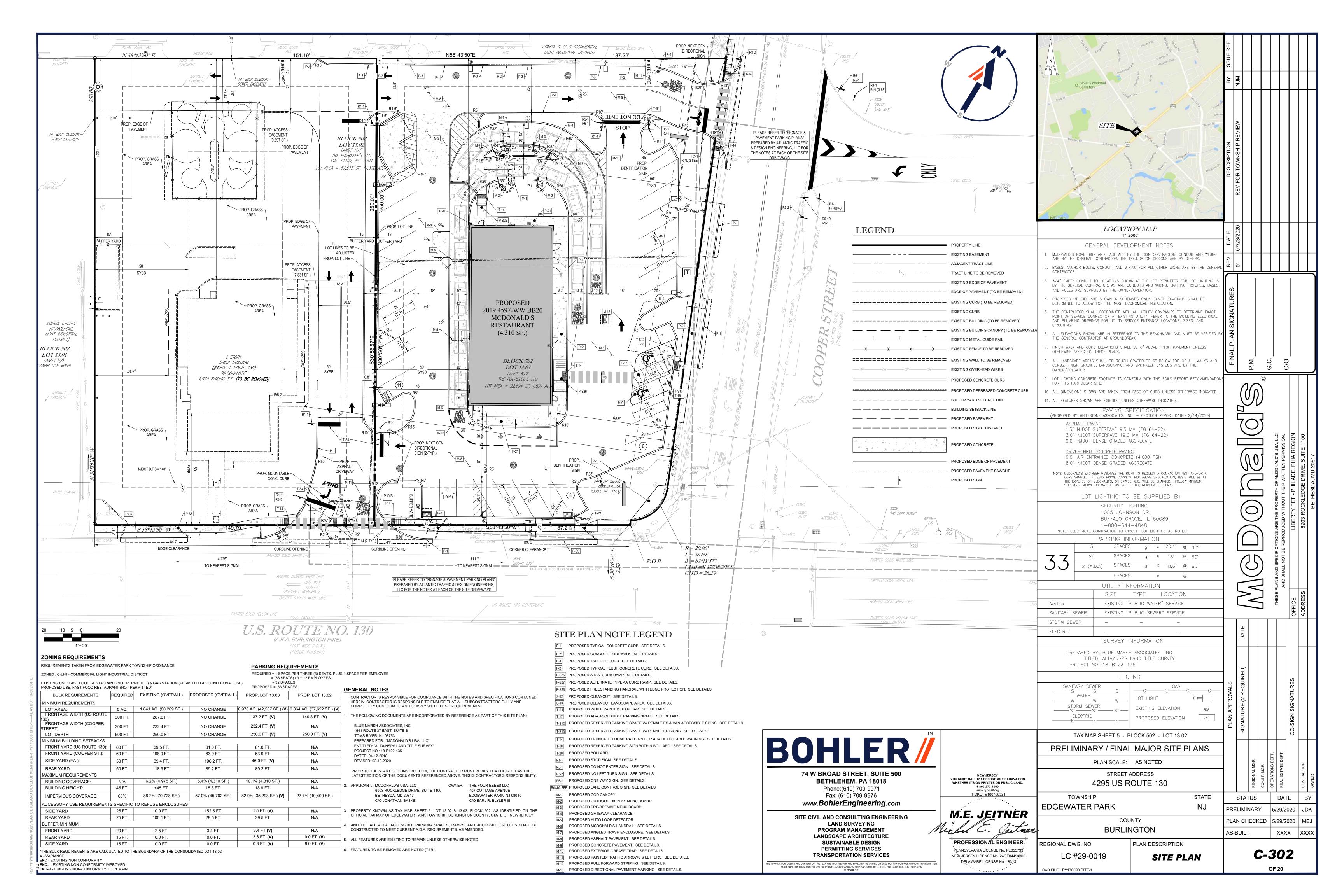
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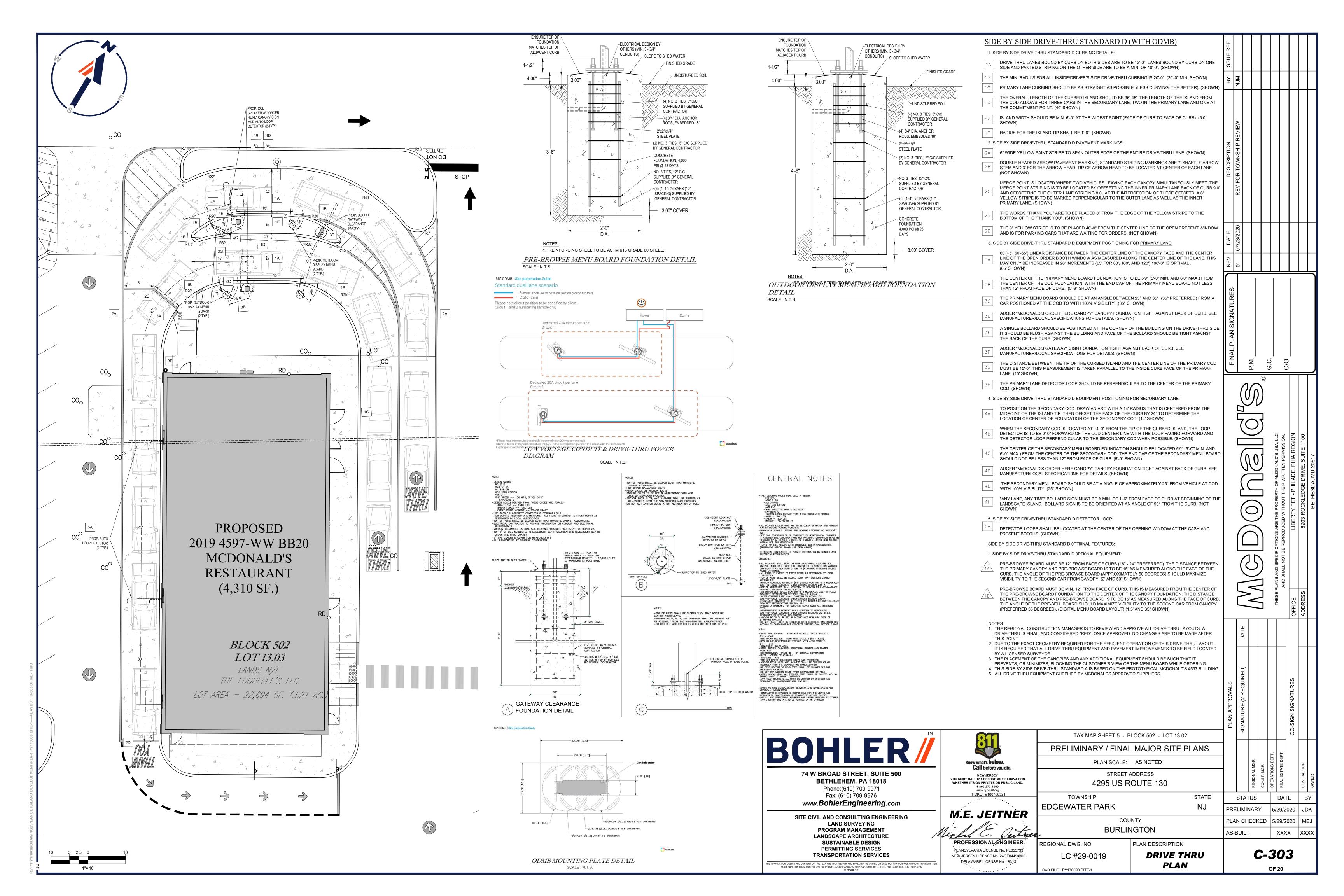
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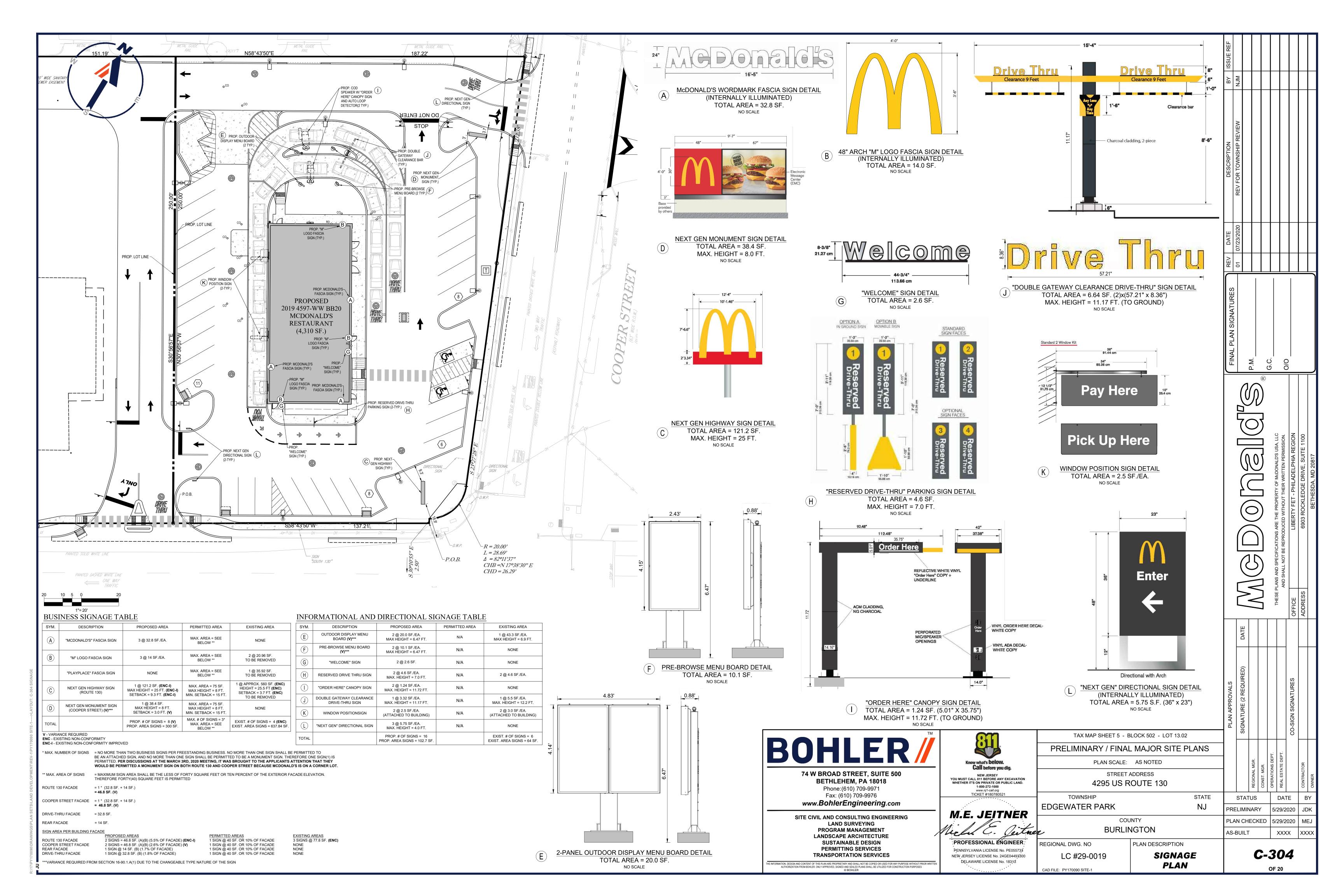
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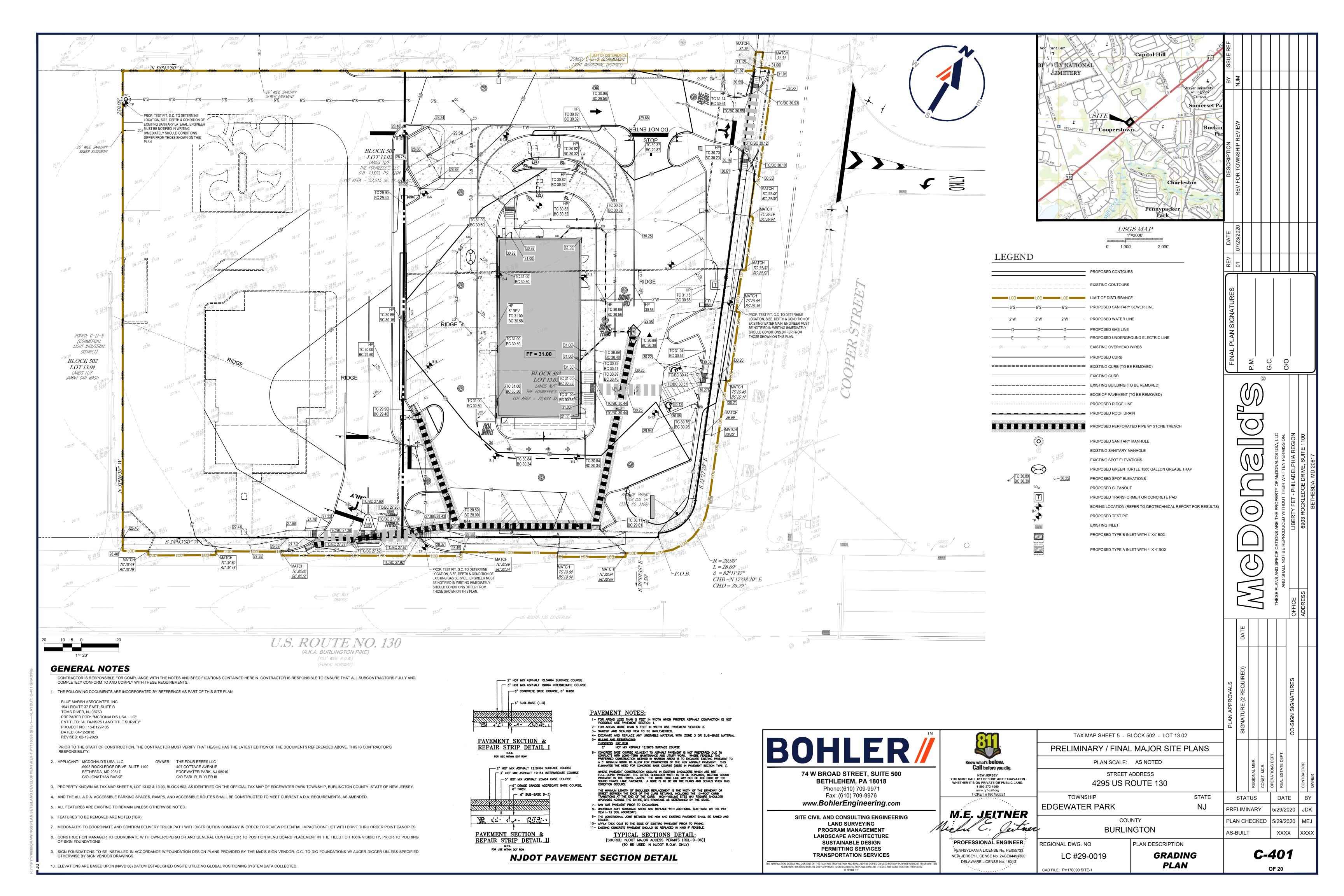


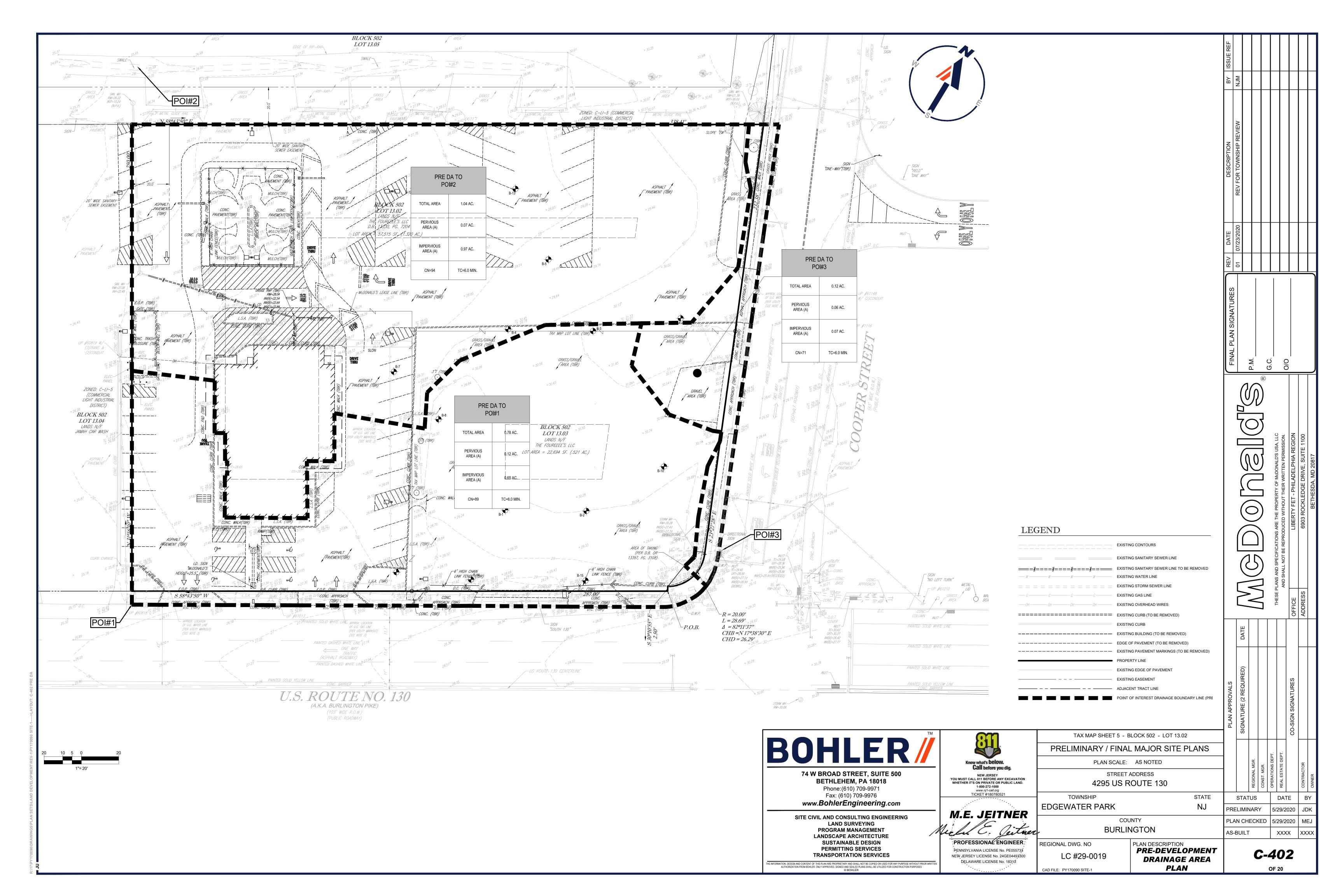


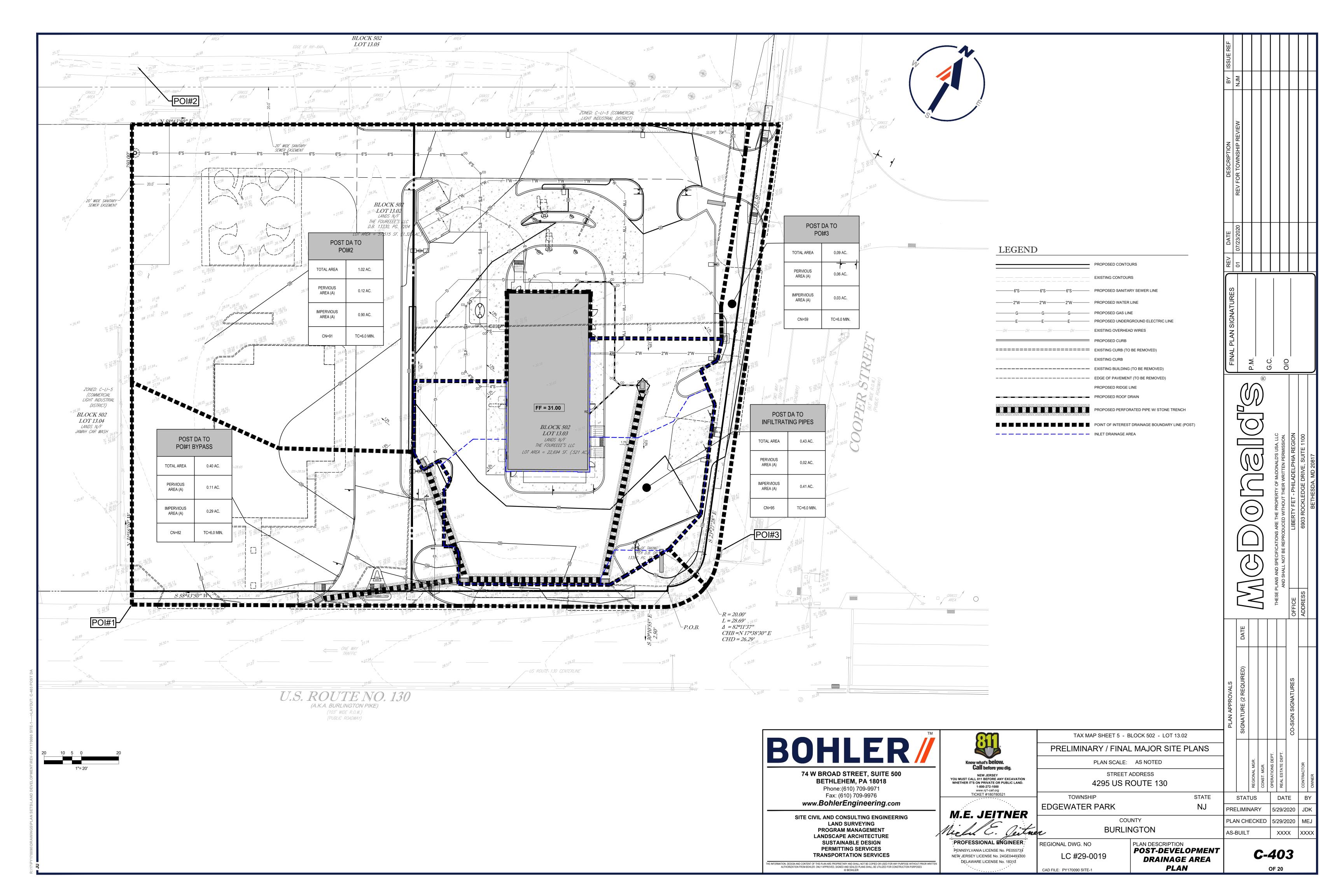


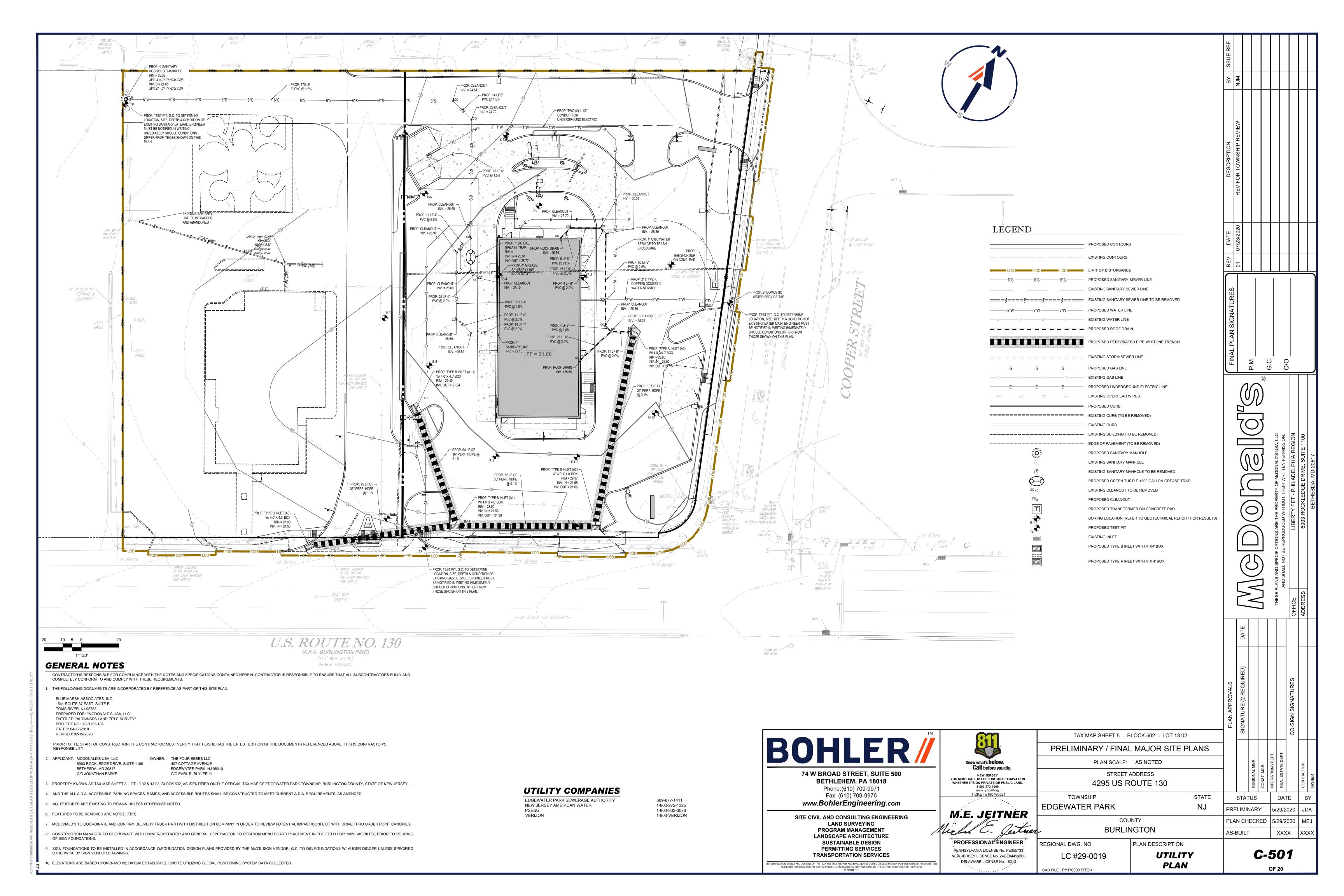


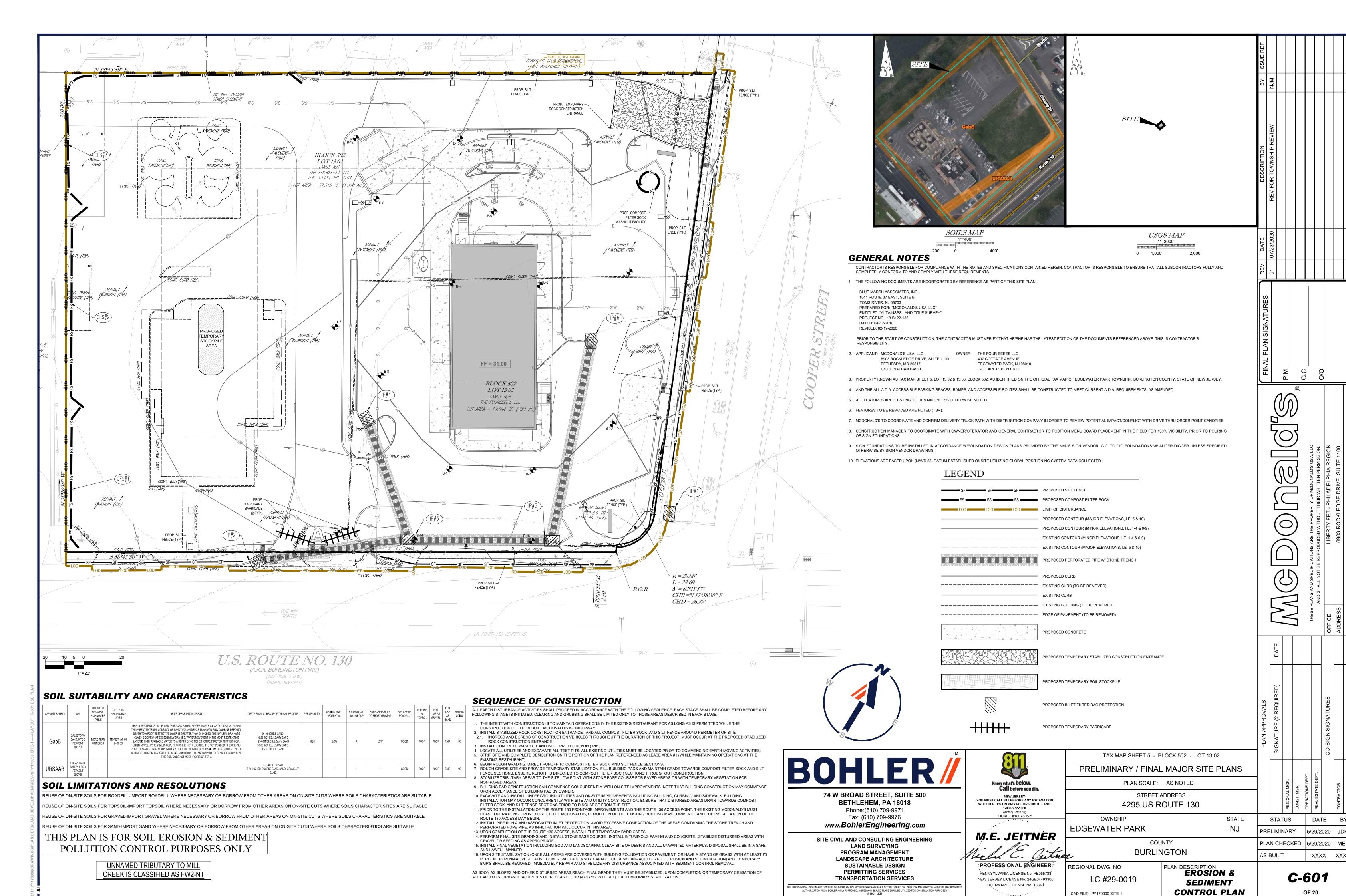












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GENERAL CONSERVATION NOTES AND SPECIFICATIONS

- THIS EROSION AND SEDIMENT CONTROL PLAN SHALL BE AVAILABLE AT THE SITE
- NO SEDIMENT OR SEDIMENT LADEN WATER MUST BE ALLOWED TO LEAVE THE SITE WITHOUT FIRST BEING PROPERLY FILTERED. ANY SEDIMENT THAT IS TRACKED ONTO THE ROAD MUST BE CLEANED OFF BEFORE THE END OF THE DAY. DISTURBED AREAS ON WHICH EARTHMOVING ACTIVITIES HAVE CEASED AND WHICH WILL REMAIN EXPOSED SHALL BE STABILIZED IMMEDIATELY FITHER TEMPORARILY OR PERMANENTLY INCLUDING THE RESTORATION OF DRIVEWAYS STOCKPILES OFF-SITE UNDERGROUND UTILITY LINES AND GRADED PERIMETER AREAS. DURING NON-GERMINATION PERIODS, MULCH MUST BE APPLIED AT RECOMMENDED RATES. CRUSHED STONE ON PAVEMENT SUBGRADES IS CONSIDERED ADEQUATE PROTECTION.
- AREAS THAT FAIL TO GERMINATE MUST BE RE-SEEDED OR MULCHED. WHERE DISTURBED AREAS ARE DIFFICULT TO STABILIZE, NETTING SHOULD BE USED TO HOLD SEED AND MULCH IN PLACE; THIS IS ESPECIALLY IMPORTANT AROUND WATERCOURSES, IN SWALES AND AREAS OF CONCENTRATED FLOWS, STEEP SLOPES.
- G UNTIL THE SITE IS STABILIZED. ALL EROSION AND SEDIMENTATION MUST BE MAINTAINED PROPERLY. MAINTENANCE MUST INCLUDE INSPECTIONS OF ALL EROSION AND SEDIMENT CONTROL AFTER EACH RUNOFF EVENT AND ON A WEEKLY BASIS. ALL PREVENTATIVE AND REMEDIAL MAINTENANCE WORK, INCLUDING CLEAN OUT, REPAIR, REPLACEMENT, RE-GRADING, RE-SEEDING, RE-MULCHING, AND RE-NETTING,
- I. IF AT ANY TIME PRIOR TO SITE STABILIZATION ANY E&SP PROBLEMS OCCUR WHICH REQUIRE ADDITIONAL CONTROLS, IMMEDIATE ACTION MUST BE TAKEN TO CORRECT THE PROBLEMS THE CONTRACTOR MUST DEVELOP AND COORDINATE WITH OWNER AND HAVE APPROVED BY THE BURLINGTON COUNTY SOIL CONSERVATION
- DISTRICT, A SEPARATE EROSION AND SEDIMENT POLLUTION CONTROL PLAN FOR EACH SPOIL, BORROW OR OTHER WORK AREA NOT DETAILED ON THE PERMITTED PLANS, WHETHER LOCATED WITHIN OR OUTSIDE OF THE LIMITS OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE COUNTY CONSERVATION DISTRICT OF DISPOSAL METHOD AND LOCATION OF MATERIALS (IF ANY) TO BE REMOVED FROM SITE.
- STANDARD FOR DISPOSAL OF MATERIALS ALL MATERIALS TO BE RECYCLED OR DISPOSED OF MUST DO SO IN ACCORDANCE WITH ALL APPLICABLE STATE AND LOCAL REGULATIONS. STOCKPILES TO BE HAULED OFF SITE MUST HAVE AN APPROVED EROSION AND SEDIMENT CONTROL PLAN AT THE DESTINATION LOCATION.
- A. DEFINITION: RESHAPING THE GROUND SURFACE BY GRADING TO PLAN GRADES, WHICH ARE DETERMINED BY TOPOGRAPHIC SURVEY AND PROVISIONS SHALL BE MADE TO SAFELY CONDUCT SURFACE WATER TO STORM DRAINS OR SUITABLE WATER COURSES AND TO PREVENT
- SURFACE RUNOFF FROM DAMAGING CUT FACES AND FULL SLOPES. ADJOINING PROPERTY SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS. INSTALLATION REQUIREMENTS
- TIMBER, LOGS, BRUSH, RUBBISH, ROCKS, STUMPS AND VEGETABLE MATTER WHICH WILL INTERFERE WITH THE GRADING OPERATION OR AFFECT THE PLANNED STABILITY OR FILL AREAS SHALL BE REMOVED AND DISPOSED OF IN ACCORDANCE WITH STANDARD FOR DISPOSAL OF MATERIALS. FILL MATERIAL IS TO BE FREE OF BRUSH, RUBBISH, TIMBER, LOGS, VEGETATIVE MATTER AND STUMPS IN AMOUNTS THAT WILL BE
- DETRIMENTAL TO CONSTRUCTING STABLE FILLS. ALL FILLS SHALL BE COMPACTED SUFFICIENTLY FOR THEIR INTENDED PURPOSE AND AS REQUIRED TO REDUCE SLIPPING, EROSION OR EXCESS SATURATION
- ALL DISTURBED AREAS SHALL BE LEFT WITH A NEAT AND FINISHED APPEARANCE AND SHALL BE PROTECTED FROM EROSION.
- III. STANDARD FOR UTILITY TRENCH EXCAVATION A. LIMIT ADVANCE CLEARING AND GRUBBING OPERATIONS TO A DISTANCE EQUAL TO TWO TIMES THE LENGTH OF PIPE INSTALLATION THAT CAN BE COMPLETED IN ONE DAY B. LIMIT DAILY TRENCH EXCAVATION TO THE LENGTH OF PIPE PLACEMENT, PLUG INSTALLATION AND BACKFILLING THAT CAN BE COMPLETED THE
- SAME DAY, DAILY BACKFILLING OF THE TRENCH MAY BE DELAYED FOR A MAX. OF SIX DAYS FOR CERTAIN CASES REQUIRING TESTING OF THE WATER WHICH ACCUMULATES IN THE OPEN TRENCH WILL BE COMPLETELY REMOVED BY PUMPING TO A FACILITY FOR REMOVAL OF SEDIMENT
- (SEDIMENT FILTER BAG, SEE DETAIL) BEFORE PIPE PLACEMENT AND/OR BACKFILLING BEGINS. ON THE DAY FOLLOWING PIPE PLACEMENT AND TRENCH BACKFILLING. THE DISTURBED AREA WILL BE GRADED TO FINAL CONTOURS AND APPROPRIATE TEMPORARY EROSION AND SEDIMENT POLLUTION CONTROL MEASURES / FACILITIES WILL BE INSTALLED. SEEDING AND MULCHING OF ALL DISTURBED AREAS WILL BE DONE IMMEDIATELY.
- WORK CREWS AND EQUIPMENT FOR TRENCHING, PLACEMENT OF PIPE, PLUG CONSTRUCTION AND BACKFILLING WILL BE SELF-CONTAINED AND SEPERATE FORM CLEARING AND GRUBBING AND SITE RESTORATION AND STABILIZATION OPERATIONS F. ALL SOIL EXCAVATED FROM THE TRENCH WILL BE PLACED ON THE UPHILL SIDE OF THE TRENCH.

IV. STANDARD FOR TEMPORARY STABILIZATION

- A. STANDARD FOR TEMPORARY STABILIZATION WITH MULCH MULCHING IS MOST APPLICABLE TO THOSE AREAS SUBJECT TO PERIODIC DISTURBANCE AND REWORKING. IN ADDITION, STABILIZATION WITH MULCH SHALL BE USED DURING NON-GERMINATION PERIODS PERFORM ALL CUI TURAL OPERATIONS AT RIGHT ANGLES TO THE SLOPE
- PROTECTIVE MATERIALS TO BE USED: UNROTTED SMALL-GRAIN STRAW OR HAY AT 3.0 TONS PER ACRE SPREAD UNIFORMLY AT 135 POUNDS PER 1000 SQUARE FEET AND ANCHORED WITH LIQUID MULCH BINDER OR; WOOD-FIBER OR PAPER-FIBER MULCH AT A RATE OF 1500 POUNDS PER ACRE MAY BE APPLIED BY A HYDROSEEDER OR HYDROMULCHER. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL LIQUID MULCH BINDERS: APPLY IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER.

IF EMULSIFIED ASPHALT - (SS-1, CMS-2, MS-2, RS-1, RS-2, CRS-1 AND CRS-2), APPLY 0.04 GAL./SQ. YD. OR 194 GAL./ACRE ON

- FLAT SLOPES LESS THAN 8' HIGH. ON SLOPES 8' OR MORE HIGH USE 0.075 GAL./SQ. YD. OR 363 GAL./ACRE B. STANDARD FOR TEMPORARY STABILIZATION WITH SEED DISTURBED AREAS WHICH ARE NOT AT FINISHED GRADE AND WHICH WILL BE REDISTURBED WITHIN ONE YEAR MUST BE SEEDED AND MULCHED IMMEDIATELY WITH A TEMPORARY COVER.
- SEEDBED PREPARATION PERFORM ALL CULTURAL OPERATIONS AT RIGHT ANGLES TO SLOPE.

GRADE AS NEED AND FEASIBLE. SEE STANDARD FOR LAND GRADING.

- APPLY GROUND LIMESTONE AT A RATE OF 2,000 LB/AC APPLY 10-10-10 FERTILIZER A RATE OF 150 LB/AC.
- WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF FOUR (4) INCHES. D. SEEDING
- SEED MIXTURE TEMPORARY: PERENNIAL RYEGRASS SHALL BE APPLIED AT A RATE OF 1.5 LB/1,000 SQ. FT. AND WINTER RYE AT A RATE OF 3.5 LBS./1000 SQ. FT. APPLY SEED UNIFORMLY. NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2". HYDROSEEDINGS (INCLUDING FERTILIZER AND SEED IN A SLURRY FORM), MAY BE LEFT ON THE SOIL SURFACE. SOIL CONSERVATION DISTRICT CAN REQUIRE SPECIFIC TECHNIQUES FOR HYDROSEEDING AND/OR HYDROMULCHING IN AREAS WITH DROUGHTY CONDITIONS. FOR MULCHING REQUIREMENTS, SEE STANDARD FOR STABILIZATION WITH MULCH

V. STANDARD FOR PERMANENT STABILIZATION SPECIFICATION FOR SEEDING & SOIL TREATMENT FOR PERMANENT VEGETATIVE COVER

- 1. SITE PREPARATION GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION AND ANCHORING, AND MAINTENANCE. SUBSOIL SHOULD BE TESTED FOR LIME REQUIREMENT AND LIMESTONE, IF NEEDED, SHOULD BE APPLIED TO BRING SOIL PH TO 6.5 AND
- IMMEDIATELY PRIOR TO TOPSOIL DISTRIBUTION, THE SURFACE SHOULD BE SCARIFIED TO PROVIDE A GOOD BOND WITH THE TOPSOIL. 2. APPLYING TOPSOIL TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING SOIL STRUCTURE ALL DISTURBED TOPSOIL ON-SITE IS TO BE REDISTRIBUTED ON-SITE IN AREAS NOT COVERED BY IMPERVIOUS SURFACES, NO REMOVAL
- OF TOPSOIL IS ALLOWED UNLESS APPROVED BY THE TOWNSHIP. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS RECOMMENDED. SOILS WITH A PH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM DEPTH OF 12 INCHES OF SOIL HAVING A PH OF 5.0 OR MORE 3. SEEDBED PREPARATION
- PERFORM ALL CUI TURAL OPERATIONS AT RIGHT ANGLES TO SLOPE APPLY 10-20-10 OR EQUIVALENT RATED FERTILIZER AT A RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1000 SQUARE FEET.
- APPLY 300 POUNDS 38-0-0 PER ACRE OR EQUIVALENT OF SLOW RELEASE NITROGEN. APPLY PULVERIZED DOLOMITIC LIMESTONE AT A RATE OF 1/3 TONS PER ACRES OR 15 POUNDS PER 1000 SQUARE FEET. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES CONTINUE TILLAGE UNTIL A REASONABLY UNIFORM FINE SEEDBED IS PREPARED.
- REMOVE FROM THE SURFACE ALL STONES TWO INCHES OR LARGER IN ANY DIMENSION, REMOVE ALL OTHER DEBRIS, SUCH AS WIRE. CABLE, TREE ROOTS, PIECES OF CONCRETE, CLODS, LUMPS OR OTHER UNSUITABLE MATERIAL. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RE-TILLED AND FIRMED AS
- SEED MIXTURE PERMANENT: TURF TYPE PERENNIAL RYEGRASS W/ 100% MAKEUP W/ A SEEDING RATE OF 4-5 LBS. PER 1,000 SQUARE FEET OR 172-215 LBS. PER ACRE. APPLY SEED UNIFORMLY. NORMAL SEEDING DEPTH IS FROM 1/4" TO 1/2". HYDROSEEDINGS (INCLUDING FERTILIZER AND SEED IN A SCURRY FORM), WHICH ARE MULCHED, MAY BE LEFT ON THE SOIL SURFACE. SOIL CONSERVATION DISTRICT CAN REQUIRE SPECIFIC ECHNIQUES FOR HYDROSEEDING AND/OR HYDROMULCHING IN AREAS WITH DROUGHTY CONDITIONS. FOR MULCHING REQUIREMENTS
- IRRIGATION (WHERE FEASIBLE IF SOIL MOISTURE IS DEFICIENT AND MULCH IS NOT USED, SUPPLY NEW SEEDINGS WITH ADEQUATE WATER, A MINIMUM OF 1/4" TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED. ESPECIALLY WHEN SEEDING IS PERFORMED IN ABNORMALLY DRY OR HOT WEATHER OR
- B. STANDARD FOR PERMANENT STABILIZATION WITH SOD 1. METHODS AND MATERIALS CULTIVATED SOD IS PREFERRED OVER NATIVE OR PASTURE SOD. SPECIFY "CERTIFIED SOD," OR OTHER HIGH QUALITY CULTIVATED SOD. SOD SHOULD BE FREE OF WEEDS AND UNDESIRABLE COARSE WEEDY GRASSES.
- SOD SHOULD BE OF UNIFORM THICKNESS, APPROXIMATELY 5/8 INCH, PLUS OR MINUS 1/4 INCH, AT TIME OF CUTTING. (EXCLUDES TOP SOD SHOULD BE VIGOROUS AND DENSE AND BE ABLE TO RETAIN ITS OWN SHAPE AND WEIGHT WHEN SUSPENDED VERTICALLY WITH A FIRM GRASP FROM THE UPPER 10% OF THE STRIP. BROKEN PADS OR TORN AND UNEVEN ENDS WILL NOT BE ACCEPTABLE FOR DROUGHTY SITES A SOD OF KENTUCKY 31 TALL FESCUE AND BLUEGRASS IS PREFERRED OVER A STRAIGHT BLUEGRASS SOD.
- ONLY MOIST, FRESH UNHEATED SOD SHOULD BE USED. SOD SHOULD BE HARVESTED, DELIVERED AND INSTALLED WITHIN A PERIOD OF 36 2. SITE PREPARATION
- SEE SPECIFICATION FOR SEEDING & SOIL TREATMENT FOR PERMANENT VEGETATIVE COVER. . APPLYING TOPSOIL

SEE STANDARD FOR STABILIZATION WITH MULCH: PROTECTIVE MATERIALS TO BE USED.

- SEE SPECIFICATION FOR SEEDING & SOIL TREATMENT FOR PERMANENT VEGETATIVE COVER. 4. SEEDBED PREPARATION
- SEE SPECIFICATION FOR SEEDING & SOIL TREATMENT FOR PERMANENT VEGETATIVE COVER
- SOD STRIPS SHOULD BE LAID ON THE CONTOUR, NEVER UP AND DOWN THE SLOPE, STARTING AT THE BOTTOM OF THE SLOPE AND WORKING UP. ON STEEP SLOPES, THE USE OF LADDERS WILL FACILITATE THE WORK AND PREVENT DAMAGE TO THE SOD. DURING PERIODS OF HIGH TEMPERATURE LIGHTLY IRRIGATE THE SOIL IMMEDIATELY PRIOR TO LAYING THE SOIL PLACE SOD STRIPS WITH SNUG EVEN JOINTS THAT ARE STAGGERED. OPEN SPACES INVITE EROSION.
- ROLL OR TAMP SOD IMMEDIATELY FOLLOWING PLACEMENT TO INSURE SOLID CONTACT OF ROOT MAT AND SOIL SURFACE. DO NOT OVERLAP SOD. ALL JOINTS SHOULD BE BUTTED TIGHTLY IN ORDER TO PREVENT VOIDS. WHICH WOULD CAUSE DRYING OF THE ROOTS ON SLOPES GREATER THAN 3 TO 1, SECURE SOD TO SURFACE SOIL WITH WOOD PEGS, WIRE STAPLES, OR SPLIT SHINGLES (8 TO 10
- INCHES LONG BY 3/4 INCH WIDE). SURFACE WATER CANNOT ALWAYS BE DIVERTED FROM FLOWING OVER THE FACE OF THE SLOPE BUT A CAPPING STRIP OF HEAVY JUTE OR PLASTIC NETTING, PROPERLY SECURED, ALONG THE CROWN OF THE SLOPE AND EDGES WILL PROVIDE EXTRA PROTECTION AGAINST LIFTING AND UNDERCUTTING OF SOD. THE SAME TECHNIQUE CAN BE USED TO ANCHOR SOD IN WATER-CARRYING CHANNELS AND OTHER
- CRITICAL AREAS. WIRE STAPLES MUST BE USED TO ANCHOR NETTING IN CHANNEL WORK IMMEDIATELY FOLLOWING INSTALLATION, SOD SHOULD BE WATERED UNTIL MOISTURE PENETRATES THE SOIL LAYER BENEATH SOD TO A DEPTH OF 4 INCHES. MAINTAIN OPTIMUM MOISTURE FOR AT LEAST TWO WEEKS. 6. TOP DRESSING: IF SLOW RELEASE NITROGEN (300 POUNDS 38-0-0 PER ACRE OR EQUIVALENT) IS USED IN ADDITION SUGGESTED FERTILIZER. THEN A FOLLOW-UP OF TOP DRESSING IS NOT MANDATORY.
- SPRING INSTALLATION OF SOD WILL REQUIRE AN APPLICATION OF FERTILIZER SUCH AS 10-20-10 EQUIVALENT AT 400 POUNDS PER ACRE FALL INSTALLATION OF SOD WILL REQUIRE THE ABOVE BETWEEN MARCH 15 AND MAY 1

BURLINGTON COUNTY SOIL EROSION & SEDIMENT POLLUTION CONTROL NOTES:

- 1. ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
- 2. SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.

APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS

COMPLETED AND/OR THE AREA IS STABILIZED. THE CONTRACTOR SHALL PERFORM ALL WORK, FURNISH ALL MATERIALS AND INSTALL ALL MEASURES. REQUIRED TO REASONABLY CONTROL SOIL EROSION RESULTING FROM CONSTRUCTION OPERATIONS AND

PREVENT EXCESSIVE FLOW OF SEDIMENT FROM THE CONSTRUCTION SITE

- ANY DISTURBED AREA THAT IS TO BE LEFT EXPOSED FOR MORE THAN THIRTY (30) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION IN ACCORDANCE WITH THE NEW JERSEY STANDARDS AND THEIR RATES SHOULD BE INCLUDED IN THE NARRATIVE IF THE SEASON PROHIBITS TEMPORARY SEEDING. THE DISTURBED AREAS WILL BE MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW JERSEY STANDARDS (I.E. PEG AND TWINE, MULCH NETTING OR LIQUID MULCH BINDER)
- 6. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE CONFIRMATION OF LIME, FERTILIZER AND SEED APPLICATION AND RATES OF APPLICATION AT THE REQUEST OF THE BURLINGTON COUNTY SOIL
- ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH AT A RATE OF 2 TONS PER ACRE, ACCORDING TO THE NEW JERSEY STANDARDS IMMEDIATELY
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SEDIMENTATION STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER **EVERY STORM EVENT**
- 10. A CRUSHED STONE TIRE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS EXISTS. THE RIP RAP PAD MUST BE 50 FEET IN LENGTH AND THE STONE MUST BE 1.5" - 4" IN SIZE, PLACED 12" THICK AND THE FULL WIDTH OF THE ENTRANCE. IT SHOULD BE UNDERLAIN WITH SUITABLE SYNTHETIC FILTER FABRIC AND MAINTAINED. THE STRUCTURE MUST BE DELINEATED AND DETAILED ON THE PLANS
- 11. ALL DRIVEWAYS MUST BE STABILIZED WITH 2 1/2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT
- 12. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.

CONSERVATION DISTRICT

- 13. ALL CATCH BASIN INLETS WILL BE PROTECTED ACCORDING TO THE CERTIFIED PLAN. 14. ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED, AS REQUIRED, BEFORE THE DISCHARGE POINTS BECOME
- 15. ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTRATION SYSTEM DEVICE
- THE SEDIMENT FILTER MUST BE PLACED SO AS NOT TO CAUSE EROSION OF THE DOWNSTREAM AREA. FIELD PLACEMENT AND USE OF THE STRUCTURE MUST BE APPROVED BY THE DISTRICT EROSION CONTROL INSPECTOR PRIOR TO COMMENCEMENT OF DEWATERING ACTIVITIES
- 16. NJSA 4:24-39, <u>ET SEQ.</u> REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE ALL PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES. ALL SITE WORK FOR THE PROJECT MUST BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE AS A PREREQUISITE TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE
- MULCHING IS REQUIRED ON ALL SEEDED AREAS TO INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED TO PROMOTE EARLIER VEGETATION COVER.
- 18. OFFSITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE
- 19. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
- 20. THE ATLANTIC COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 48 HOURS PRIOR TO ANY LAND
- ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ANY SUBSEQUENT OWNERS.
- IMMEDIATELY AFTER THE COMPLETION OF STRIPPING AND STOCKPILING OF TOPSOIL, THE STOCKPILE MUST BE STABILIZED ACCORDING TO THE STANDARD FOR TEMPORARY VEGETATIVE COVER. STABILIZE TOPSOIL PILE WITH STRAW MULCH FOR PROTECTION IF THE SEASON DOES NOT PERMIT THE APPLICATION AND ESTABLISHMENT OF TEMPORARY SEEDING. ALL SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY AND THE BASE MUST BE PROTECTED WITH A
- ANY CHANGES TO THE SITE PLAN WILL REQUIRE THE SUBMISSION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN TO THE BURLINGTON COUNTY SOIL CONSERVATION DISTRICT. THE REVISED PLAN MUST BE IN ACCORDANCE WITH THE CURRENT NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL
- 24. METHODS FOR THE MANAGEMENT OF HIGH ACID PRODUCING SOILS SHALL BE IN ACCORDANCE WITH THE STANDARDS. HIGH ACID PRODUCING SOILS ARE THOSE FOUND TO CONTAIN IRON SULFIDES OR HAVE A pH OF 4
- 25. TEMPORARY AND PERMANENT SEEDING MEASURES MUST BE APPLIED ACCORDING TO THE NEW JERSEY STANDARDS, AND MULCHED WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE NEW
- 26. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1 UNLESS OTHERWISE APPROVED BY THE DISTRICT.
- 27. DUST IS TO BE CONTROLLED BY AN APPROVED METHOD ACCORDING TO THE NEW JERSEY STANDARDS AND MAY NCLUDE WATERING WITH A SOLUTION OF CALCIUM CHLORIDE AND WATER.
- 28. ADJOINING PROPERTIES SHALL BE PROTECTED FROM EXCAVATION AND FILLING OPERATIONS ON THE
- 29. USE STAGED CONSTRUCTION METHODS TO MINIMIZE EXPOSED SURFACES, WHERE APPLICABLE. 30. ALL VEGETATIVE MATERIAL SHALL BE SELECTED IN ACCORDANCE WITH AMERICAN STANDARDS FOR NURSERY
- STOCK OF THE AMERICAN ASSOCIATION OF THE NURSERYMEN AND IN ACCORDANCE WITH THE NEW JERSEY STANDARDS
- 31. NATURAL VEGETATION AND SPECIES SHALL BE RETAINED WHERE SPECIFIED ON THE LANDSCAPE PLAN.
- 32. THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE DISTRICT INSPECTOR 33. THE DISTRICT RESERVES THE RIGHT TO DIRECT THE CONTRACTOR TO INSTALL AND MAINTAIN PERIMETER SILT
- 34. SOIL HAVING A DH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE MUST BE COVERED WITH A MINIMUM OF 12
- INCHES OF SOIL HAVING A pH OF 5.0 OR MORE BEFORE SEEDBED PREPARATION. 35. NJSA 4:24-39, ET SEQ. REQUIRES THAT UPON PERMANENT SITE STABILIZATION AND COMPLETION OF CONSTRUCTION THE CONTRACTOR SHALL APPLY TO THE SOIL CONSERVATION DISTRICT FOR A FINAL COMPLIANCE INSPECTION TO CHECK THAT ALL THE PROVISIONS OF THE CERTIFIED SOIL EROSION AND

SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES.

- 36. ALL CATCH BASIN INLETS WILL BE PROTECTED DURING CONSTRUCTION (FILTER DETAILS APPEAR ON PLAN).
- 37. IF A STONE CONSTRUCTION ACCESS IS TO BE USED AS AN EXIT ONTO A MAJOR HIGHWAY, A THIRTY (30)FOOT

CONSTRUCTION STORM WATER MANAGEMENT B.M.P. NOTES

PAVED TRANSITION AREA SHALL BE INSTALLED.

THE FOLLOWING ARE A SUMMARY OF BMP'S THAT WILL BE UTILIZED DURING AND/OR PROCEEDING CONSTRUCTION

- 1. DUST CONTROL CONSTRUCTION TRAFFIC MUST ENTER AND EXIT THE SITE AT THE STABILIZED CONSTRUCTION ENTRANCE. THE PURPOSE IS TO TRAP DUST AND MUD THAT WOULD OTHERWISE BE CARRIED OFF-SITE BY CONSTRUCTION TRAFFIC. WATER TRUCKS WILL BE USED AS NEEDED DURING CONSTRUCTION TO REDUCE DUST GENERATED ON THE SITE. DUST CONTROL MUST BE PROVIDED BY THE CONTRACTOR TO A DEGREE THAT IS ACCEPTABLE TO THE LOCAL CONSERVATION DISTRICT. AFTER CONSTRUCTION, THE SITE WILL BE STABILIZED (AS DESCRIBED ELSEWHERE), WHICH WILL REDUCE THE POTENTIAL FOR DUST
- SOLID WASTE DISPOSAL NO SOLID MATERIALS, INCLUDING BUILDING MATERIALS, ARE ALLOWED TO BE DISCHARGED FROM THE SITE WITH STORM WATER. ALL SOLID WASTE. INCLUDING DISPOSABLE MATERIALS INCIDENTAL TO THE MAJOR CONSTRUCTION ACTIVITIES, MUST BE COLLECTED AND PLACED IN CONTAINERS THE CONTAINERS WILL BE EMPTIED AS NECESSARY BY A CONTRACT TRASH DISPOSAL SERVICE AND HAULED AWAY FROM THE SITE
- STATE AND LOCAL SANITARY OR SEPTIC SYSTEM REGULATIONS. TEMPORARY SANITARY FACILITIES WILL BE PROVIDED AT THE SITE THROUGHOUT THE CONSTRUCTION PHASE. THEY MUST BE UTILIZED BY ALL CONSTRUCTION PERSONNEL AND WILL BE SERVICED BY A LICENSED COMMERCIAL OPERATOR. WATER SOURCE - NON STORM WATER COMPONENTS OF SITE DISCHARGE MUST BE CLEAN WATER. WATER

SANITARY FACILITIES - ALL PERSONNEL INVOLVED WITH CONSTRUCTION ACTIVITIES MUST COMPLY WITH

USED FOR CONSTRUCTION WHICH DISCHARGES FROM THE SITE MUST ORIGINATE FROM A PUBLIC WATER SUPPLY OR PRIVATE WELL APPROVED BY THE STATE HEALTH DEPARTMENT. WATER USED FOR CONSTRUCTION THAT DOES NOT ORIGINATE FROM AN APPROVED PUBLIC SUPPLY MUST NOT DISCHARGE FROM THE SITE. IT CAN BE RETAINED IN THE PONDS UNTIL IT INFILTRATES AND EVAPORATES. CONCRETE WASTE FROM CONCRETE READY-MIX TRUCKS - DISCHARGE OF EXCESS OR WASTE CONCRETE

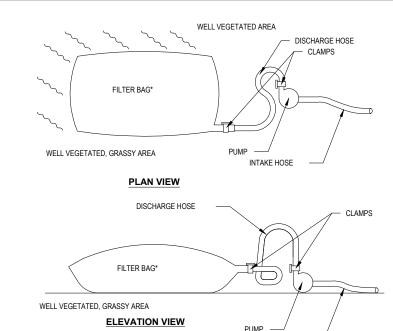
AND/OR WASH WATER FROM CONCRETE TRUCKS WILL BE ALLOWED ON THE CONSTRUCTION SITE, BUT ONLY

IN SPECIFICALLY DESIGNATED DIKED AREAS PREPARED TO PREVENT CONTACT BETWEEN THE CONCRETE

6. FUEL TANKS - TEMPORARY ON-SITE FUEL TANKS FOR CONSTRUCTION VEHICLES SHALL MEET ALL STATE AND FEDERAL REGULATIONS. TANKS SHALL HAVE APPROVED SPILL CONTAINMENT WITH THE CAPACITY REQUIRED BY THE APPLICABLE REGULATIONS. THE LOCATION OF FUEL TANKS SHALL BE SHOWN ON THE EROSION AND SEDIMENTATION PLAN

AND/OR WASH WATER AND STORM WATER THAT WILL BE DISCHARGED FROM THE SITE.

7. LONG-TERM POLLUTANT CONTROLS - STORM WATER POLLUTANT CONTROL MEASURES INSTALLED DURING CONSTRUCTION, THAT WILL ALSO PROVIDE BENEFITS AFTER CONSTRUCTION, INCLUDE LANDSCAPING, PERMANENT GRASS AND PAVEMENT COVER



1. FILTER BAGS SHALL BE MADE FROM NON-WOVEN GEOTEXTILE MATERIAL SEWN WITH HIGH STRENGTH, DOUBLE STITCHED "J" TYPE SEAMS. THEY SHALL BE CAPABLE OF TRAPPING PARTICLES ARGER THAN 150 MICRONS 2. A SUITABLE MEANS OF ACCESSING THE BAG WITH MACHINERY REQUIRED FOR DISPOSAL PURPOSES

MUST BE PROVIDED. FILTER BAGS SHALL BE REPLACED WHEN THEY BECOME ½ FULL. SPARE BAGS

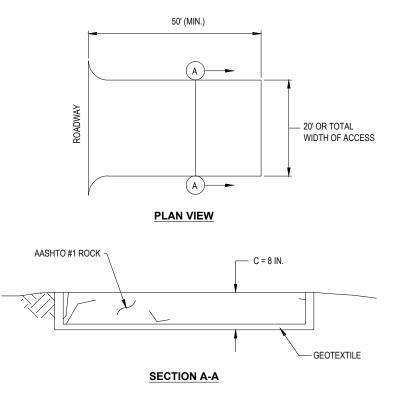
INTAKE HOSE

SHALL BE KEPT AVAILABLE FOR REPLACEMENT OF THOSE THAT HAVE FAILED OR ARE FILLED 3 BAGS SHALL BE LOCATED IN WELL-VEGETATED (GRASSY) AREA, AND DISCHARGE ONTO STABLE EROSION RESISTANT AREAS. WHERE THIS IS NOT POSSIBLE, A GEOTEXTILE FLOW PATH SHALL BE PROVIDED. BAGS SHALL NOT BE PLACED ON SLOPES GREATER THAN 5%. 4. THE PUMP DISCHARGE HOSE SHALL BE INSERTED INTO THE BAGS IN THE MANNER SPECIFIED BY THE

PUMPED WATER FILTER BAG DETAIL

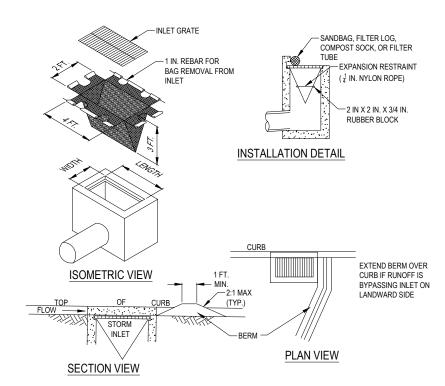
5. THE PUMPING RATE SHALL BE NO GREATER THAN 750 GPM OR ½ THE MAXIMUM SPECIFIED BY THE

MANUFACTURER, WHICHEVER IS LESS. PUMP INTAKES SHOULD BE FLOATING AND SCREENED.



MAINTENANCE: Rock Construction Entrance thickness shall be constantly maintained to the specified dimensions by adding rock. A stockpile shall be maintained on site for this purpose. At the end of each construction day, all sediment deposited on paved roadways shall be removed and returned to the construction site.

ROCK CONSTRUCTION ENTRANCE DETAIL

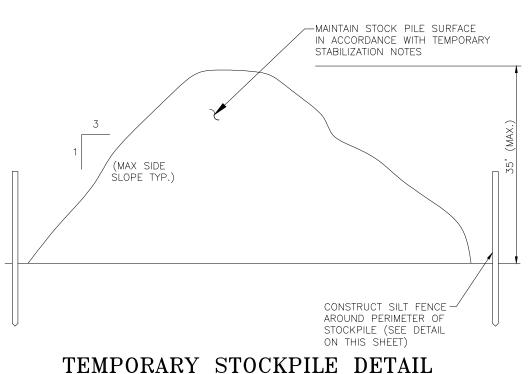


MAXIMUM DRAINAGE AREA = 1/2 ACRE.

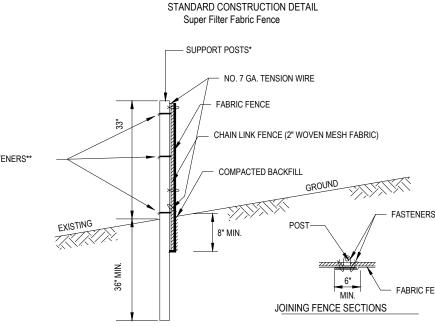
INLET PROTECTION SHALL NOT BE REQUIRED FOR INLET TRIBUTARY TO SEDIMENT BASIN OR TRAP. BERMS SHALL BE REQUIRED FOR ALL INSTALLATIONS OLLED EARTHEN BERM SHALL BE MAINTAINED UNTIL ROADWAY IS STONED. ROAD SUBBASE BERM SHALL BE MAINTAINED UNTIL ROADWAY IS PAVED. SIX INCH MINIMUM HEIGHT ASPHALT BERM SHALL BE MANTAINED UNTIL ROADWAY SUBFACE RECEIVES FINAL COAT.
AT A MINIMUM, THE FABRIC SHALL HAVE A MINIMUM GRAB TENSILE STRENGTH OF 20 LBS., A MINIMUM BURST STRENGTH OF 20 PSI, AND A MINIMUM TRAPEZOIDAL TEAR
STRENGTH OF 50 LBS. FILTER BASS SHALL BE CAPABLE OF TRAPPING ALL PARTICLES NOT PASSING A NO. 40 SIEVE. INLET FILTER BAGS SHALL BE INSPECTED ON A WEEKLY BASIS AND AFTER EACH RUNOFF EVENT. BAGS SHALL BE EMPTIED AND RINSED OR REPLACED WHEN HALF FULL OR HEN FLOW CAPACITY HAS BEEN REDUCED SO AS TO CAUSE FLOODING OR BYPASSING OF THE INLET. DAMAGED OR CLOGGED BAGS SHALL BE REPLACED. A SUPPLY SHE MAINTAINED ON SITE FOR REPLACEMENT OF BAGS. ALL NEEDED REPAIRS SHALL BE INITIATED IMMEDIATELY AFTER THE INSPECTION. DISPOSE OF ACCUMULATED

> FILTER BAG INLET PROTECTION DETAIL NOT TO SCALE

DO NOT USE ON MAJOR PAVED ROADWAYS WHERE PONDING MAY CAUSE TRAFFIC HAZARDS.



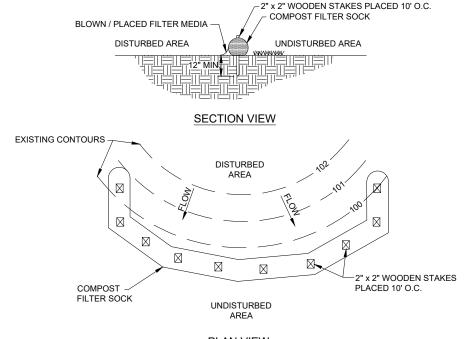
NOT TO SCALE (0079901-9.17.04)



* Posts spaced @ 10' max. Use 2 1/2" dia. galvanized or aluminum posts. ** Chain Link to Post Fasteners spaced @ 14" max. Use No. 6 Ga. aluminum wire or No. 9 galvanized steel pre-formed clips. Chain Link to Tension Wire Fasteners spaced @ 60" max. Use No. 10 Ga. galvanized steel wire. Fabric to Chain Fasteners spaced @ 24" max. C to C.

- No. 7 Ga. Tension Wire installed horizontally at top and bottom of
- Filter Fabric Fence must be placed at existing level grade. Both ends of the barrier must be extended at least 8 feet upslope at 45 degrees to the main barrier alignment.
- Sediment must be removed when accumulations reach 1/2 the above ground height of the fence.

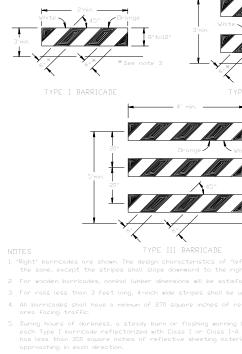
SUPER SILT FENCE DETAIL



- PLAN VIEW 1. COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT. STAKES MAY BE
- INSTALLED IMMEDIATELY DOWNSLOPE OF THE SOCK IF SO SPECIFIED BY THE MANUFACTURER. 2. TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
- 8. ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES HALF THE ABOVEGROUND HEIGHT OF HE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN
- 4 SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
- 5. BIODEGRADABLE FILTER SOCKS SHALL BE REPLACED AFTER 6 MONTHS: PHOTODEGRADABLE SOCKS AFTER 1 YEAR. POLYPROPYLENE SOCKS SHALL BE REPLACED ACCORDING TO MANUFACTURER'S
- 6. UPON STABILIZATION OF THE AREA TRIBUTARY TO THE SOCK, STAKES SHALL BE REMOVED. THE SOCK MAY BE LEFT IN PLACE AND VEGETATED OR REMOVED. IN THE LATTER CASE, THE MESH SHALL BE CUT
- 7. SOCKS PLACED ON PAVED SURFACES SHOULD BE HELD IN PLACE WITH CONCRETE BLOCKS PLACED IMMEDIATELY DOWNSLOPE OF THE SOCK AT THE SAME INTERVALS RECOMMENDED FOR STAKES

COMPOST FILTER SOCK DETAIL

SOCK NO.	DIA. IN.	LOCATION	SLOPE PERCENT	SLOPE LENGTH ABOVE BARRIER (FT.)
1	24	SOUTH WESTERN PROPERTY LINE	2.0%	150
2	24	SOUTH WESTERN PROPERTY LINE	2.0%	150
3	24	SOUTH WESTERN PROPERTY LINE	2.0%	150



TEMPORARY BARRICADE DETAIL

FIGURE 3.18 Typical Compost Sock Washout Installation

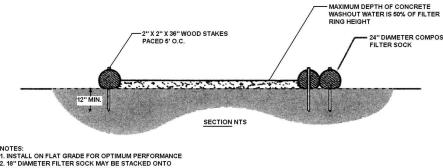


TABLE 4.1 Compost Sock Fabric Minimum Specifications Characteristics | degradable | degradable | Diameters 202 psi Stability % Original 100% at 100% at 23% at 23% at (ASTM G-155) 2 years 6 months 9 months 6 months 1 year Functional Longevity HDPE biaxial net ontinuously wound Inner Containment Netting 3/4" X 3/4" Max. aperture size (Woven layer and non-woven fleece mechanically fused via needle punch) 3/16" Max. aperture size Sock fabrics composed of burlap may be used on projects lasting 6 months or less.

Compost Standards

compest	o turraur up
ORGANIC MATTER CONTENT	25%-100% (DRY WEIGHT BASE)
ORGANIC PORTION	FIBROUS AND ELONGATED
рН	5.5-8.5
MOISTURE CONTENT	30%-60%
PARTICLE SIZE	30%-50% PASS THROUGH 3/8" SIEVE
SOLUBLE SALT CONCENTRATION	5.0 dS/m (mmhos/cm) MAXIMUM



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PERMITTING SERVICES



M.E. JEITNER

PROFESSIONAL FAGINEER: PENNSYLVANIA LICENSE No. PE055733

TAX MAP SHEET 5 - BLOCK 502 - LOT 13.02 PRELIMINARY / FINAL MAJOR SITE PLANS PLAN SCALE: AS NOTED STREET ADDRESS YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND. 4295 US ROUTE 130 1-800-272-1000 www.nj1-call.org TICKET #180780 TOWNSHIP STATE **EDGEWATER PARK**

NEW JERSEY LICENSE No. 24GE04493300 DELAWARE LICENSE No. 18313

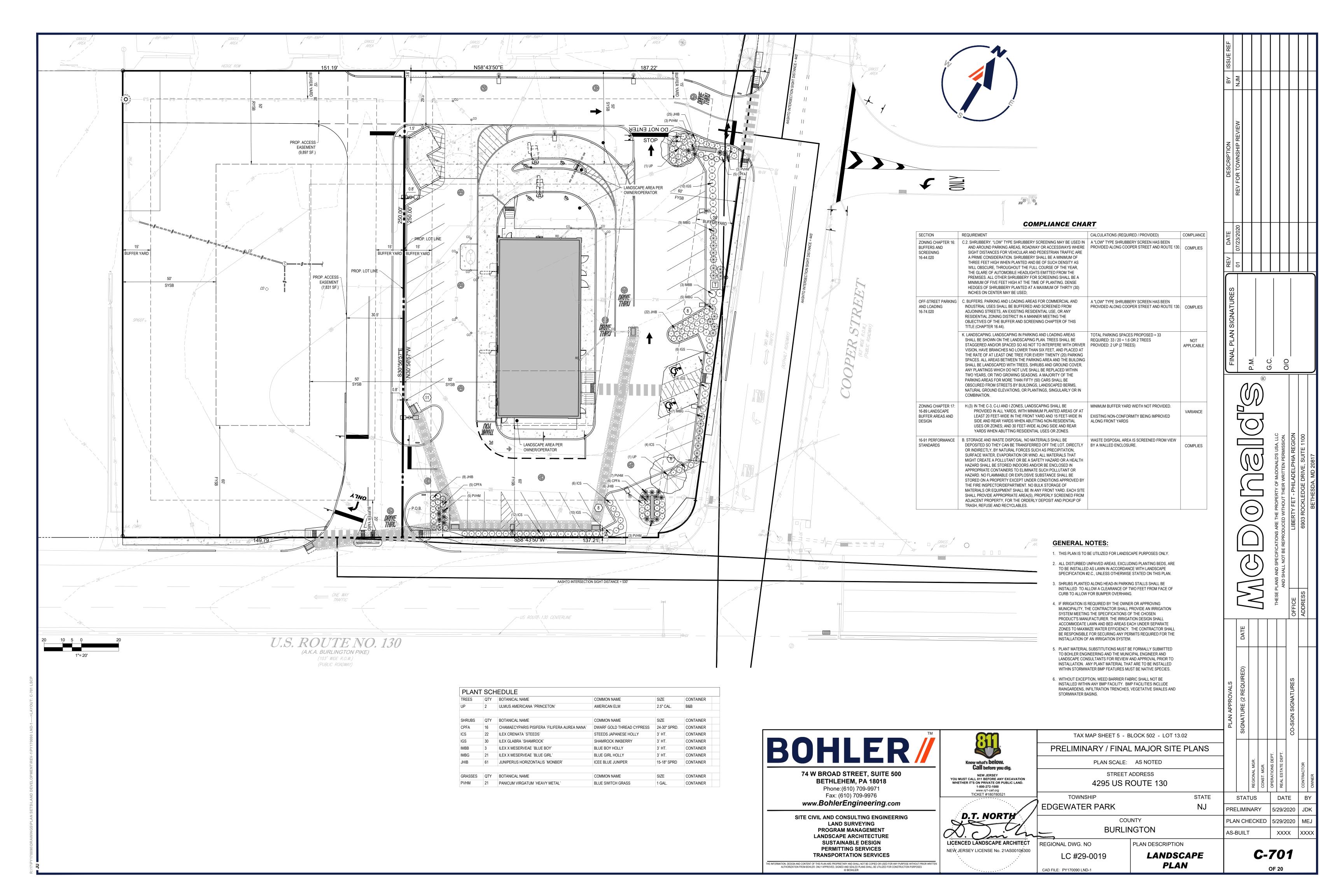
COUNTY BURLINGTON

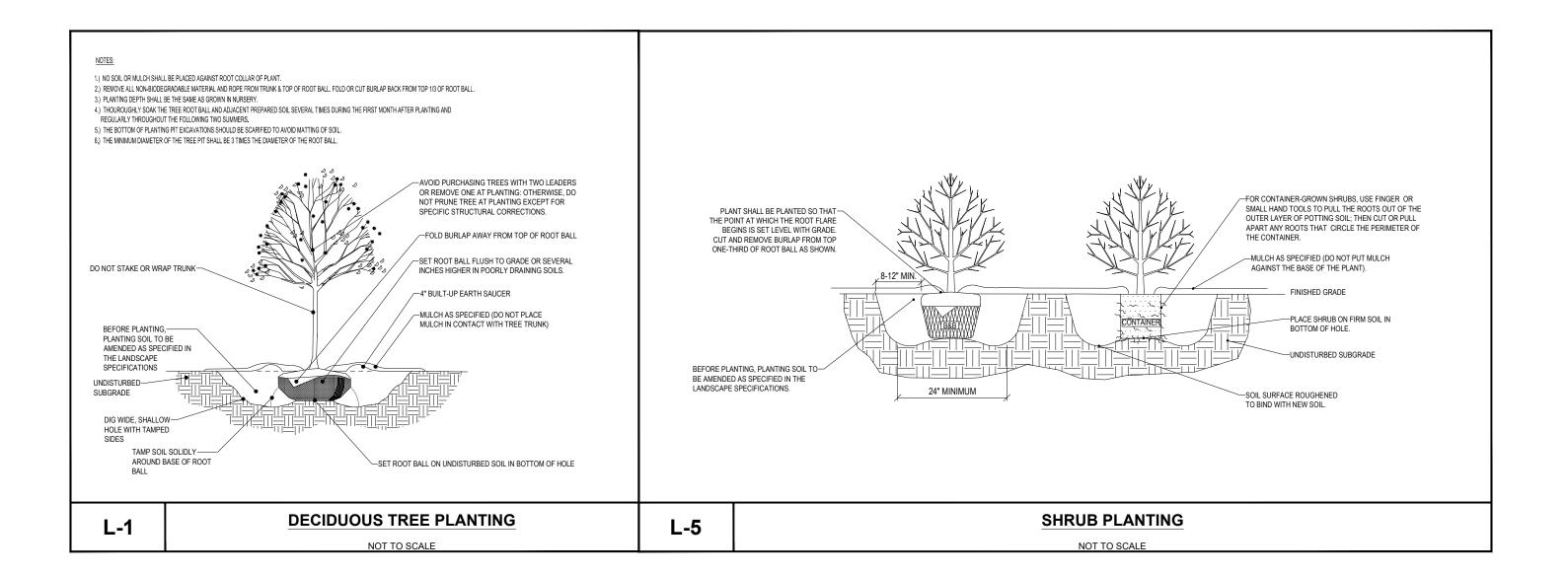
REGIONAL DWG. NO PLAN DESCRIPTION SOIL EROSION LC #29-0019 AND SEDIMENT **CONTROL DETAILS** CAD FILE: PY170090 COVER-1

DATE STATUS RELIMINARY 5/29/2020 JDK PLAN CHECKED | 5/29/2020 | ME AS-BUILT XXXX XXXX

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C-602





LANDSCAPE SPECIFICATIONS:

1. SCOPE OF WORK:
THE CONTRACTOR SHALL BE REQUIRED TO PERFORM ALL CLEARING, FINISHED GRADING, SOIL PREPARATION, PERMANENT SEEDING OR SODDING, PLANTING AND MULCHING INCLUDING ALL LABOR, MATERIALS, TOOLS AND EQUIPMENT NECESSARY FOR THE COMPLETION OF THIS PROJECT, UNLESS OTHERWISE CONTRACTED BY THE GENERAL CONTRACTOR.

2. MATERIALS

A. GENERAL - ALL HARDSCAPE MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION'S SPECIFICATIONS.

 ${\tt B.\ TOPSOIL-NATURAL,FRIABLE,LOAMY\ SILT\ SOIL\ HAVING\ AN\ ORGANIC\ CONTENT\ NOT\ LESS\ THAN\ 5\%,\ A\ PH\ RANGE}$

BETWEEN 5.5-7.0. IT SHALL BE FREE OF DEBRIS, ROCKS LARGER THAN ONE INCH (1"), WOOD, ROOTS, VEGETABLE MATTER AND CLAY CLODS. C. LAWN - LAWN AREAS SHALL BE SEEDED OR SODDED IN ACCORDANCE WITH THE PERMANENT STABILIZATION METHODS INDICATED WITHIN THE SOIL EROSION AND SEDIMENT CONTROL NOTES. FOR SOIL BED PREPARATIONS,

. LAWN SEED MIXTURE SHALL BE FRESH, CLEAN NEW CROP SEED. II. SOD SHALL BE STRONGLY ROOTED, WEED AND DISEASE/PEST FREE WITH A UNIFORM THICKNESS. SOD INSTALLED ON SLOPES GREATER THAN 4:1 SHALL BE PEGGED TO

 $\hbox{D. MULCH-ALL PLANTING BEDS SHALL BE MULCHED WITH A 3" THICK LAYER OF DOUBLE SHREDDED HARDWOOD}\\$ BARK MULCH, UNLESS OTHERWISE STATED ON THE LANDSCAPE PLAN.

I. FERTILIZER SHALL BE DELIVERED TO THE SITE MIXED AS SPECIFIED IN THE ORIGINAL UNOPENED STANDARD BAGS SHOWING WEIGHT, ANALYSIS AND NAME OF MANUFACTURER. FERTILIZER SHALL BE STORED IN A WEATHERPROOF PLACE SO THAT IT CAN BE KEPT DRY PRIOR TO USE.

II. FOR THE PURPOSE OF BIDDING, ASSUME THAT FERTILIZER SHALL BE 10% NITROGEN, 6% PHOSPHORUS AND 4% POTASSIUM BY WEIGHT. A FERTILIZER SHOULD NOT BE SELECTED WITHOUT A SOIL TEST PERFORMED BY A CERTIFIED SOIL LABORATORY.

REFER TO ITEM 8 BELOW.

I. ALL PLANTS SHALL IN ALL CASES CONFORM TO THE REQUIREMENTS OF THE "AMERICAN STANDARD FOR NURSERY STOCK" (ANSI 260.1), LATEST EDITION, AS PUBLISHED BY AMERICAN HORT (FORMERLY THE AMERICAN NURSERY AND LANDSCAPE ASSOCIATION). II. IN ALL CASES, BOTANICAL NAMES SHALL TAKE PRECEDENCE OVER COMMON NAMES FOR ANY AND ALL PLANT MATERIAL.

III. PLANTS SHALL BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. TAGS ARE TO REMAIN ON AT LEAST ONE PLANT OF EACH SPECIES FOR VERIFICATION PURPOSES DURING THE FINAL INSPECTION. IN. TREES WITH ABRASION OF THE BARK, SUN SCALDS, DISFIGURATION OR FRESH CUTS OF LIMBS OVER 1/4", WHICH HAVE NOT BEEN COMPLETELY CALLUSED, SHALL BE REJECTED. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE AT ANY TIME SO AS TO DAMAGE THE BARK OR BREAK BRANCHES V. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH: WELL DEVELOPED BRANCHES, DENSELY FOLIATED, VIGOROUS ROOT SYSTEMS AND BE FREE OF DISEASE, INSECTS, PESTS, EGGS OR LARVAE. VI. CALIPER MEASUREMENTS OF NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE THE NATURAL GRADE FOR TREES UP TO AND INCLUDING A FOUR INCH (4") CALIPER SIZE. IF THE CALIPER AT SIX INCHES (6") ABOVE THE GROUND EXCEEDS FOUR INCHES (4") IN CALIPER, THE CALIPER SHOULD BE MEASURED AT A POINT 12" ABOVE THE NATURAL GRADE. VII. SHRUBS SHALL BE MEASURED TO THE AVERAGE HEIGHT OR SPREAD OF THE SHRUB, AND NOT TO THE LONGEST BRANCH. VIII. TREES AND SHRUBS SHALL BE HANDLED WITH CARE BY THE ROOT BALL.

3. GENERAL WORK PROCEDURES
A. CONTRACTOR TO UTILIZE WORKMANLIKE INDUSTRY STANDARDS IN PERFORMING ALL LANDSCAPE CONSTRUCTION. THE SITE IS TO BE LEFT IN A CLEAN STATE AT THE END OF EACH WORKDAY. ALL DEBRIS.

MATERIALS AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF. B. WASTE MATERIALS AND DEBRIS SHALL BE COMPLETELY DISPOSED OF AT THE CONTRACTOR'S EXPENSE. DEBRIS SHALL NOT BE BURIED, INCLUDING ORGANIC MATERIALS, BUT SHALL BE REMOVED COMPLETELY FROM THE SITE.

4. SITE PREPARATIONS
A. BEFORE AND DURING PRELIMINARY GRADING AND FINISHED GRADING, ALL WEEDS AND GRASSES SHALL BE DUG OUT BY THE ROOTS AND DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES OUTLINED HEREIN. B. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES. THE ENTIRE LIMB OF ANY DAMAGED BRANCH SHALL BE CUT OFF AT THE BRANCH COLLAR. CONTRACTOR SHALL ENSURE THAT CUTS ARE SMOOTH AND STRAIGHT. ANY EXPOSED ROOTS SHALL BE CUT BACK WITH CLEAN, SHARP TOOLS AND TOPSOIL SHALL BE PLACED AROUND THE REMAINDER OF THE ROOTS. EXISTING TREES SHALL BE MONITORED ON A REGULAR BASIS FOR ADDITIONAL ROOT OR BRANCH DAMAGE AS A RESULT OF CONSTRUCTION. ROOTS SHALL NOT BE LEFT EXPOSED FOR MORE THAN ONE (1) DAY. CONTRACTOR SHALL WATER EXISTING TREES AS NEEDED TO PREVENT SHOCK OR DECLINE.

C. CONTRACTOR SHALL ARRANGE TO HAVE A UTILITY STAKE-OUT TO LOCATE ALL UNDERGROUND UTILITIES PRIOR TO INSTALLATION OF ANY LANDSCAPE MATERIAL. UTILITY COMPANIES SHALL BE CONTACTED THREE (3) DAYS PRIOR TO THE BEGINNING OF WORK.

5. TREE PROTECTION
A. CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL EXISTING TREES TO REMAIN. A TREE PROTECTION ZONE SHALL BE ESTABLISHED AT THE DRIP LINE OR 15 FEET FROM THE TRUNK OR AT THE LIMIT OF CONSTRUCTION DISTURBANCE, WHICHEVER IS GREATER. LOCAL STANDARDS THAT MAY REQUIRE A MORE STRICT TREE PROTECTION ZONE SHALL BE HONORED.

B. A FORTY-EIGHT INCH (48") HIGH WOODEN SNOW FENCE OR ORANGE COLORED HIGH-DENSITY 'VISI-FENCE', OR APPROVED EQUAL MOUNTÉD ON STEEL POSTS SHALL BE PLACED ALONG THE BOUNDARY OF THE TREE PROTECTION ZONE. POSTS SHALL BE LOCATED AT A MAXIMUM OF EIGHT FEET (8') ON CENTER OR AS INDIC WITHIN THE TREE PROTECTION DETAIL

C. WHEN THE TREE PROTECTION FENCING HAS BEEN INSTALLED, IT SHALL BE INSPECTED BY THE APPROVING AGENCY PRIOR TO DEMOLITION, GRADING, TREE CLEARING OR ANY OTHER CONSTRUCTION. THE FENCING ALONG THE TREE PROTECTION ZONE SHALL BE REGULARLY INSPECTED BY THE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITY HAS BEEN COMPLETED

D. AT NO TIME SHALL MACHINERY, DEBRIS, FALLEN TREES OR OTHER MATERIALS BE PLACED, STOCKPILED OR LEFT STANDING IN THE TREE PROTECTION ZONE.

6. SOIL MODIFICATIONS
A. CONTRACTOR SHALL ATTAIN A SOIL TEST FOR ALL AREAS OF THE SITE PRIOR TO CONDUCTING ANY PLANTING. SOIL TESTS SHALL BE PERFORMED BY A CERTIFIED SOIL LABORATORY. B. CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH

OF PLANT MATERIAL. SOIL MODIFICATIONS, AS SPECIFIED HEREIN, MAY NEED TO BE CONDUCTED BY THE CONTRACTOR DEPENDING ON SITE CONDITIONS. C. THE FOLLOWING AMENDMENTS AND QUANTITIES ARE APPROXIMATE AND ARE FOR BIDDING PURPOSES ONLY. COMPOSITION OF AMENDMENTS SHOULD BE REVISED DEPENDING ON THE OUTCOME OF A TOPSOIL ANALYSIS

PERFORMED BY A CERTIFIED SOIL LABORATORY.

1. TO INCREASE A SANDY SOIL'S ABILITY TO RETAIN WATER AND NUTRIENTS, THOROUGHLY TILL ORGANIC MATTER INTO THE TOP 6-12". USE COMPOSTED BARK, COMPOSTED LEAF MULCH OR PEAT MOSS. ALL PRODUCTS SHOULD BE COMPOSTED TO A DARK COLOR AND BE FREE OF PIECES WITH IDENTIFIABLE LEAF OR WOOD STRUCTURE. AVOID MATERIAL WITH A PH II. TO INCREASE DRAINAGE, MODIFY HEAVY CLAY OR SILT (MORE THAN 40% CLAY OR SILT) BY

ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) AND/OR AGRICULTURAL GYPSUM.
COARSE SAND MAY BE USED IF ENOUGH IS ADDED TO BRING THE SAND CONTENT TO MORE THAN 60% OF THE TOTAL MIX. SUBSURFACE DRAINAGE LINES MAY NEED TO BE ADDED TO III. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

A. UNLESS OTHERWISE CONTRACTED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBANCE AREA OF THE SITE. B. CONTRACTOR SHALL VERIFY THAT SUBGRADE FOR INSTALLATION OF TOPSOIL HAS BEEN ESTABLISHED. THE C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THIS SET OF CONSTRUCTION PLANS, UNLESS OTHERWISE DIRECTED BY THE PROJECT ENGINEER OR LANDSCAPE ARCHITECT

D. ALL PLANTING AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW FREE FLOW OF SURFACE WATER IN AND AROUND THE PLANTING BEDS. STANDING WATER SHALL NOT BE PERMITTED IN PLANTING BEDS.

8. TOPSOILING
A. CONTRACTOR SHALL PROVIDE A SIX INCH (6") THICK MINIMUM LAYER OF TOPSOIL, OR AS DIRECTED BY THE LOCAL ORDINANCE OR CLIENT, IN ALL PLANTING AND LAWN AREAS. TOPSOIL SHOULD BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. B. ON-SITE TOPSOIL MAY BE USED TO SUPPLEMENT THE TOTAL AMOUNT REQUIRED. TOPSOIL FROM THE SITE MAY BE REJECTED IF IT HAS NOT BEEN PROPERLY REMOVED, STORED AND PROTECTED PRIOR TO CONSTRUCTION.

C. CONTRACTOR SHALL FURNISH TO THE APPROVING AGENCY AN ANALYSIS OF BOTH IMPORTED AND ON-SITE TOPSOIL TO BE UTILIZED IN ALL PLANTING AREAS. THE PH AND NUTRIENT LEVELS MAY NEED TO BE ADJUSTED THROUGH SOIL MODIFICATIONS AS NEEDED TO ACHIEVE THE REQUIRED LEVELS AS SPECIFIED IN THE MATERIALS SECTION ABOVE. THAT THIS IS NOT POSSIBLE, CONTRACTOR SHALL PROTECT UNINSTALLED PLANT MATERIAL. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A THREE DAY PERIOD AFTER DELIVERY. PLANTS THAT WILL NOT BE PLANTED FOR A PERIOD OF TIME GREATER THAN THREE DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH TO HELP PRESERVE ROOT MOISTURE. B. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WITHIN THE PLANTING SEASON WHEN

D. ALL LAWN AREAS ARE TO BE CUILTIVATED TO A DEPTH OF SIX INCHES (6"). ALL DEBRIS EXPOSED FROM

SECTION ABOVE. THE FOLLOWING SHALL BE TILLED INTO THE TOP FOLIR INCHES (4") IN TWO DIRECTIONS

E. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN CONDITIONS

I. 20 POUNDS 'GRO-POWER' OR APPROVED EQUAL SOIL CONDITIONER/FERTILIZER II. 20 POUNDS 'NITRO-FORM' (COURSE) 38-0-0 BLUE CHIP OR APPROVED NITROGEN FERTILIZER

EXCAVATION AND CULTIVATION SHALL BE DISPOSED OF IN ACCORDANCE WITH GENERAL WORK PROCEDURES

WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH ACCEPTED LOCAL PRACTICE. PLANTS SHALL NOT BE INSTALLED IN TOPSOIL THAT IS IN A MUDDY OR FROZEN CONDITION. C. ANY INJURED ROOTS OR BRANCHES SHALL BE PRUNED TO MAKE CLEAN-CUT ENDS PRIOR TO PLANTING UTILIZING

A. INSOFAR THAT IT IS FEASIBLE, PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT

CLEAN, SHARP TOOLS. ONLY INJURED OR DISEASED BRANCHING SHALL BE REMOVED. D. ALL PLANTING CONTAINERS, BASKETS AND NON-BIODEGRADABLE MATERIALS SHALL BE REMOVED FROM ROOT BALLS DURING PLANTING. NATURAL FIBER BURLAP MUST BE CUT FROM AROUND THE TRUNK OF THE TREE AND FOLDED DOWN AGAINST THE ROOT BALL PRIOR TO BACKFILLING.

E. POSITION TREES AND SHRUBS AT THEIR INTENDED LOCATIONS AS PER THE PLANS AND SECURE THE APPROVAL OF THE LANDSCAPE ARCHITECT PRIOR TO EXCAVATING PITS, MAKING NECESSARY ADJUSTMENTS AS DIRECTED. F. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY, THE PROPOSED LANDSCAPE, AS SHOWN ON THE APPROVED LANDSCAPE PLAN, MUST BE INSTALLED, INSPECTED AND APPROVED BY THE APPROVING AGENCY. THE APPROVING AGENCY SHALL TAKE INTO ACCOUNT SEASONAL CONSIDERATIONS IN THIS REGARD AS FOLLOWS. THE PLANTING OF TREES, SHRUBS, VINES OR GROUND COVER SHALL OCCUR ONLY DURING THE FOLLOWING PLANTING I. PLANTS: MARCH 15TH TO DECEMBER 15TH

II. LAWN AND SEED MIXES: MARCH 1ST TO MAY 15TH OR BETWEEN AUGUST 15TH AND OCTOBER 15TH PLANTINGS REQUIRED FOR A CERTIFICATE OF OCCUPANCY SHALL BE PROVIDED DURING THE NEXT APPROPRIATE SEASON AT THE MUNICIPALITY'S DISCRETION. CONTRACTOR SHOULD CONTACT APPROVING AGENCY FOR

G. FURTHERMORE, THE FOLLOWING TREE VARIETIES ARE UNUSUALLY SUSCEPTIBLE TO WINTER DAMAGE. WITH TRANSPLANT SHOCK AND THE SEASONAL LACK OF NITROGEN AVAILABILITY, THE RISK OF PLANT DEATH IS GREATLY INCREASED. IT IS NOT RECOMMENDED THAT THESE SPECIES BE PLANTED DURING THE FALL PLANTING SEASON: ACER RUBRUM PLATANUS X ACERIFOLIA
BETULA VARIETIES POPULUS VARIETIES CARPINUS VARIETIES PRUNUS VARIETIES

KOELREUTERIA QUERCUS VARIETIES IQUIDAMBAR STYRACIFI UA TILIA TOMENTOS LIRIODENDRON TULIPIFERA ZELKOVA VARIETIES

POTENTIAL SUBSTITUTIONS.

H. PLANTING PITS SHALL BE DUG WITH LEVEL OR CONVEX BOTTOMS, WITH THE WIDTH THREE TIMES THE DIAMETER OF ROOT BALL. THE ROOT BALL SHALL REST ON UNDISTURBED GRADE. EACH PLANT PIT SHALL BE BACKFILLED IN I. 1 PART PEAT MOSS

II. 1 PART COMPOSTED COW MANURE BY VOLUME
III. 3 PARTS TOPSOIL BY VOLUME IV 21 GRAMS 'AGRIFORM' PLANTING TABLETS (OR APPROVED EQUAL) AS FOLLOWS:

B) 3 TABLETS PER 5 GALLON PLANT

C) 4 TABLETS PER 15 GALLON PLANT
D) LARGER PLANTS: 2 TABLETS PER ½" CALIPER OF TRUNK

I. FILL PREPARED SOIL AROUND BALL OF PLANT HALF-WAY AND INSERT PLANT TABLETS. COMPLETE BACKFILL AND

J. ALL PLANTS SHALL BE PLANTED SO THAT THE TOP OF THE ROOT BALL, THE POINT AT WHICH THE ROOT FLARE

BEGINS, IS SET AT GROUND LEVEL AND IN THE CENTER OF THE PIT. NO SOIL IS TO BE PLACED DIRECTLY ON TOP OF

K. ALL PROPOSED TREES DIRECTLY ADJACENT TO WALKWAYS OR DRIVEWAYS SHALL BE PRUNED AND MAINTAINED TO A MINIMUM BRANCHING HEIGHT OF 7' FROM GRADE. NO PRUNING SHALL BE CONDUCTED WITHIN THE FIRST

L. GROUND COVER AREAS SHALL RECEIVE A 1/2" LAYER OF HUMUS RAKED INTO THE TOP 1" OF PREPARED SOIL PRIOR TO PLANTING. ALL GROUND COVER AREAS SHALL BE WEEDED AND TREATED WITH A PRE-EMERGENT CHEMICAL AS PER MANUFACTURER'S RECOMMENDATION. M. NO PLANT, EXCEPT GROUND COVERS, GRASSES OR VINES, SHALL BE PLANTED LESS THAN TWO FEET (2') FROM

N. ALL PLANTING AREAS AND PLANTING PITS SHALL BE MULCHED AS SPECIFIED HEREIN TO FILL THE ENTIRE BED AREA OR SAUCER. NO MULCH IS TO TOUCH THE TRUNK OF THE TREE OR SHRUB.

O. ALL PLANTING AREAS SHALL BE WATERED IMMEDIATELY UPON INSTALLATION IN ACCORDANCE WITH THE WATERING SPECIFICATIONS AS LISTED HEREIN. 10. TRANSPLANTING (WHEN REQUIRED)
A. ALL TRANSPLANTS SHALL BE DUG WITH INTACT ROOT BALLS CAPABLE OF SUSTAINING THE PLANT. (SEE

B. IF PLANTS ARE TO BE STOCKPILED BEFORE REPLANTING, THEY SHALL BE HEALED IN WITH MULCH OR SOIL, ADEQUATELY WATERED AND PROTECTED FROM EXTREME HEAT, SUN AND WIND.

C. PLANTS SHALL NOT BE DUG FOR TRANSPLANTING BETWEEN APRIL 10TH AND JUNE 30TH. D. UPON REPLANTING, BACKFILL SOIL SHALL BE AMENDED WITH FERTILIZER AND ROOT GROWTH HORMONE. E. TRANSPLANTS SHALL BE GUARANTEED FOR THE LENGTH OF THE GUARANTEE PERIOD SPECIFIED HEREIN

F. IF TRANSPLANTS DIE, SHRUBS AND TREES LESS THAN SIX INCHES (6") DBH SHALL BE REPLACED IN KIND. TREES GREATER THAN SIX INCHES (6") DBH MAY BE REQUIRED TO BE REPLACED IN ACCORDANCE WITH THE MUNICIPALITY'S TREE REPLACEMENT GUIDELINES.

11. WATERING

A. NEW PLANTINGS OR LAWN AREAS SHALL BE ADEQUATELY IRRIGATED BEGINNING IMMEDIATELY AFTER PLANTING. WATER SHALL BE APPLIED TO EACH TREE AND SHRUB IN SUCH MANNER AS NOT TO DISTURB BACKFILL AND TO THE EXTENT THAT ALL MATERIALS IN THE PLANTING HOLE ARE THOROUGHLY SATURATED. WATERING SHALL CONTINUE

B. SITE OWNER SHALL PROVIDE WATER IF AVAILABLE ON SITE AT TIME OF PLANTING. IF WATER IS NOT AVAILABLE ON SITE, CONTRACTOR SHALL SUPPLY ALL NECESSARY WATER. THE USE OF WATERING BAGS IS RECOMMENDED FOR ALL NEWLY PLANTED TREES.

C. IF AN IRRIGATION SYSTEM HAS BEEN INSTALLED ON THE SITE. IT SHALL BE USED TO WATER PROPOSED PLANT MATERIAL, BUT ANY FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE CONTRACTOR'S RESPONSIBILITY OF MAINTAINING THE DESIRED MOISTURE LEVEL FOR VIGOROUS, HEALTHY GROWTH.

A. THE CONTRACTOR SHALL GUARANTEE ALL PLANTS FOR A PERIOD OF ONE (1) YEAR FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE APPROVING AGENCY. CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND FOR TEN PERCENT (10%) OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE GUARANTEE PERIOD AND WHEN A FINAL INSPECTION HAS BEEN COMPLETED AND APPROVED BY THE OWNER OR AUTHORIZED REPRESENTATIVE.

B. ANY DEAD OR DYING PLANT MATERIAL SHALL BE REPLACED FOR THE LENGTH OF THE GUARANTEE PERIOD. REPLACEMENT OF PLANT MATERIAL SHALL BE CONDUCTED AT THE FIRST SUCCEEDING PLANTING SEASON. ANY DEBRIS SHALL BE DISPOSED OF OFF-SITE, WITHOUT EXCEPTION. A PLANT SHALL BE CONSIDERED "DEAD OR DYING" IF MORE THAN 30% OF ITS BRANCHES ARE DEAD.

C. TREES AND SHRUBS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND UNTIL TURNOVER TO THE OWNER/OPERATOR. CUILTIVATION, WEEDING, WATERING AND THE PREVENTATIVE TREATMENTS SHALL BE PERFORMED AS NECESSARY TO KEEP PLANT MATERIAL IN GOOD CONDITION AND FREE OF INSECTS AND DISEASE. D. LAWNS SHALL BE MAINTAINED BY THE CONTRACTOR DURING CONSTRUCTION AND UNTIL TURNOVER TO THE OWNER/OPERATOR THROUGH WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING AND OTHER OPERATIONS SUCH AS ROLLING, REGARDING AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN,

A. UPON THE COMPLETION OF ALL LANDSCAPE INSTALLATION AND BEFORE THE FINAL ACCEPTANCE, THE CONTRACTOR SHALL REMOVE ALL UNUSED MATERIALS, EQUIPMENT AND DEBRIS FROM THE SITE. ALL PAVED B. THE SITE SHALL BE CLEANED AND LEFT IN A NEAT AND ACCEPTABLE CONDITION AS APPROVED BY THE OWNER

TOWNSHIP

EDGEWATER PARK

CAD FILE: PY170090 LND-1

TAX MAP SHEET 5 - BLOCK 502 - LOT 13.02

PLAN SCALE: AS NOTED

STREET ADDRESS

4295 US ROUTE 130

COUNTY

BURLINGTON

G (\bigcirc) PRELIMINARY / FINAL MAJOR SITE PLANS STATE STATUS DATE

BOHLER/ 74 W BROAD STREET, SUITE 500 BETHLEHEM, PA 18018 Phone:(610) 709-9971 Fax: (610) 709-9976 www.BohlerEngineering.com

> SITE CIVIL AND CONSULTING ENGINEERING LAND SURVEYING PROGRAM MANAGEMENT LANDSCAPE ARCHITECTURE SUSTAINABLE DESIGN PERMITTING SERVICES

TRANSPORTATION SERVICES HE INFORMATION, DESIGN AND CONTENT OF THIS PLAN ARE PROPRIETARY AND SHALL NOT BE COPIED OR USED FOR ANY PURPOSE WITHOUT PRIOR WRITTEN AUTHORIZATION FROM BOHLER. ONLY APPROVED, SIGNED AND SEALED PLANS SHALL BE UTILIZED FOR CONSTRUCTION PURPOSES © BOHLER



YOU MUST CALL 811 BEFORE ANY EXCAVATION WHETHER IT'S ON PRIVATE OR PUBLIC LAND.

D.T. NORTH

LICENCED LANDSCAPE ARCHITECT REGIONAL DWG. NO NEW JERSEY LICENSE No. 21AS00106300

LC #29-0019

PLAN DESCRIPTION LANDSCAPE **DETAILS**

C-702

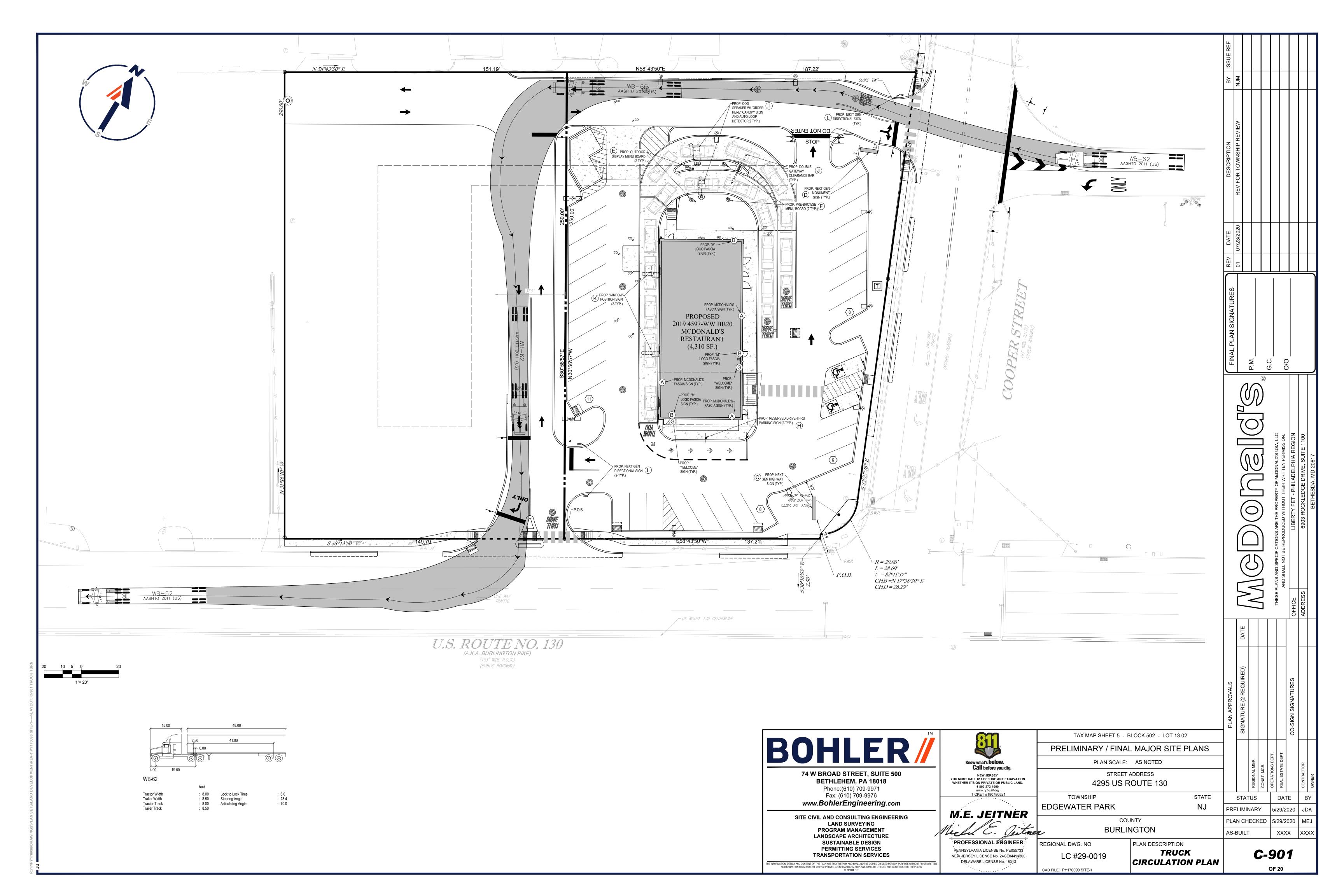
PLAN CHECKED | 5/29/2020 | MEJ

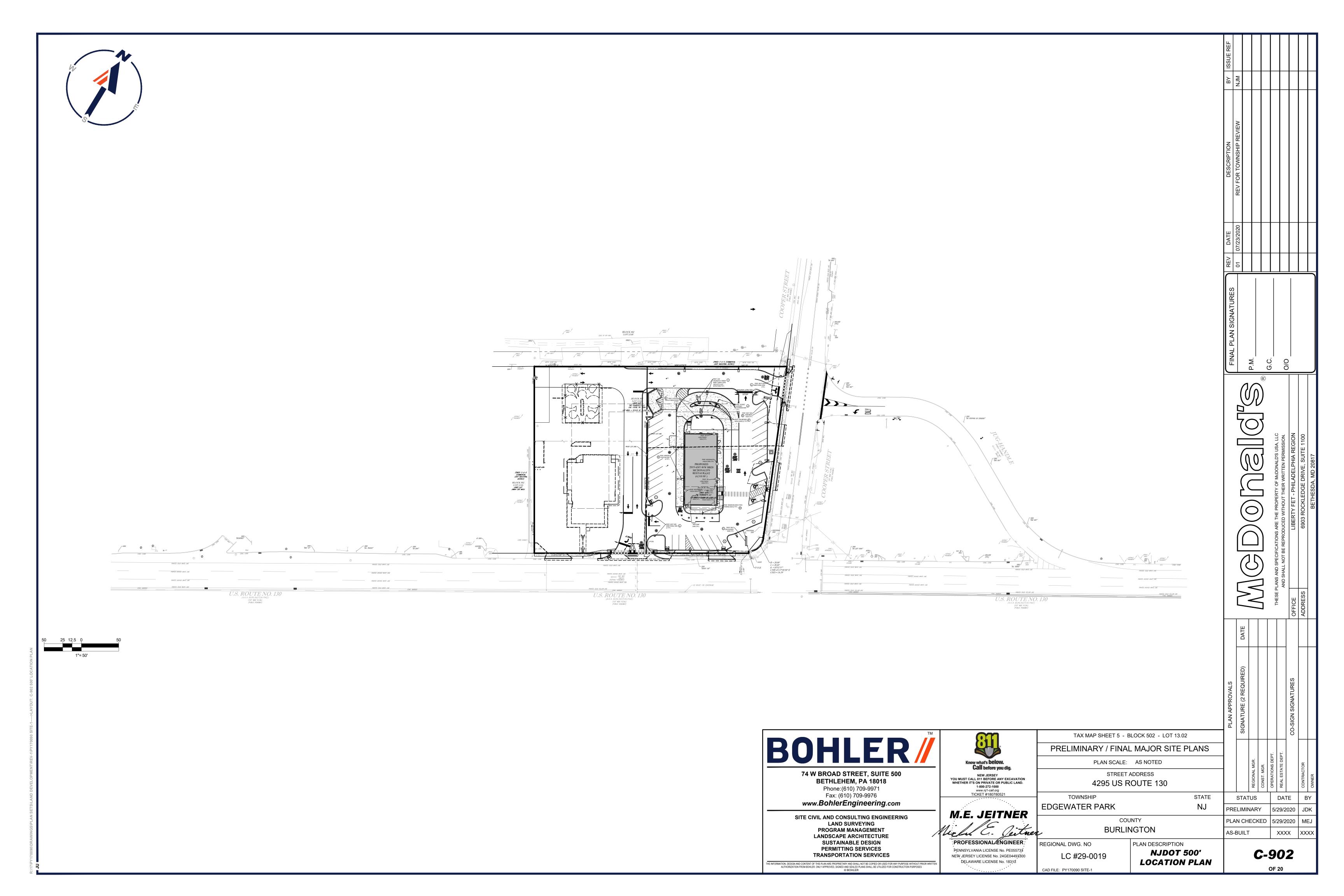
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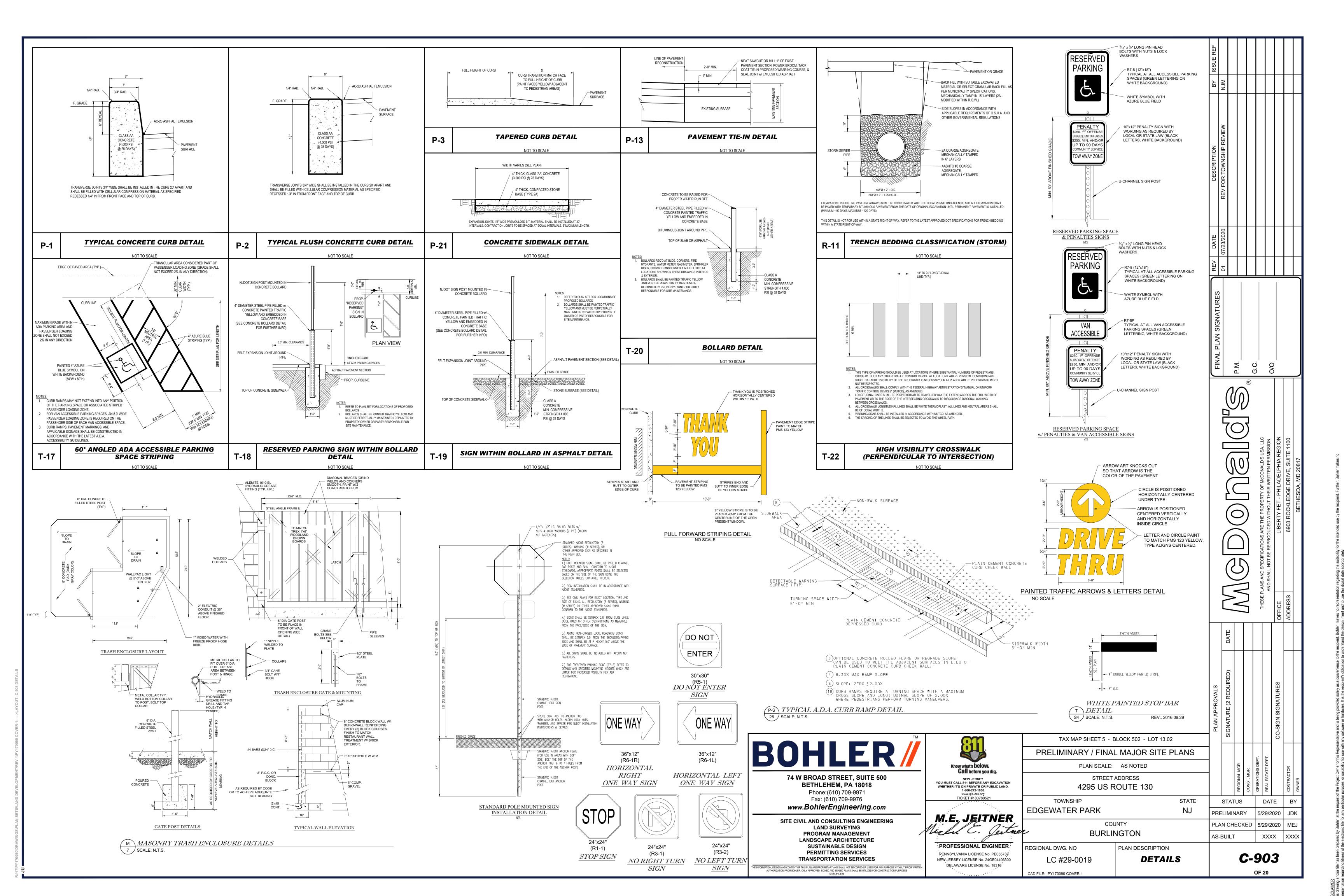
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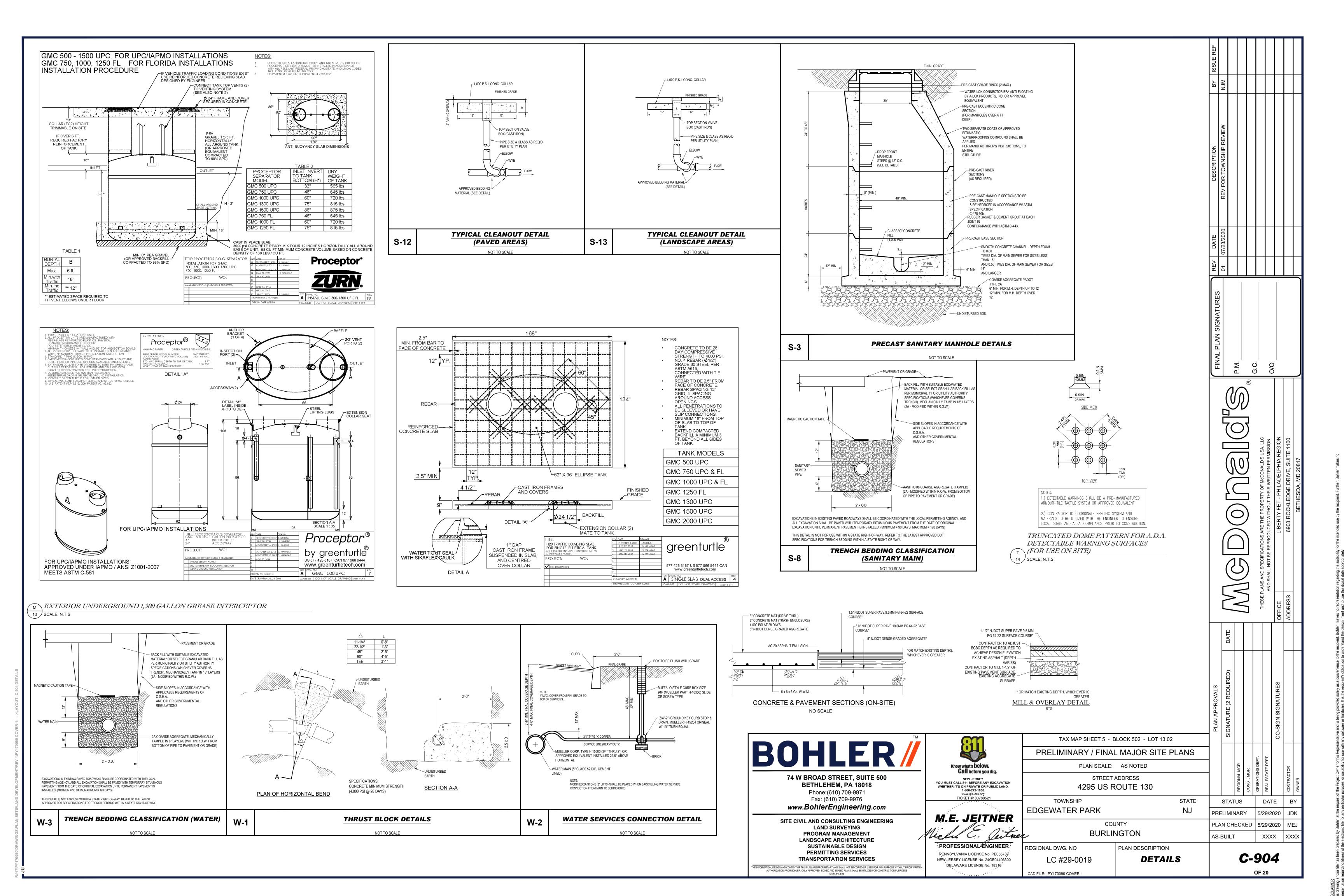
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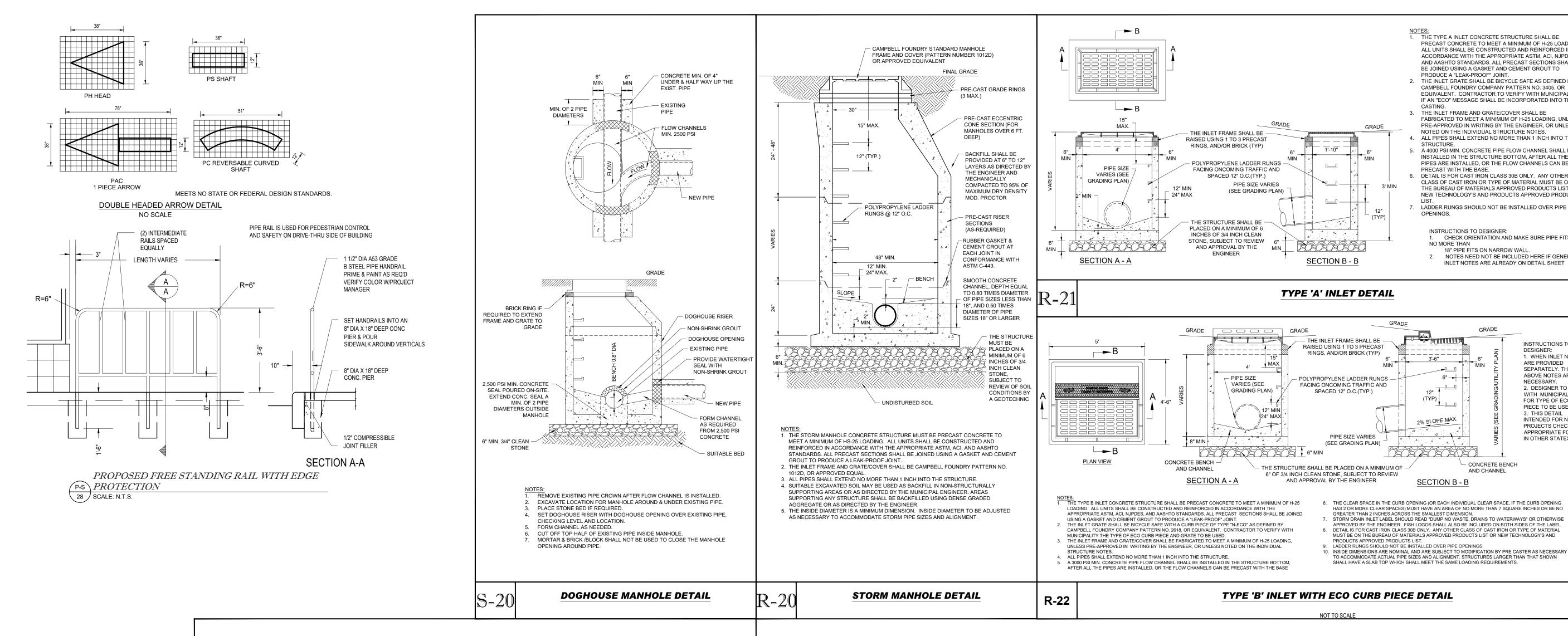
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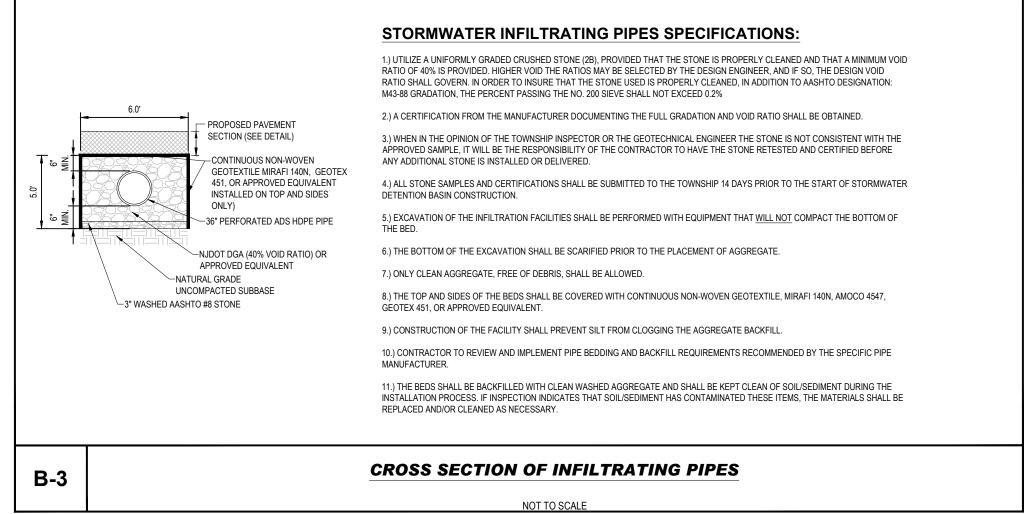


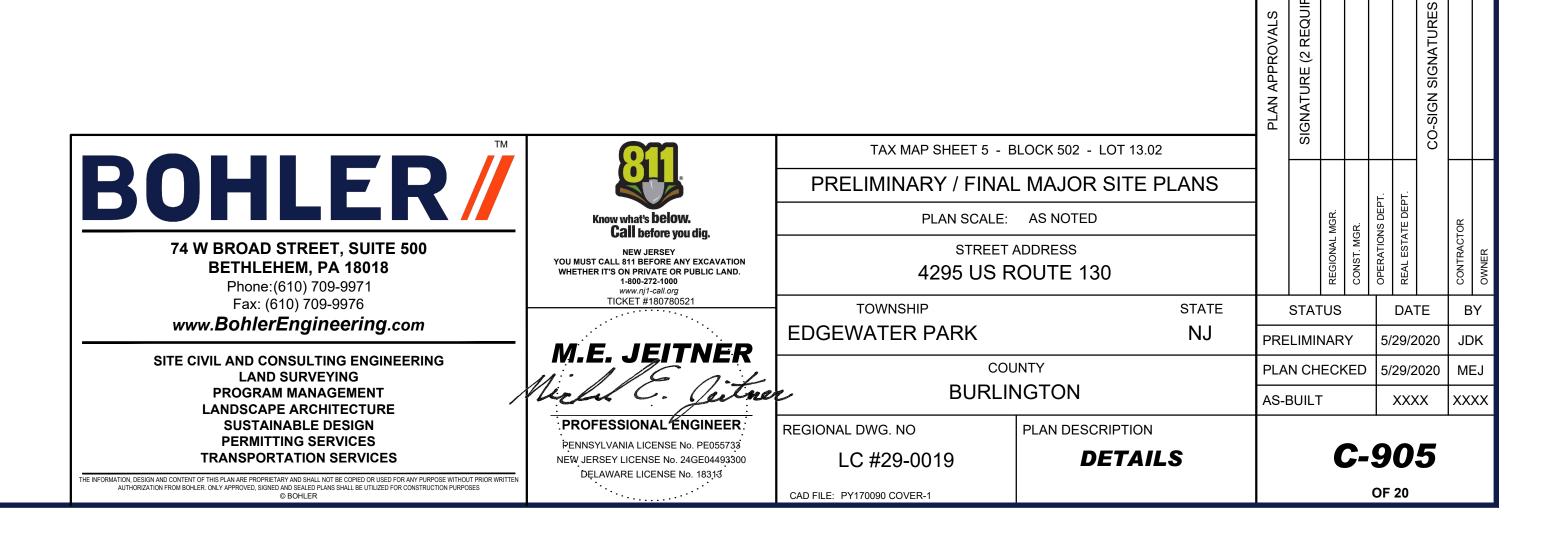












THE TYPE A INLET CONCRETE STRUCTURE SHALL BE PRECAST CONCRETE TO MEET A MINIMUM OF H-25 LOADING.

PRODUCE A "LEAK-PROOF" JOINT.

STRUCTURE.

OPENINGS.

PIPE SIZE VARIES

PRECAST WITH THE BASE.

INSTRUCTIONS TO DESIGNER:

ALL UNITS SHALL BE CONSTRUCTED AND REINFORCED IN

AND AASHTO STANDARDS. ALL PRECAST SECTIONS SHALL BE JOINED USING A GASKET AND CEMENT GROUT TO

THE INLET GRATE SHALL BE BICYCLE SAFE AS DEFINED BY

EQUIVALENT. CONTRACTOR TO VERIFY WITH MUNICIPALITY

IF AN "ECO" MESSAGE SHALL BE INCORPORATED INTO THE

FABRICATED TO MEET A MINIMUM OF H-25 LOADING, UNLESS

PRE-APPROVED IN WRITING BY THE ENGINEER, OR UNLESS

ALL PIPES SHALL EXTEND NO MORE THAN 1 INCH INTO THE

A 4000 PSI MIN. CONCRETE PIPE FLOW CHANNEL SHALL BE

INSTALLED IN THE STRUCTURE BOTTOM, AFTER ALL THE

PIPES ARE INSTALLED, OR THE FLOW CHANNELS CAN BE

DETAIL IS FOR CAST IRON CLASS 30B ONLY. ANY OTHER

LADDER RUNGS SHOULD NOT BE INSTALLED OVER PIPE

18" PIPE FITS ON NARROW WALL.

CONCRETE BENCH

HAS 2 OR MORE CLEAR SPACES) MUST HAVE AN AREA OF NO MORE THAN 7 SQUARE INCHES OR BE NO GREATER THAN 2 INCHES ACROSS THE SMALLEST DIMENSION.
STORM DRAIN INLET LABEL SHOULD READ "DUMP NO WASTE, DRAINS TO WATERWAYS" OR OTHERWISE

MUST BE ON THE BUREAU OF MATERIALS APPROVED PRODUCTS LIST OR NEW TECHNOLOGY'S AND PRODUCTS APPROVED PRODUCTS LIST.

SHALL HAVE A SLAB TOP WHICH SHALL MEET THE SAME LOADING REQUIREMENTS.

TO ACCOMMODATE ACTUAL PIPE SIZES AND ALIGNMENT. STRUCTURES LARGER THAN THAT SHOWN

LADDER RUNGS SHOULD NOT BE INSTALLED OVER PIPE OPENINGS.

CLASS OF CAST IRON OR TYPE OF MATERIAL MUST BE ON

THE BUREAU OF MATERIALS APPROVED PRODUCTS LIST OR

NEW TECHNOLOGY'S AND PRODUCTS APPROVED PRODUCTS

CHECK ORIENTATION AND MAKE SURE PIPE FITS,

INSTRUCTIONS TO

SEPARATELY. THE

ARE PROVIDED

NECESSARY.

1. WHEN INLET NOTES

ABOVE NOTES ARE NOT

2. DESIGNER TO CHECK

FOR TYPE OF ECO CURB

APPROPRIATE FOR USE

IN OTHER STATES.

WITH MUNICIPALITY

PIECE TO BE USED.

3. THIS DETAIL INTENDED FOR NJ PROJECTS CHECK IF

DESIGNER:

NOTES NEED NOT BE INCLUDED HERE IF GENERAL INLET NOTES ARE ALREADY ON DETAIL SHEET

CAMPBELL FOUNDRY COMPANY PATTERN NO. 3405, OR

THE INLET FRAME AND GRATE/COVER SHALL BE

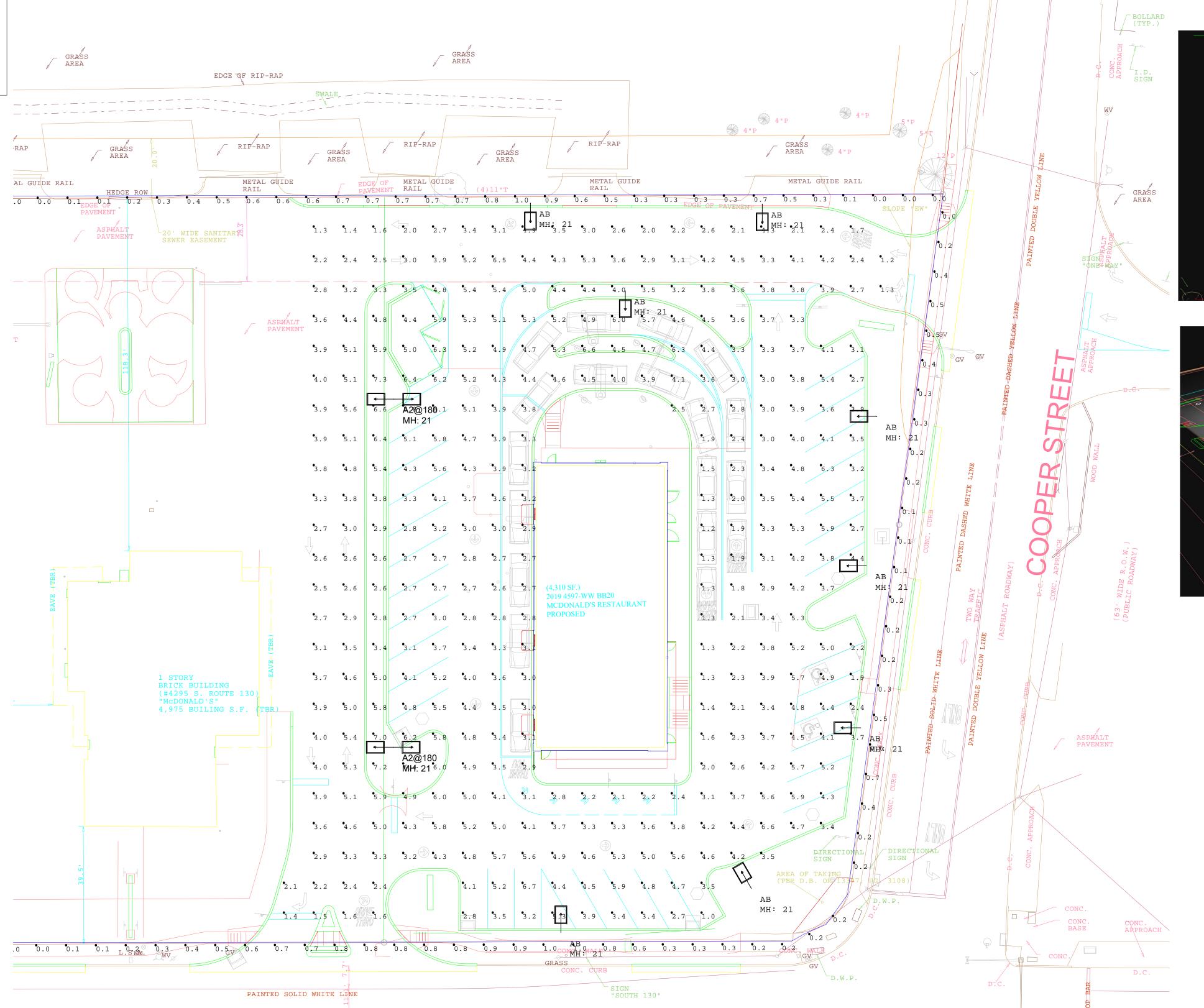
NOTED ON THE INDIVIDUAL STRUCTURE NOTES

ACCORDANCE WITH THE APPROPRIATE ASTM. ACI. NJPDES.



THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA, ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.

2. DISTANCE BETWEEN READINGS _____10'



Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
PAVED SURFACE READINGS	Illuminance	Fc	3.82	7.3	1.0	3.82	7.30
PROPERTY LINE READINGS	Illuminance	Fc	0.31	1.0	0.0	N.A.	N.A.

U.S. ROUTE NO. 130

(A.K.A. BURLINGTON PIKE)

PAINTED DASHED WHITE LINE

PAINTED DASHED WHITE LINE

← ONE WAY →

PAINTED SOLID YELLOW LINE

TRAFFIC (ASPHALT ROADWAY)

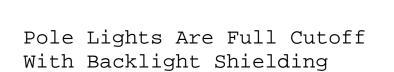
** - SPECIFY COLOR

Luminaire Schedule									
Symbol	Qty	Label	Arrangement	LLF	Description	Lum. Watts	EPA	Mtg Height	Pole Type
-	8	AB	SINGLE	0.900	VPL-96L-280-5K7-4W-BC	276.7	1.2	21	SES-18-40-1-GL-TA-xx (4")
→	2	A2@180	BACK-BACK	0.900	VP-L-96L-280-5K7-4W-TWIN	280	2.4	21	SES-18-40-1-GL-TA-xx (4")

* PROJECT WIND LOAD CRITERIA BASED ON: ASCE 7-10 WIND SPEEDS (3-SEC PEAK GUST MPH) 50 YEAR MEAN RECURRENCE INTERVAL

Allowed EPA 7.2 @ Wind Load 90MPH

THIS DRAWING MEETS OR EXCEEDS McDONALDS CURRENT ILLUMINATION SPECIFICATIONS OF A 3-4 FOOTCANDLE AVERAGE, UNLESS SUPERSEDED BY OTHER REQUIREMENTS.



Regional Drawing # 29-0019

1. THIS LIGHTING DESIGN IS BASED ON INFORMATION SUPPLIED BY OTHERS TO SECURITY LIGHTING SYSTEMS. SITE DETAILS PROVIDED HEREON ARE REPRODUCED ONLY AS A VISUALIZATION AID. FIELD DEVIATIONS MAY SIGNIFICANTLY AFFECT PREDICTED PERFORMANCE. PRIOR TO INSTALLATION, CRITICAL SITE INFORMATION (POLE LOCATIONS, ORIENTATION, MOUNTING HEIGHT, ETC.) SHOULD BE COORDINATED WITH THE CONTRACTOR AND/OR SPECIFIER RESPONSIBLE FOR THE PROJECT.

2. LUMINAIRE DATA IS TESTED TO INDUSTRY STANDARDS UNDER LABORATORY CONDITIONS. OPERATING VOLTAGE AND NORMAL MANUFACTURING TOLERANCES OF LAMP, BALLAST, AND LUMINAIRE MAY AFFECT FIELD RESULTS.

3. CONFORMANCE TO FACILITY CODE AND OTHER LOCAL REQUIREMENTS IS THE RESPONSIBILITY OF THE OWNER AND/OR THE OWNER'S REPRESENTATIVE.

4. THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO E COMPLIANT WITH TITLE 24 OR OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.



2100 Golf Road, Suite 460, Rolling Meadows, IL 60008 1-800-544-4848

unless otherwise specified, all dimensions are in inches 1"=20"0"

POINT-BY-POINT FOOTCANDLE PLOT FOR

MCDONALDS

4295 US ROUTE 130

EDGEWATER PARK, NJ

NATIONAL STORE NUMBER

00573

DATE DRAWING NUMBER 4/4/2020 SL2004004-Rev1.AGI