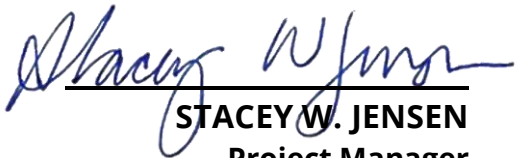


**TRAFFIC STATEMENT**  
**for**  
**MCDONALD'S USA, LLC**

**Proposed McDonald's with Drive-Thru**  
**Block 502; Lots 13.02 & 13.03**  
**4295 & 4299 US Route 130 Southbound (MP 42.77)**  
**Township of Edgewater Park**  
**Burlington County, New Jersey**



**JOHN R. HARTER**  
Professional Engineer  
N.J. License No. 41033



**STACEY W. JENSEN**  
Project Manager

N.J. P.E. Cert. of Authorization No. 24GA27957900

July 15, 2020

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Atlantic Traffic & Design Engineering, LLC (ATDE) has prepared this Traffic Statement to examine a McDonald's restaurant with "side-by-side" drive-thru proposed along southbound US Route 130 in the Township of Edgewater Park, Burlington County, New Jersey. The site is located at the southwest corner of the intersection of US Route 130 and Cooper Street (CR 624), as shown in **Figure 1** in the **Appendix**.

**CURRENT CONDITION**

The subject property (existing Lot 13.03) for the proposed McDonald's was previously occupied by a Shell gas station that has been removed. An existing 4,975 square foot McDonald's restaurant with a "traditional" drive-thru is located on the existing adjacent Lot 13.02 to the south and would be removed under the development proposal. A USS Car Wash is located to the south of the subject property and is interconnected with the existing McDonald's restaurant on the existing Lot 13.02.

Access to the former Shell gas station on the existing Lot 13.03 is currently provided via 2 curb cuts along southbound US Route 130 and alternative access is provided via 1 curb cut along eastbound Cooper Street (CR 624). Access to the existing McDonald's restaurant on the existing Lot 13.02 is provided via 1 ingress-only and 1 egress-only driveway along southbound US Route 130 and alternative access is provided via 1 full-movement driveway along eastbound Cooper Street (CR 624).

**PROPOSED CONDITION**

Under the development proposal, the existing Lots 13.02 and 13.03 will be consolidated and subdivided vertically within the vicinity of the northern edge of the proposed US Route 130 driveway. The existing 4,975 square foot McDonald's restaurant will be removed from the proposed Lot 13.02 to the south and a 4,310 square foot, 58-seat McDonald's restaurant with "side-by-side" drive-thru will be constructed on the proposed Lot 13.03 to the north. Access along southbound US Route 130 to the property will be consolidated

and provided via 1 right-in/right-out driveway along southbound US Route 130 and 1 full-movement driveway along eastbound Cooper Street (CR 624). The site access will serve the proposed McDonald's restaurant on the proposed Lot 13.03 and a future development on the proposed Lot 13.02. The application proposes to modify the existing lot lines to accommodate the area for new McDonald's restaurant.

#### **SCOPE OF STUDY**

This study has been performed calculate the site traffic associated with the construction of the McDonald's restaurant with "side-by-side" drive-thru. Accordingly, this Traffic Statement includes the following:

- A review of existing roadway conditions in the vicinity of the site, including roadway geometrics;
- Projection of expected traffic volume to be generated by the proposed McDonald's restaurant with "side-by-side" drive-thru; and
- An evaluation of the site access design, on-site circulation and parking supply.

## EXISTING TRAFFIC CONDITIONS

### SUBJECT PROPERTY

The subject property is located along southbound US Route 130 at the southwest corner of the intersection of US Route 130 and Cooper Street (CR 624) in the Township of Edgewater Park, Burlington County, New Jersey. The subject property has the following characteristics:

- › Located in the C-LI-5 (Commercial Light Industrial District) Zone, where fast food restaurants are not a permitted use and is an existing nonconformity.
- › The site was previously occupied by a Shell gas station on the existing Lot 13.03 and the site is currently occupied by a 4,975 square foot McDonald's restaurant on the existing Lot 13.02.
- › Land uses in the site vicinity of the site are predominately commercial in nature along the US Route 130 corridor.

### ROADWAY NETWORK

The subject property has frontage along southbound US Route 130 and eastbound Cooper Street (CR 624). The following is a description of the adjacent roadway network:

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#### US Route 130

- › Classified as an Urban Principal Arterial under New Jersey Department of Transportation (NJDOT) jurisdiction.
- › Provides an Average Annual Daily Traffic (AADT) of approximately 41,800 vehicles according to 2016 NJDOT data.
- › Designated as a north/south roadway.
- › Provides 3 travel lanes and an 8-foot shoulder to accommodate each direction of travel along the site frontage separated by concrete median.
- › The posted speed limit is 50 miles per hour in the vicinity of the subject property.

- › Sidewalks are provided along the site frontage.

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#### Cooper Street (CR 624)

- › Classified as an Urban Major Collector under Burlington County jurisdiction.
- › Provides an AADT of approximately 8,900 vehicles according to 2017 NJDOT data.
- › Designated as an east/west roadway.
- › Provides 1 travel lane to accommodate each direction of travel and turn lanes provided at key signalized intersections.
- › The posted speed limit is 40 miles per hour in the vicinity of the subject property.
- › Sidewalks are provided along the site frontage.

## PROPOSED DEVELOPMENT TRAFFIC CHARACTERISTICS

### TRIP GENERATION

The next step in the analysis procedure is to project the future traffic volume generated as a result of the proposed McDonald’s restaurant with “side-by-side” drive-thru. For analysis purposes, complete project approval, construction and occupancy are assumed to occur within 2 years.

Traffic projections for the proposed development have been prepared using rates published by the NJDOT Highway Access Permit System (HAPS). **Table I** summarizes the HAPS trip generation projections for the existing 4,975 square foot McDonald’s restaurant and the proposed 4,310 square foot McDonald’s restaurant with “side-by-side” drive-thru, specifically utilizing Land Use Code 934: “Fast Food Restaurant with Drive Through Window.” The HAPS trip generation summary printouts are contained in the **Appendix**.

**Table I**  
**NJDOT HAPS Trip Generation**  
**Existing 4,975 SF McDonald's Restaurant vs. Proposed 4,310 SF McDonald's Restaurant**

Peak Hour	Weekday Morning			Weekday Evening			Saturday Midday		
	Enter	Exit	Total	Enter	Exit	Total	Enter	Exit	Total
Existing McDonald's	132	122	254	130	126	256	140	134	274
Proposed McDonald's	114	106	220	113	108	221	121	117	238
Difference	-18	-16	-34	-17	-18	-35	-19	-17	-36

Based on the HAPS trip generation projections, the proposed McDonald’s restaurant with “side-by-side” drive-thru would not create a significant increase in traffic along the adjacent roadway network during any of the critical peak hours. The projected trip generation translates to a reduction of approximately 1 vehicle every 2 minutes entering and exiting the site during the critical peak hours. This demonstrates the minimal traffic impact the McDonald’s with drive-thru is anticipated to have on the adjacent roadway network.

An evaluation has been made of the Preliminary/Final Major Site Plan for the proposed McDonald's with "side-by-side" drive-thru prepared by Bohler, dated May 29, 2020. In particular, an evaluation has been made focusing on site access, on-site circulation, and parking supply. The following items summarize our review:

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### Site Access

- ▶ Access to the former Shell gas station on Lot 13.03 is currently provided via 2 curb cuts along southbound US Route 130 and alternative access is provided via 1 curb cut along eastbound Cooper Street (CR 624).
- ▶ Access to the existing McDonald's restaurant on Lot 13.02 is currently provided via 2 curb cuts along southbound US Route 130 and alternative access is provided via 1 curb cut along eastbound Cooper Street (CR 624).
- ▶ Under the proposed conditions, the site access will be significantly improved with the consolidation of 4 curb cuts along southbound US Route 130 to a single right-in/right-out driveway. Further, the 2 existing curb cuts along eastbound Cooper Street (CR 624) would be replaced with a single full-movement driveway. This access configuration is expected to provide adequate access to all areas of the proposed site.
- ▶ ATDE has submitted an Access applications to NJDOT for the proposed modified site access and lot lines.
- ▶ In addition to eliminating a curb cut along the Cooper Street (CR 624) site frontage, the side street access will be improved by shifting the access away from the US Route 130 signalized intersection and riding a better alignment with the opposing southbound US Route 130 jughandle. Given the limited width of westbound Cooper Street (CR 624) along the site frontage, a left turn restriction is proposed at the site driveway.

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## Parking

- The Township requires 1 parking stall per 3 restaurant seats plus 1 parking stall per 2 employees on the maximum shift, or 29 spaces, for the proposed McDonald's with drive-thru.
- A total of 33 parking spaces are proposed inclusive of 2 ADA accessible spaces which exceeds the Township requirement.
- The site will provide 9 feet by 18 feet deep parking stalls, which is in compliance with accepted engineering design standards.
- One-way circulation aisles are proposed to be a minimum of 18 feet in width which is in compliance with accepted engineering standards.
- A "side-by-side" drive-thru is proposed which would operate with 2 menu boards. This design would accommodate approximately 19 vehicles in queue without impacting site circulation.



In summary, it has been determined from a review of future site-generated traffic volumes that the proposed McDonald's restaurant with "side-by-side" drive-thru would not significantly impact traffic conditions in the vicinity of the subject property. Based on NJDOT trip generation, the proposed McDonald's restaurant is projected to generate a reduction of at least 34 trips during any of the critical peak hours.

The overall site access will be significantly improved with the reduction of the total number of driveways from 6 to 2. In the proposed condition a right-in/right-out driveway will be provided along southbound US Route 130 and alternative access is provided via 1 full-movement driveway along eastbound Cooper Street (CR 624). The side street site access will be relocated away from US Route 130 and will provide a better alignment with the opposing NJDOT jughandle. The proposed site circulation aisles and parking stall dimensions were found to be consistent with accepted traffic engineering standards, and the number of parking stalls exceed the Township requirements.



## Site Location Map

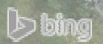
PROPOSED MCDONALD'S REDEVELOPMENT  
TOWNSHIP OF EDGEWATER PARK  
BURLINGTON COUNTY, NEW JERSEY

SITE LOCATION MAP



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## HAPS Trip Generation

LAND USE CODE	LAND USE DESCRIPTION	UNITS OF MEASURE (X)	AM PEAK HOUR *	PM PEAK HOUR *	WEEKDAY DAILY TRIPS *	WEEKEND PEAK HOUR *	WEEKEND DAILY TRIPS *
934	Fast Food Restaurant with Drive Through Window	SQ. FEET	x/1000*50.97	x/1000*51.36	x/1000*470.95	x/1000*55.15	x/1000*616.12
4,975	sq. feet	Less Trips	254	256	2,343	274	3,065
934	Fast Food Restaurant with Drive Through Window	SQ. FEET	x/1000*50.97	x/1000*51.36	x/1000*470.95	x/1000*55.15	x/1000*616.12
4,310	sq. feet	Added Trips	220	221	2,030	238	2,655
0%	Alternative Access	Trips:	-34	-35	-313	-36	-410
Permit:	NJDOT Minor	NJDOT Trips:	-34	-35	-313	-36	-410

These rates should be used in determining what type of NJDOT Access Permit is needed and any Traffic Analysis

These are the rates and equations that were being used by the HAPS program as of July 1, 2018 and they will be updated as new information is available.

LAND USE CODE	LAND USE DESCRIPTION	UNITS OF MEASURE (X)	AM PEAK HOUR *	PM PEAK HOUR *	WEEKDAY DAILY TRIPS *	WEEKEND PEAK HOUR *	WEEKEND DAILY TRIPS *
0	Vacant Lot	LOT	x*0	x*0	x*0	x*0	x*0
30	Intermodal Truck Terminal	SQ. FEET	x/1000*2.14	x/1000*2.02	x/1000*21.4	x/1000*2.02	x/1000*20.2
90	Park-and-Ride Lot with Bus or Light Rail Service	PRKG SPACES	0.71*(x)	0.44*(x)	x*2.81	0.71*(x)	x*2.81
110	General Light Industrial	SQ. FEET	x/1000*0.92	x/1000*0.83	x/1000*4.96	x/1000*0.69	x/1000*5.00
130	Industrial Park	SQ. FEET	x/1000*0.41	x/1000*0.40	x/1000*3.37	x/1000*0.44	x/1000*2.54
140	Manufacturing	SQ. FEET	0.61*(x/1000)+34.25	0.62*(x/1000)+29.00	3.16*(x/1000)+160.04	(x/1000)*0.94	(x/1000)*6.42
150	Warehousing	SQ. FEET	0.11*(x/1000)+30.07	0.15*(x/1000)+22.52	1.58*(x/1000)+45.54	(x/1000)*0.05	(x/1000)*0.15
151	Mini Warehouse	SQ. FEET	x/1000*0.20	x/1000*0.20	x/1000*1.51	x/1000*0.31	(x/1000)*1.95
154	High-Cube Transload and Short-Term Storage Warehouse	SQ. FEET	x/1000*0.12	x/1000*0.16	x/1000*1.40	x/1000*0.12	(x/1000)*0.94
155	High-Cube Fulfillment Center Warehouse	SQ. FEET	x/1000*0.59	x/1000*1.37	x/1000*8.18	x/1000*0.20	x/1000*8.18
156	High-Cube Parcel Hub Warehouse	SQ. FEET	x/1000*0.88	x/1000*0.71	x/1000*7.75	x/1000*0.88	x/1000*7.75
157	High-Cube Cold Storage Warehouse	SQ. FEET	0.11*(x/1000)	0.12*(x/1000)	2.12*(x/1000)	0.12*(x/1000)	2.12*(x/1000)
210	Single Family Detached Housing	UNITS	EXP(0.91*LN(x)+0.20)	EXP(0.94*LN(x)+0.34)	EXP(0.92*LN(x)+2.71)	0.84*x+17.99	EXP(0.94*LN(x)+2.56)
220	Multifamily Housing (Low-Rise)	UNITS	EXP(0.94*LN(x)-0.29)	0.66*x+1.41	(7.56*x-40.86)	0.70*x	8.14*x
221	Multifamily Housing (Mid-Rise)	UNITS	x*0.36	x*0.44	5.45*(x)-1.75	x*0.44	x*4.91
222	Multifamily Housing (High-Rise >10 Floor)	UNITS	0.31*x+12.91	0.35*x+15.40	3.94*x+211.81	0.31*x+24.03	4.08*x+185.69
225	Off-Campus Student Apartment	BEDROOMS	x*0.20	0.33*x-7.94	4.09*x-78.98	0.33*x-7.94	4.09*x-78.98
240	Mobile Home Park	UNITS	x*0.26	x*0.49	x*5.00	x*0.43	x*4.61
251	Senior Adult Housing -- Detached	UNITS	0.26*x+36.52	0.26*x+56.53	EXP(0.88*LN(x)+2.28)	0.23*x	2.73*x
252	Senior Adult Housing -- Attached	UNITS	0.20*x-0.18	0.36*x-4.50	4.02*x-25.37	0.35*x-1.67	3.97*x-60.09
253	Congregate Care Facility	UNITS	0.17*x-1.10	0.22*x-2.85	x*2.02	0.22*x-2.85	x*2.02
254	Assisted Living	BEDS	x*0.19	x*0.34	x*2.60	x*0.28	x*3.15
310	Hotel	ROOMS	0.50*x-5.34	0.75*x-26.02	11.29*x-426.97	0.69*x+4.32	9.62*x-294.56
311	All Suites Hotel	ROOMS	0.34*x	0.45*x-14.07	5.20*x-119.26	0.45*x-14.07	5.20*x-119.26
320	Motel	ROOMS	x*0.43	x*0.44	3.62(x)-29.43	x*0.44	3.62(x)-29.43
330	Resort Hotel	ROOMS	0.50*x-47.88	0.48*x+8.67	10*(0.48*x+8.67)	0.48*x+8.67	10*(0.48*x+8.67)
411	Public Park	ACRES	x*0.15	0.08*x+15.36	0.64*x+88.46	0.18*x+36.85	x*2.19
416	Campground/Recreational Vehicle Park	ACRES	x*0.52	x*1.06	x*10.6	x*1.06	x*10.6
420	Marina	BERTHS	x*0.12	x*0.21	x*2.41	x*0.31	x*3.49
430	Golf Course	HOLES	x*2.96	x*3.68	x*30.38	x*3.03	x*19.89
432	Golf Driving Range	TEES	x*1.02	x*1.65	x*13.65	x*1.32	x*17.68
437	Bowling Alley	SQ. FEET	x/1000*0.81	x/1000*1.16	x/1000*11.60	x/1000*1.16	x/1000*11.60
444	Movie Theater (# of Screens <=9)	SCREENS	x*9.5	x*37.83	x*220.00	x*102.87	x*546.86
445	Multiplex Movie Theater (# of Screens =>10)	SCREENS	x*9.5	x*25.84	x*292.50	x*65.07	x*292.50
465	Ice Skating Rink	SQ. FEET	(x/1000)*0.49	(x/1000)*1.33	(x/1000)*13.30	(x/1000)*2.63	(x/1000)*26.30
480	Amusement Park	ACRES	x*3.16	x*4.99	x*53.41	x*19.55	x*198.97
488	Soccer Complex	FIELDS	x*1.77	x*16.90	x*71.33	x*40.10	x*404.88
492	Health/Fitness Club	SQ. FEET	x/1000*1.40	x/1000*3.92	x/1000*39.20	x/1000*3.19	x/1000*31.90
493	Athletic Club	SQ. FEET	x/1000*3.40	x/1000*6.36	x/1000*63.60	x/1000*8.60	x/1000*86.00
495	Recreational Community Center	SQ. FEET	1.76*x/1000	2.31*x/1000	28.82*x/1000	1.48*x/1000	13.60*x/1000
520	Elementary School	STUDENTS	x*0.67	x*0.34	x*1.89	x*0.10	x*0.58
522	Middle School/Junior High School	STUDENTS	x*0.70	x*0.35	x*2.12	x*0.10	x*0.58

LAND USE CODE	LAND USE DESCRIPTION	UNITS OF MEASURE (X)	AM PEAK HOUR *	PM PEAK HOUR *	WEEKDAY DAILY TRIPS *	WEEKEND PEAK HOUR *	WEEKEND DAILY TRIPS *
530	High School	STUDENTS	x*0.55	x*0.33	x*2.03	x*0.10	x*0.58
534	Private School (K-8)	STUDENTS	0.88*x+14.85	0.63*x-1.93	x*4.11	x*0.10	x*0.58
536	Private School (K-12)	STUDENTS	x*0.81	x*0.58	x*2.48	x*0.10	x*0.58
540	Junior/Community College	STUDENTS	x*0.12	x*0.13	x*1.15	x*0.05	x*0.42
550	University/College	STUDENTS	EXP(0.95*LN(x)-1.63)	EXP(0.97*LN(x)-1.69)	1.38*(x)+2108.83	EXP(0.97*LN(x)-1.69)	1.38*(x)+2108.83
560	Church	SQ. FEET	(x/1000)*0.65	(x/1000)*0.80	(x/1000)*6.95	(x/1000)*9.99	(x/1000)*27.63
561	Synagogue	SQ. FEET	(x/1000)*2.41	(x/1000)*2.92	(x/1000)*29.20	(x/1000)*7.83	(x/1000)*78.30
565	Day Care Center	SQ. FEET	(x/1000)*11.73	(x/1000)*11.82	(x/1000)*47.62	(x/1000)*1.75	(x/1000)*6.22
566	Cemetery	ACRES	x*1.23	x*1.26	4.65*(x)+70.83	x*2.63	x*13.94
590	Library	SQ. FEET	7.21*x/1000-14.35	8.48*x/1000+0.80	EXP(0.99*LN(x/1000)+4.28)	(x/1000)*12.60	(x/1000)*80.09
610	Hospital	SQ. FEET	0.74*(x/1000)+126.36	0.83*(x/1000)+118.28	10.72*(x/1000)	x/1000*4.85	x/1000*7.72
620	Nursing Home	BEDS	x*0.22	x*0.37	x*3.06	x*0.40	x*2.41
630	Clinic	SQ. FEET	x/1000*5.22	x/1000*4.64	x/1000*38.16	x/1000*5.22	x/1000*38.16
640	Animal Hospital/Veterinary Clinic	SQ. FEET	3.73*x/1000	3.83*x/1000	21.50*x/1000	3.83*x/1000	21.50*x/1000
710	General Office Building	SQ. FEET	EXP(0.88*LN(x/1000)+1.06)	1.10*(x/1000)+65.39	EXP(0.97*LN(x/1000)+2.50)	0.53*(x/1000)	2.21*(x/1000)
712	Small Office Building	SQ. FEET	(x/1000)*3.26	(x/1000)*3.73	(x/1000)*16.19	(x/1000)*0.40	(x/1000)*4.00
714	Corporate Headquarters Building	SQ. FEET	(x/1000)*1.46	(x/1000)*1.40	6.16*(x/1000)+462.50	(x/1000)*0.10	(x/1000)*10.00
720	Medical-Dental Office Building	SQ. FEET	3.43*(x/1000)+2.57	4.10*(x/1000)	34.80*(x/1000)	(x/1000)*3.10	x/1000*8.57
730	Government Office Building	SQ. FEET	x/1000*3.69	x/1000*3.19	x/1000*22.59	x/1000*3.69	x/1000*22.59
731	State Motor Vehicles Department	SQ. FEET	(x/1000)*8.86	(x/1000)*7.68	(x/1000)*11.21	(x/1000)*8.86	(x/1000)*11.21
732	United States Post Office	SQ. FEET	(x/1000)*12.38	(x/1000)*15.11	(x/1000)*103.94	(x/1000)*5.33	(x/1000)*43.83
760	Research and Development Center	SQ. FEET	x/1000*1.22	x/1000*1.11	10.23*(x/1000)+204.68	x/1000*0.24	x/1000*1.90
810	Tractor Supply Store	SQ. FEET	(x/1000)*1.40	(x/1000)*1.40	(x/1000)*14.00	(x/1000)*3.17	(x/1000)*31.70
812	Building Materials and Lumber Store	SQ. FEET	2.37*(x/1000)	2.77*(x/1000)	18.05*(x/1000)	EXP(0.95*LN(x/1000)+2.35)	36.74*(x/1000)+137.42
814	Variety Store	SQ. FEET	x/1000*4.52	x/1000*7.42	x/1000*63.47	x/1000*7.42	x/1000*63.47
815	Free-Standing Discount Store	SQ. FEET	x/1000*5.43	x/1000*5.33	x/1000*53.12	x/1000*7.87	x/1000*70.76
816	Hardware/Paint Store	SQ. FEET	1.07*(x/1000)+4.31	0.98*(x/1000)+2.27	9.94*(x/1000)-12.22	2.25*(x/1000)	22.50*(x/1000)
817	Nursery (Garden Center)	SQ. FEET	x/1000*8.0	x/1000*8.37	x/1000*68.10	x/1000*20.06	x/1000*133.31
818	Nursery (Wholesale)	SQ. FEET	(x/1000)*3.03	(x/1000)*5.18	(x/1000)*39.00	(x/1000)*5.70	(x/1000)*29.94
820	Shopping Center	SQ. FEET	(x/1000)*0.94	EXP(0.72*LN(x/1000)+3.02)	EXP(0.68*LN(x/1000)+5.57)	EXP(0.79*LN(x/1000)+2.79)	(x/1000)*46.12
823	Factory Outlet Center	SQ. FEET	2.06*x/1000	2.29*x/1000	26.59*x/1000	3.79*x/1000	40.97*x/1000
843	Automobile Parts Sales	SQ. FEET	4.41*x/1000	5.83*x/1000	55.34*x/1000	11.53*x/1000	115.30*x/1000
848	Tire Store	SQ. FEET	(x/1000)*3.73	(x/1000)*3.98	(x/1000)*28.52	(x/1000)*5.05	(x/1000)*50.50
850	Supermarket	SQ. FEET	x/1000*6.67	x/1000*9.24	x/1000*106.78	x/1000*18.94	x/1000*177.62
851	Convenience Market	SQ. FEET	x/1000*68.83	x/1000*53.51	x/1000*762.28	x/1000*79.12	x/1000*1084.17
853	Convenience Market With Gas Pumps(<3000 SF)	SQ. FEET	x/1000*42.19	x/1000*49.59	x/1000*624.20	x/1000*49.59	x/1000*624.20
854	Discount Supermarket	SQ. FEET	8.06*(x/1000)-162.88	EXP(0.89*LN(x/1000)+2.59)	(x/1000)*90.87	EXP(0.78*LN(x/1000)+3.21)	(x/1000)*111.86
857	Discount Club	SQ. FEET	(x/1000)*3.37	(x/1000)*4.61	(x/1000)*41.80	(x/1000)*6.37	(x/1000)*53.75
862	Home Improvement Superstore	SQ. FEET	(x/1000)*2.75	(x/1000)*3.29	(x/1000)*30.74	(x/1000)*7.05	(x/1000)*56.72
863	Electronics Superstore	SQ. FEET	7.02*(x/1000)-125.74	8.87*(x/1000)-162.71	84.01*(x/1000)-1576.41	(x/1000)*7.02	(x/1000)*55.12
864	Toy/Children's Superstore	SQ. FEET	(x/1000)*5.00	(x/1000)*5.00	(x/1000)*50.00	(x/1000)*5.53	(x/1000)*55.3
869	Discount Home Furnishing Superstore	SQ. FEET	x/1000*0.57	x/1000*1.57	x/1000*20.00	x/1000*3.40	x/1000*33.29
880	Pharmacy/Drugstore without Drive-Through Window	SQ. FEET	(x/1000)*7.71	(x/1000)*11.07	90.08*(x/1000)	(x/1000)*10.68	(x/1000)*106.80
881	Pharmacy/Drugstore with Drive-Through Window	SQ. FEET	(x/1000)*9.13	(x/1000)*11.32	(x/1000)*109.16	(x/1000)*8.75	(x/1000)*114.89
890	Furniture Store	SQ. FEET	(x/1000)*0.52	(x/1000)*0.70	(x/1000)*6.30	(x/1000)*1.29	(x/1000)*7.15
899	Liquor Store	SQ. FEET	4.14*(x/1000)+1.97	17.12*x/1000	x/1000*101.49	17.12*x/1000	x/1000*171.20
912	Drive-in Bank	WINDOWS	x*17.55	x*27.15	x*124.76	x*27.67	x*276.70
931	Quality Restaurant	SQ. FEET	x/1000*4.47	x/1000*8.28	x/1000*83.84	x/1000*10.68	x/1000*90.04
932	High Turnover (Sit-Down) Restaurant	SQ. FEET	x/1000*14.04	x/1000*17.41	x/1000*112.18	x/1000*18.46	x/1000*142.64
933	Fast Food Restaurant without Drive Through Window	SQ. FEET	x/1000*47.66	x/1000*48.70	x/1000*346.23	x/1000*54.60	x/1000*696.00
934	Fast Food Restaurant with Drive Through Window	SQ. FEET	x/1000*50.97	x/1000*51.36	x/1000*470.95	x/1000*55.15	x/1000*616.12