VERIZON 911 DEPARTMENT

1025 LAUREL OAK ROAD | NEPTUNE, NJ 07753

BARBARA WINWARD

789 WAYSIDE ROAD

FAX: 1-800-637-9137

UTILITY COMPANIES

NJ AMERICAN WATER

DONNA SHORT, GIS

VOORHEES, NJ 08043

EDGEWATER PARK

SEWERAGE AUTHORITY

1123 COOPER STREET

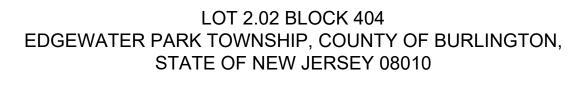
EDGEWATER PARK, NJ

COMPANY

SUPERVISOR

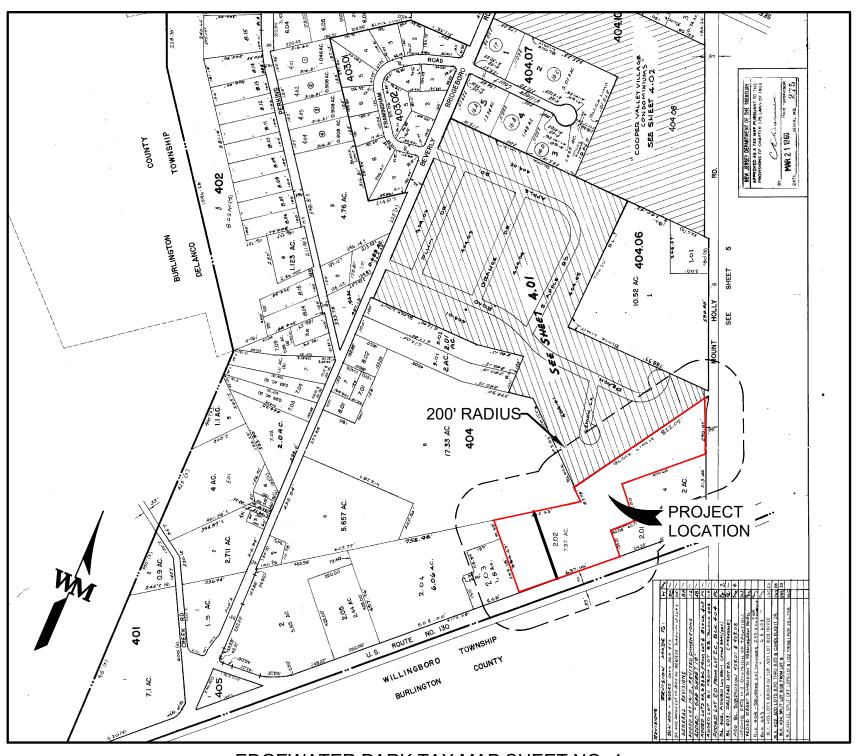
PRELIMINARY SITE PLAN APPLICATION

EDGEWATER PARK - SELF STORAGE DEVELOPMENT





VICINITY MAP



EDGEWATER PARK TAX MAP SHEET NO. 4

1" = 500'

βE	NERAL PROJECT NOTES:
	THE PROPERTY IS KNOWN AS BLOCK 404, LOT 2.02 AS SHOWN ON TAX MAP SHEET 4 OF THE EDGEWATER
	TOWNSHIP, BURLINGTON COUNTY, NEW JERSEY.

- 2. THE PROPERTY LIES IN THE HIGHWAY COMMERCIAL DISTRICT WITHIN THE TOWNSHIP OF EDGEWATER PARK.
- 3. STREET NAMES, RIGHT-OF-WAY WIDTHS, BLOCK AND LOT NUMBERS ARE SHOWN IN ACCORDANCE WITH THE TOWNSHIP TAX MAPS.
- 4. THE PROPERTY BOUNDARY, PLANIMETRIC, AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS REFERENCED FROM A PLAN ENTITLED "PLAN OF SURVEY – TAX LOT 404 BLOCK 2.02", DATED 12/26/2019. PREPARED BY STOUT & CALDWELL ENGINEERS, LLC.
- 5. THE PROJECT VERTICAL DATUM IS BASED UPON 1988 (NAVD 88) ESTABLISHED BY G.P.S.
- 6. THE PROJECT HORIZONTAL DATUM IS BASED UPON NORTH AMERICAN DATUM OF 1983 (NAD83). ESTABLISHED BY G.P.S.
- 7. THE SUBJECT PROPERTY IS LOCATED IN AN AREA DETERMINED TO BE IN THE FOLLOWING FLOOD ZONES: -ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS INDICATED ON THE FLOOD INSURANCE RATE MAP, BURLINGTON COUNTY, NEW JERSEY (ALL JURISDICTIONS). PANEL 116 OF 641, COMMUNITY PANEL NUMBER: 340096 0116 F, MAP NUMBER 34005C0116F, EFFECTIVE DATE: DECEMBER 21, 2017.

		WILLINGBRO 200 FT OWN	ER'S LIST	
вьоск	LOT	ADDRESS	OWNER	PSE&G COMPANY
12	1	4208 ROUTE 130	ACW CORP. T/A ARBY'S INC. PO BOX 38 YORKYN, DE 19736	80 PARK PLAZA NEWARK, NJ 08046 ATTN: GENERAL MANAGER PROPERTIES AND RISK MANAGEMENT
13	2.01	4154 ROUTE 130 & 4148	BURL CO BOARD OF CHOSEN FREEHOLDERS 49 RANCOCAS RD. MT HOLLY, NJ 08060	COMCAST CABLEVISION KEVIN SMITH, GENERAL MANAGER 21 BEVERLY-RANCOCAS
13	2.02	4202 ROUTE 130	CASEL PROPOERTIES, LLC C/O CASEL REALTY PO BOX 2100 WILLINGBORO, NJ 08046	RD. WILLINBRO, NJ 08046

BELANCO R-MF	
R-MF	
APPLE	
PEACH 200' RADIUS-	
PROJECT	
C-LI LOCATION	

EDGEWATER PARK TOWNSHIP ZONING MAP (DATED APRIL 2007) SCALE: 1" = 500'

1	C1.0	COVER SHEET
2	C1.1	ZONING COMPLIANCE & NOTES
3	C2.0	EXISTING CONDITIONS & DEMOLITION PLAN
4	C3.0	OVERALL SITE PLAN
5-6	C4.0-C4.1	SITE PLAN
7-8	C5.0-C5.1	GRADING & DRAINAGE PLAN
9-10	C6.0-C6.1	UTILITY PLAN
11	C7.0	SANITARY SEWER PLAN & PROFILE
12-13	C8.0-C8.1	LANDSCAPE PLAN
14	C8.2	LANDSCAPE DETAILS
15-16	C9.0-C9.1	LIGHTING PLAN
17	C9.2	LIGHTING DETAILS
18-19	C10.0-C10.1	SOIL EROSION CONTROL AND SEDIMENT PLAN
20	C10.2	SOIL EROSION CONTROL AND SEDIMENT NOTES AND DETAILS
21-24	C11.0 -C11.3	CONSTRUCTION DETAILS
25	C12.0	VEHICLE TURNING PLAN

HORIZONTAL DATUM

NORTH AMERICAN DATUM OF 1983 (NAD83). ESTABLISHED BY G.P.S.

THE PROJECT VERTICAL DATUM IS BASED UPON 1988 (NAVD 88) ESTABLISHED BY BENCHMARK 1 - IRON PIP ON US ROUTE 130 RIGHT-OF-WAY AND DIVISION LINE

ELEVATION =40.64

BENCHMARK 2 - CONCRETE MONUMENT ON NORTH PROPERTY CORNER OF LOT 17, BLOCK 404.01 ALONG THE MOUNT HOLLY ROAD RIGHT-OF-WAY ELEVATION =30.91

BETWEEN LOTS 2.02 AND 2.01.

WARE MALCOMB assumes no responsibility for utility locations. The utilities shown on this drawing have been plotted from the best available information. It is, however, the contractors responsibility to field verify the location of all utilities prior to the commencement of any construction.

PROJECT CONTACT LIST

1429E ROUTE 22 EAST,

TEANECK, NJ 07666

CIVIL ENGINEER

110 EDISON PLACE

WARE MALCOMB

SUITE 303

SUITE 303

ARCHITECT

WARE MALCOMB

110 EDISON PLACE

APPLICANT

MOUNTAINSIDE, NJ 07092

EDGEWATER PARK STORAGE, LLC

c/o TREETOP DEVELOPMENT THE GLENPOINTE CENTRE WEST 500 FRANK W. BURR BOULEVARD #47

NEWARK, NEW JERSEY 07102

NEWARK, NEW JERSEY 07102

00404

00404

00002 02

00002 03

00003

00404 01

00404 01

00404 01

00404 01

00013

00014

00404 01

00404 01

00404 01

00404 05

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00501

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00501

00003

00501 01

00001

00017

00016

00015

00012

00011

00002 01

4207 S ROUTE 130

4201 S ROUTE 130

4185 S ROUTE 130

4213 S ROUTE 130

1655 MT HOLLY RD

214 LEMON LANE

216 LEMON LANE

218 LEMON LANE

220 LEMON LANE

222 LEMON LANE

224 PEACH ROAD

226 PEACH ROAD

228 PEACH ROAD

217 PEACH ROAD

1502 MT HOLLY RD

1606 MT HOLLY RD

4225 S ROUTE 130

Requested By: Cole Schotz P.C.

EDGEWATER PARK CROSSING GROUP, LLC

(908) 451-5412

(973) 622-0073

(732) 986-9000

(732) 986-9000

GUNAYDIN, ERDAL

12 MONTCLAIR DR

725 FEDERAL AVE

3 FERGUSON CT

MARLTON, NJ 08053

892 RIVER ROAD

1655 MT HOLLY RD

BEHMKE, BRUCE

214 LEMON LANE

216 LEMON LANE

218 LEMON LANE

220 LEMON LANE

222 LEMON LANE

224 PEACH ROAD

226 PEACH ROAD

228 PEACH ROAD

217 PEACH ROAD

FLEX GYM, INC

1502 MT HOLLY RD

STATE OF NEW JERSEY

DOT 1035 PARKWAY AVE

PO BOX 460049 DEPT 501

TRENTON, NJ 08625

HOUSTON, TX 77056

EDGEWATER, NJ 08010

REDMOND, DONALD

AME INVESTMENT LLC

PISCATAWAY, NJ 08854

YOUNG, WAYNE J & SUSAN J

EDGEWATER PARK, NJ 08010

EDGEWATER PARK, NJ 08010

EDGEWATER PARK, NJ 08010

EDGEWATER PARK, NJ 08010

CONTRAVO, LOUIS J & SUSAN M

EDGEWATER PARK, NJ 08010

CARCANAGUE, JAMES T & AMANDA

MICHALSKI, EUGENE & MARYANN

EDGEWATER PARK, NJ 08010

TOTH FRANK S JR & JANET H

EDGEWATER PARK, NJ 08010

DEPEW HARRY A SR & BERNICE

EDGEWATER PARK, NJ 08010

EDGEWATER PARK, NJ 08010

EDGEWATER PARK, NJ 08010

ALDI INC % RYAN TAX COMP SERV LLC

MAY, DAVID T & KELLY M

EDMONDS, JEREMY A & ELIZABETH A

KENILWORTH, NJ 07033

AJC PROPERTY MANAGERS, LLC

EDGEWATER PARK CROSSING GROUP LLC

Phone (609) 877-2050 Fax (609) 877-2308

Township of Kogewater Park 400 Belanco Road

Edgewater Park, New Jersey 08010

200 Foot List 4201 Route 130, Block: 404 Lot: 2.02

CONSTRUCTION NOTES:

- THE TOWNSHIP ENGINEER'S OFFICE SHALL BE NOTIFIED AT LEAST 72 HOURS BEFORE THE START OF WORK ON ANY IMPROVEMENTS UNDER ITS JURISDICTION.
- 2. ALL MATERIALS, METHODS OF CONSTRUCTION AND CONSTRUCTION DETAILS SHALL CONFORM TO APPLICABLE STANDARDS OF LOCAL BOROUGH, COUNTY, STATE, MUNICIPAL UTILITIES AUTHORITY AND UTILITY COMPANIES. IN CASE OF CONFLICT, THE STANDARDS OF THE ADMINISTRATIVE AUTHORITY HAVING JURISDICTION THEREOF SHALL GOVERN. THE CONTRACTOR SHALL PROVIDE THE TOWNSHIP ENGINEER WITH SHOP DRAWINGS FOR ALL ITEMS UNDER HIS JURISDICTION FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
- 3. ALL DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS OF THE LOCAL SOIL CONSERVATION DISTRICT.
- 4. THESE PLANS REPRESENT THE OVERALL SITE WORK IMPROVEMENTS REQUIRED FOR PROJECT CONSTRUCTION. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITE WORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIVE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
- THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY AVAILABLE INFORMATION WHICH OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWING AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAKE ADDITIONAL TOPOGRAPHIC SURVEYS HE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OF OWNER'S ENGINEER.
- 6. ALL OPEN EXCAVATIONS SHALL CONFORM TO ALL APPLICABLE STANDARDS. TRENCH OPENINGS SHALL NOT REMAIN OPEN OVERNIGHT.
- 7. EXCAVATED MATERIAL USED FOR EMBANKMENTS SHALL CONFORM TO THE STANDARDS OF SECTION 203 OF THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
- 8. TO THE EXTENT PRACTICABLE, NO TOPSOIL SHALL BE REMOVED FROM THE SITE OR USED AS SPOIL. TOPSOIL STRIPPED AND STOCKPILED DURING THE COURSE OF CONSTRUCTION SHALL BE REDISTRIBUTED SO AS TO PROVIDE EQUAL COVER TO ALL AREAS OF THE SITE AND SHALL BE STABILIZED BY SEEDING OR PLANTING.
- 9. ALL TOPSOIL TO BE USED ON SITE SHALL BE TESTED FOR CONFORMANCE WITH THE LATEST BOROUGH STANDARDS AND NJDEP STANDARDS. THE STRICTER STANDARDS SHOULD APPLY. RESULTS SHALL BE FORWARDED TO THE BOROUGH ENGINEER FOR APPROVAL PRIOR TO PLACEMENT.
- 10. FILL MATERIAL SHALL BE PLACED IN SIX (6) INCH LIFTS AND THOROUGHLY COMPACTED IN ACCORDANCE WITH THE MOST CURRENT NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH THE OWNER'S GEOTECHNICAL ENGINEER AND INDEPENDENT TESTING AGENCY DURING CONSTRUCTION. REFER TO THE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
- 11. WHERE NEW PAVEMENT IS PROPOSED ADJACENT TO EXISTING PAVEMENT, THE EXISTING PAVEMENT SHALL BE CUT (1) FOOT FROM THE EDGE TO PROVIDE A NEAT LINE AGAINST WHICH TO PAVE.
- 12. ALL ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION AND OTHER PUBLIC UTILITY LINES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH UTILITY COMPANY DETAILS. MINIMUM HORIZONTAL CLEARANCE BETWEEN PUBLIC UTILITY LINES AND WATER OR SEWER MAINS SHALL BE THREE (3) FEET.
- 13. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITY AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILIZES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING TEST PITS AS REQUIRED BY THE DESIGN ENGINEER OR AS DEEMED NECESSARY TO ACCURATELY LOCATE, BOTH HORIZONTALLY AND VERTICALLY, ALL UTILITIES AFFECTED BY THE PROPOSED CONSTRUCTION.
- 14. DURING CONSTRUCTION, ALL EXISTING OVERHEAD AND UNDERGROUND UTILITY LINES MUST BE PROTECTED, MAINTAINED AND KEPT OPERATIONAL BY THE CONTRACTOR I ACCORDANCE WITH STANDARDS OF THE ADMINISTRATIVE AUTHORITY HAVING JURISDICTION THEREOF. THE CONTRACTOR SHALL SUPPORT UTILITY POLES LOCATED ADJACENT TO EXCAVATED AREAS UNTIL THE AREAS ARE BACKFILLED AND STABILIZED.
- 15. ALL CONCRETE USED SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,500 PSI, UNLESS OTHERWISE NOTED.
- 16. ALL STORM SEWER PIPING SHALL BE REINFORCED CONCRETE PIPE, CLASS III WITH BELL AND SPIGOT JOINTS UNLESS OTHERWISE NOTED. CIRCULAR REINFORCED CONCRETE PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF ASTM C76. ALL JOINTS ARE TO BE SEALED WITH EITHER RUBBER GASKETS OR BUTYL TAPE AND BE WRAPPED WITH MORTAR AND FABRIC ON THE OUTSIDE. IF RUBBER GASKETS ARE USED FOR CIRCULAR PIPE, THE JOINT DESIGN AND JOINT MATERIAL SHALL CONFORM TO ASTM C443. ALL 36-INCH AND LARGER PIPES SHALL HAVE THE INSIDE JOINTS MORTARED. MORTAR JOINTS SHALL CONFORM TO SECTIONS 601.03 AND 903.08 OF THE CURRENT NEW JERSEY DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION.

WHERE PROPOSED, CORRUGATED HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL HAVE A SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS IN ACCORDANCE WITH AASHTO M294-97. GASKETS FOR HDPE SHALL MEET THE REQUIREMENTS OF ASTM F477 WITH THE ADDITION THAT THE GASKETS SHALL NOT HAVE ANY VISIBLE CRACKING WHEN TESTED ACCORDING TO ASTM D1149 AFTER 72 HOURS OF EXPOSURE IN 50 PPHM OZONE AT 104 DEGREES FAHRENHEIT. INSTALLATION OF HDPE SHALL BE IN ACCORDANCE WITH ASTM D2321 WITH THE EXCEPTIONS THAT MINIMUM COVER IN TRAFFICKED AREAS SHALL BE ONE FOOT BELOW THE BOTTOM OF THE ASPHALT.

ALL INLETS IN CURBED AREAS SHALL BE TYPE "B" WITH WATER QUALITY TYPE SIX (6) INCH CURB PIECES. ALL INLETS SHALL BE PROVIDED WITH GRATES CLASSIFIED AS "BICYCLE SAFE". ALL CASTINGS SHALL BE OF AMERICAN MANUFACTURER.

17. ALL WATER MAIN PIPING SHALL BE DOUBLE CEMENT-LINED DUCTILE IRON PIPE CONFORMING TO ANSI A21.51 9AWWA C151) CLASS 52 WITH EITHER MECHANICAL OR PUSH-ON JOINTS, UNLESS OTHERWISE SPECIFIED. "MEG-A-LUG" RESTRAINT GLANDS (OR APPROVED EQUAL) MUST BE INSTALLED ON ALL FITTINGS HAVING MECHANICAL JOINTS

MINIMUM COVER OVER WATER MAINS AND WATER SERVICE PIPING SHALL BE FOUR (4) FEET.

THRUST BLOCKS SHALL BE INSTALLED AT ALL TEES, BENDS, PLUGS, REDUCERS, HYDRANT CONNECTIONS AND ANYWHERE ELSE REQUIRED BY THE LOCAL WATER COMPANY OR AGENCY HAVING JURISDICTION THEREOF. TIE RODS MUST BE INSTALLED WITH ALL FIRE HYDRANT ASSEMBLIES.

ALL WATER MAINS AND ASSOCIATED FITTINGS MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL WATER COMPANY OR AGENCY HAVING JURISDICTION THEREOF.

- 18. ALL GRAVITY SANITARY SEWER MAIN AND LATERALS SHALL BE PVC PIPE, SDR-35 CONFORMING TO ASTM D3034 WITH PUSH-ON JOINTS, UNLESS OTHERWISE SPECIFIED. MINIMUM COVER OVER PVC SANITARY SEWER MAINS AND LATERALS SHALL BE THREE (3) FEET.
- 19. SANITARY SEWER PIPING AND POTABLE WATER PIPING SHALL BE SEPARATED BY A MINIMUM OF TEN (10) FEED HORIZONTALLY AND OR EIGHTEEN (18) INCHES VERTICALLY, PLACED IN SEPARATE TRENCHES. WHERE THESE MINIMUM SEPARATION DISTANCES CANNOT BE MET, ENCASE THE SANITARY SEWER IN CONCRETE FOR A DISTANCE OF TEN (10) FEET EACH SIDE OF THE WATER MAIN. DUCTILE IRON PIPE WITH SLIP-ON JOINTS MAY BE SUBSTITUTED FOR THE CONCRETE ENCASEMENT. IN NO CASE SHALL THE VERTICAL CLEARANCE BETWEEN POTABLE WATER AND SANITARY SEWER MAINS BE LESS THAN ONE (1) FOOT.
- 20. THE MINIMUM VERTICAL CLEARANCE BETWEEN DUCTILE IRON SEWER OR WATER MAINS AND STORM SEWER PIPE CROSSINGS ABOVE SHALL BE SIX (6) INCHES. PROVIDE CONCRETE ENCASEMENT WHEN THE VERTICAL CLEARANCE IS LESS THAT ONE (1) FOOT.
- 21. THE LOCATION OF ALL PROPOSED FIRE HYDRANTS SHALL BE APPROVED BY THE LOCAL FIRE OFFICIAL AND/OR ADMINISTRATIVE AUTHORITY HAVING JURISDICTION THEREOF. ALL EXISTING FIRE HYDRANTS SHALL BE TESTED PRIOR TO CONSTRUCTION.
- 22. TRAFFIC STRIPES AND MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE <u>STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION</u>, CURRENT EDITION, AS PUBLISHED BY THE NEW JERSEY DEPARTMENT OF TRANSPIRATION.

TRAFFIC CONTROL SIGNS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, CURRENT EDITION, AS PUBLISHED BY THE US DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY AUTHORITY.

- 23. THE PROPOSED DEVELOPMENT HAS BEEN DESIGNED WITH THE INTENT TO BE COMPLIANT WITH APPLICABLE ADA REGULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL IMPROVEMENTS ARE EXECUTED IN COMPLIANCE WITH THE LATEST ADA REGULATIONS.
- 24. ANY RETAINING WALLS 48 INCHES OR GRATER IN HEIGHT SHALL REQUIRE A BUILDING PERMIT. DESIGN CALCULATIONS FOR PROPOSED RETAINING WALLS SHALL BE SUBMITTED BY HE CONTRACTOR TO THE BOROUGH ENGINEER AND CONSTRUCTION CODE OFFICIAL FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.
- 25. CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING A PRECONSTRUCTION MEETING WITH EACH OF THE UTILITY COMPANIES, INCLUDING THE OWNER, ARCHITECT AND ENGINEERS TO ENSURE ALL PROJECT SPECIFIC REQUIREMENTS ARE MET. CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES DURING CONSTRUCTION, INCLUSIVE OF ALL REQUIRED INSPECTIONS.
- 26. UPON COMPLETION OF THE UTILITY WORK AND IN ACCORDANCE WITH THE SPECIFICATIONS, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT SURVEY OF ALL NEW ACCURATELY RECORDED LOCATIONS OF PIPE RUNS, CONNECTIONS, OUTLET STRUCTURES, HEADWALLS, INVERT ELEVATIONS, NEW CONDUITS, GAS UTILITIES, DUCT BANDS, LIGHT POLES TO BE BACKFILLED, PULL BOXES/MANHOLES RELATED TO ON SITE ELECTRICAL CONDUIT, AND FDNY FIRE ALARMS. THE DATA SHALL INCLUDE ALL INVERTS AND ELEVATIONS OF INSTALLED UTILIZES TIED INTO ESTABLISHED PROJECT BENCHMARKS. THE SURVEY SHALL BE PROVIDED IN DIGITAL (AUTOCAD DWG) AND PAPER FORMATS, AND SHALL BE SIGNED AND SEALED BY A NEW JERSEY STATE LICENSED PROFESSIONAL LAND SURVEYOR WITHIN 30 DAYS OF PROJECT COMPLETION. THIS SURVEY MAY BE COMBINE WITH OTHER AS-BUILT SURVEY REQUIREMENTS OF SITE-WORK ITEMS; WITH THE APPROVAL OF THE OWNER. MARKED-UP DESIGN PLANS ARE NOT ACCEPTABLE FOR THE AS-BUILT REQUIREMENTS OF THE SPECIFICATIONS.
- 27. SANITARY EASEMENT HAS BEEN ADJUSTED TO CONFORM TO THE ADJUSTED PROPERTY AND THE INTENT OF THE EASEMENT TO ELIMINATE THE REAR GORE ON THE ORIGINAL SURVEY. SANITARY MANHOLES WITHIN EASEMENT INVERTS TAKEN FROM APPROVED DESIGN PLANS AND NOT FIELD VERIFIED.

		BULK STANDA	RDS		
	ZONING DI	STRICT: C-3 - HIGH	WAY COMMERCIAL		
ITEM	PERMITTED	/ REQUIRED	PROF	POSED	COMPLIANCE
Proposed Use			Self S	itorage	No*
Site					
Minimum Lot Area	20,000	SF	340,184	SF	Yes
Minimum Lot Frontage	100	FT	282	FT	Yes
Minimum Lot Depth	200	FT	316	FT	Yes
Yard and Bulk Requirements					
Minimum Front Yard Setback					Yes
Route 130	60	FT	68	FT	Yes
Mount Holly Road	60	FT	50.6	FT (Building I)	No*
Minimum Side Yard Setback	30	FT	10	FT (Buildings C & J)	No*
Minimum Rear Yard Setback	50	FT	50.1	FT	Yes
Maximum Building Height	45	FT	45	FT	Yes
	3	Stories	3	Stories	Yes
Maximum Impervious Coverage	60	%	51	%	Yes

* Variance Required

	PARKING	REQUIREME	NTS (§16-88)			
MINIMUM PARKING REQUIRED						
RETAIL SALES AND SERVICE						
1 SPACE PER 200 GSF	1,300	GSF	/	200	=	6.5
SELF STORAGE						
NO STANDARD*					=	N/A
TOTAL PARKING REQUIRED						7
PARKING PROVIDED						
						1.4
STANDARD PARKING SPACES						14
STANDARD PARKING SPACES HANDICAP ACCESSIBLE PARKING SPACES						14

*SELF STORAGE USE PARKING REQUIREMENT NOT PROVIDED IN ORDINANCE

	SIGNAGE COMPLIANCE (§16-	-90.5.B)	
<u>ITEM</u>	PERMITTED / REQUIRED	PROPOSED	COMPLIANCE
Freestanding Signs			
Number of Signs	1	1	Yes
Maximum Area	75 sf	40 sf	Yes
Maximum Height	8 ft	8 ft	Yes
Minimum Setback from Curbline	15 ft	15 ft	Yes
Attached Signs	· ·		
Number of Signs	1	1	Yes
Maximum Sign Area	40 sf	40 sf	Yes

		WATER D	DEMAND				
OFFICE							
0.125 GPD PER GSF	1,300	GSF	x	0.125	=	163	GPD
TOTAL WATER DEMAND						163	GPD

		SEWER D	DEMAND				
OFFICE							
0.1 GPD PER GSF	1,300	GSF	x	0.1	=	130	GPD
TOTAL WATER DEMAND						130	GPD

	LIST OF VARIANCES / DESIGN WAIVERS
	VARIANCES
No.	Description
1.	Variance requested for self sotrage use in C-3 Zone.
2.	Variance requested for parking for self-storage use - no standard provided.
3.	Variance requested for 50.6 ft front yard setback from Mount Holly Road when 60 feet is required.
4.	Variance requested for 10 ft side yard setback from adjacent commercial lot when 30 feet is required.
	DESIGN WAIVERS
Section	Description
§16-84.F	Relief requested for construction of a 6ft fence within the Route 130 and Mount Holly Road front yard to secure the vehicular use areas.
§16-84.H.3	Relief requested for a proposed 6ft fence within 25 feet of a dedicated street line where a 4ft fence is permitted.
§16-16-89.H.3	Relief requested for 10ft side yard landscaped buffer when abutting non-residential uses where 15ft is required.

WARE MALCOMB
LEADING DESIGN FOR COMMERCIAL REAL ESTATE

suite 303 newark, nj 07102 p 732.986.9000 waremalcomb.com

EDWARD F. WILKES JR.
PROFESSIONAL ENGINEER
NJ LIC. NO. 24GEO4937200

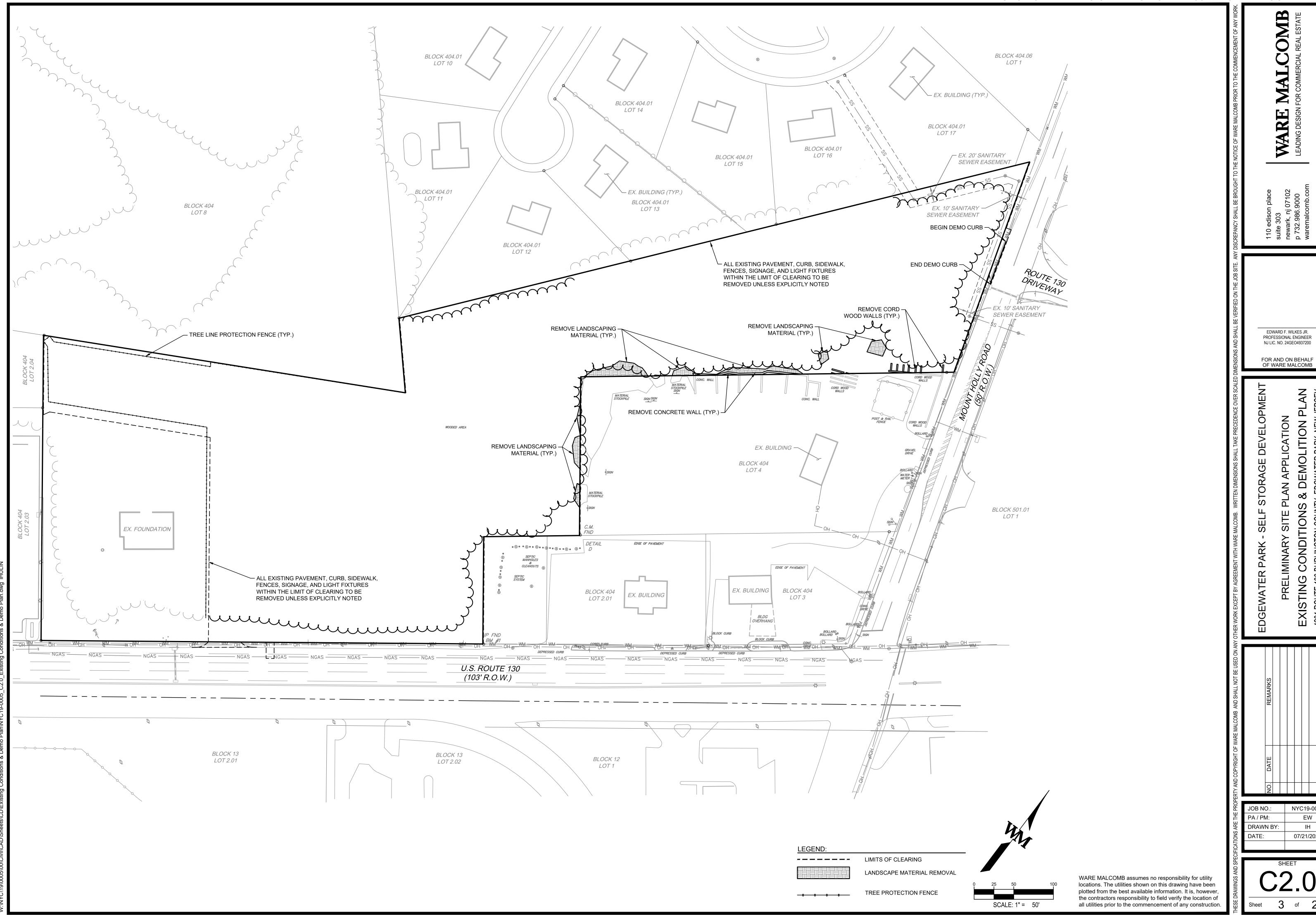
FOR AND ON BEHALF
OF WARE MALCOMB

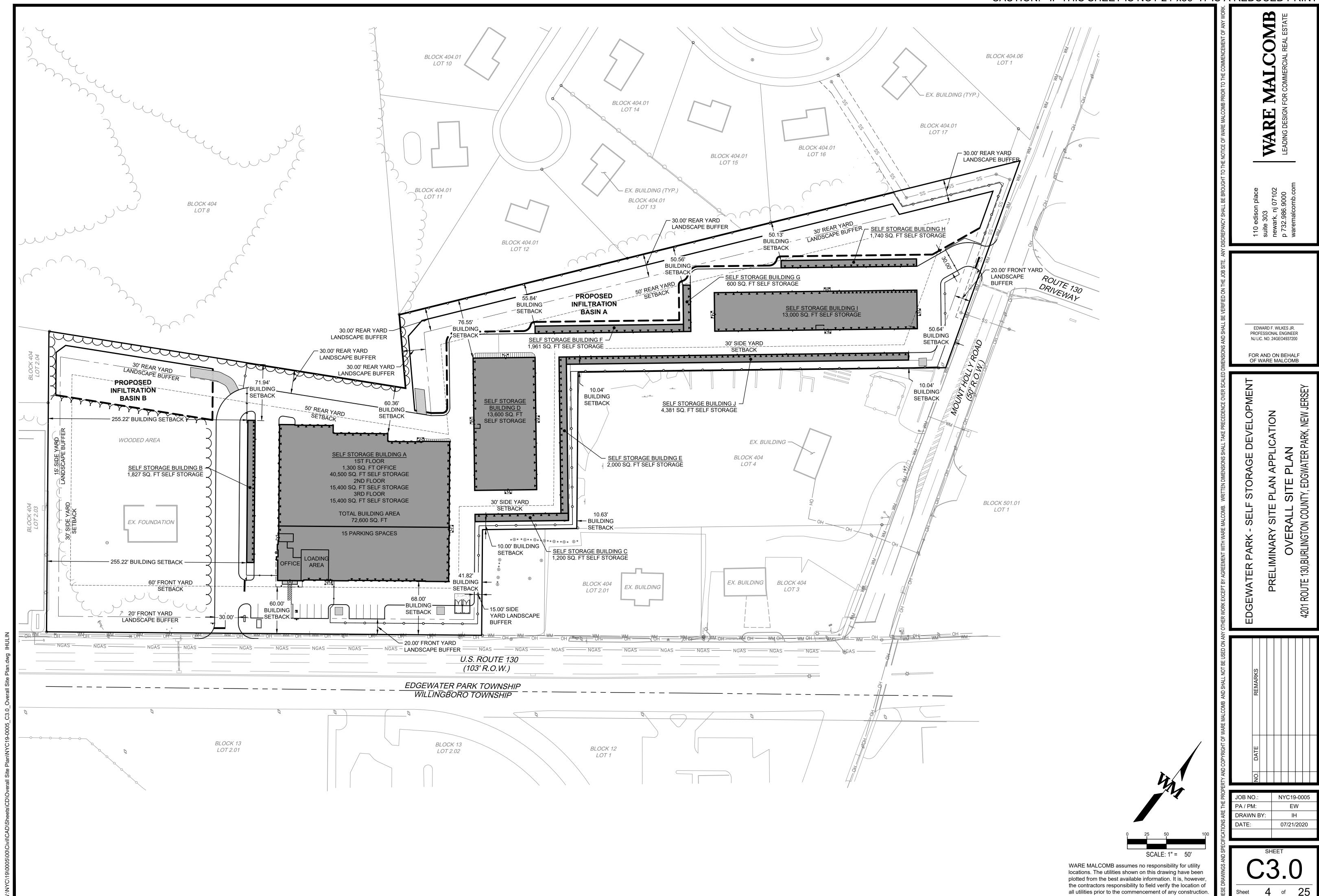
PRELIMINARY SITE PLAN APPLICATION
ZONING COMPLIANCE & NOTES
4201 ROUTE 130,BURLINGTON COUNTY, EDGWATER PARK, NEW JER

DATE REMARKS

JOB NO.: NYC19-0005
PA / PM: EW
DRAWN BY: IH
DATE: 07/21/2020

SHEET
C1.1





SCALE: 1" = 50'

WARE MALCOMB assumes no responsibility for utility locations. The utilities shown on this drawing have been plotted from the best available information. It is, however the contractors responsibility to field verify the location of

96 LF~15" HDPE @ 0.27%-INV=30.67 PROPOSED BUILDING B TYPE E INLET BLOCK 404 LOT 2.03 GRATE: 36.45 EX. FOUNDATION TC: 36.30 } INV OUT: 31.33 SE BC: 35.80 \ /±54 LF~15" HDPE @ 0.28% TYPE B INLET 2ND & 3RD FLOOR GRATE: 35.80 _FL: 36.60 _____ PROPOSED BUILDING A BC: 36.10 INV IN: 30.94 SE /∔0" CURB INV OUT: 30.94 SE TC: 37.48-FL: 36.50 BC: 36.98 /–0" CURB 73 LF~15" HDPE @ 0.27%-FL: 36.60 BC: 36.53 ∕−0" CURB SD-INLET-104 GRATE: 35.29 FL: 36.50 TYPE B INLET INV OUT: 33.05 N GRATE: 37.26 INV OUT: 31.14 NW _-------BC: 37.25 BC: 36.43 BC: 35.95 TC: 37.10 ¬` BC: 37.26 TC: 37.76-36.23 BC: 36.60 BC: 37.26 TC: 38.31-←TC: 37.01 BC: 36.72 ~TC: 36.60~ BC: 37.81 BC: 37.87 BC: 37.13 BC: 36.51 BC: 36.10 TC: 37.81 TC: 38.25~ GRT=37.04 [™]TC: 37.48 - TC: 37.24 - BC: 37.75 INV=34.30 (8"CMP) BC: 36.98 BC: 36.74 BC: 36.34-(ME)± EX. 15" RCP --SD-INLET-108 PARKING AREA TYPE E INLET BC: 38.45 GRATE: 35.95 EX. 'A' INLET INV OUT: 31.48 NW GRT=38.03 U.S. ROUTE 130 └─ SAWCUT LINE MEET AT EXISTING PAVEMENT (103' R.O.W.) EDGEWATER PARK TOWNSHIP WILLINGBORO TOWNSHIP

BLOCK 404

LOT 8

MANHOLE

16 LF~18" HDPE @ 0.25%

----INV OUT: 30.40 NE-

SD-FES-100-

18" FES

/87 LF~15" HDPE @ 0.28%=

TIE TO EXISTING -

3:1 MAX SLOPES ~

BC: 35.78

TC: 36.73 BC: 36.23

SD-INLET-102

TYPE B INLET

GRATE: 35.78

INV IN: 30.68 SE

INV OUT: 30.68 SE

INFILTRATION BASIN B

BOTTOM OF BASIN: 30.40'

WQ WSE: 31.39'

100 YEAR WSE: 32.62'

DISCHARGE INV: 32.00'

RIM: 35.38 65 LF~ INV IN: 30.44 NE

┌─SD-FES-B

18" FES

INV OUT: 30.75 E

- EX. 'B' INLET

GRT=33.16

SCOUR HOLE -

GRATE: 32.70

SEE DETAIL

INV OUT: 30.95 W

30 FT WIDE SPILLWAY -

(SEE EROSION CONTROL

12 LF~15" RCP OUTFALL B—

OUTLET CONTROL STRUCTURE B

BLOCK 404

LOT 2.04

PLAN FOR DETAILS)

10+00-√14 LF~24" HDPE @ 0.28%-√ 55 LF~15" HDPE @ 0.27%—/8" HDPE PROPOSED BUILDING E-18" FES INV OUT: 31.40 NE -SD-INLET-201 TYPE B INLET BC: 35.83 SD-INLET-206 GRATE: 35.33 BC: 35.83 _ INV IN: 31.44 SE BC: 35.18 TC: 36.26 → INV OUT: 31.44 SE ----72 LF~24" HDPE @ 0.33% PROPOSED BUILDING D FFE = 36.28' ─8" STORM CLEANOUT -SD-INLET-202 TYPE E INLET GRATE: 36.13 12" STORM CLEANOUT 12" HDPE-INV IN: 32.47 SE INV OUT: 32.47 SE 93 LF~18" HDPE @ 0.29%-95 LF~15" HDPE W/ DURASLOT DRAIN @ 0.27% -SD-INLET-305 118 LF~18" HDPE W/ DURASLOT DRAIN @ 0.24%-TYPE E INLET GRATE: 35.75 INV IN: 33.33 NE PROPOSED BUILDING A INV OUT: 33.33 NE 8" HDPE-COORDINATE ALL BUILDING UTILITY CONNECTIONS WITH ARCHITECTURAL/MEP PLANS (TYP.). SD-INLET-203-TYPE E INLET GRATE: 35.83 INV IN: 32.75 SE INV OUT: 32.75 SE

-TC: 36.55 BC: 36.05 ←SD-INLET-204 43 LF~18" HDPE @ 0.28%-TYPE B INLET GRATE: 35.68 INV OUT: 32.87 S -TC: 36.09 SD-INLET-205-BC: 35.59 TYPE B INLET

BLOCK 404.01

LOT 11

SD-FES-A-

INV OUT: 32.95 E

SCOUR HOLE -

12 LF~15" RCP OUTFALL A

GRATE: 34.80

GRATE: 35.18

INV OUT: 31.95 E

FFE = 36.60'

INV OUT: 33.40 W

SEE DETAIL

(SEE EROSION CONTROL

OUTLET CONTROL STRUCTURE A

35 FT WIDE SPILLWAY -

SD-INLET-105

TYPE B INLET

GRATE: 35.02

-TC: 35.85-

BC: 35.35

BC: 36.80

BC: 36.72

BC: 36.51

BC: 36.08

BC: 36.23

65 LF~15" HDPE @ 0.40%~

INV IN: 30.70 SE

INV OUT: 30.70 SE

/--39 LF~15" HDPE @ 0.36%

BC: 35.33

BC: 36.24

TC: 36.83

—BC: 36.33⁻

─TC: 37.03 •

BC: 36.60

TC: 36.91

BC: 36.41

└_TC: 37.10

BC: 36.60

SD-INLET-106

TYPE E INLET

GRATE: 36.45

Ye" HDPE

INV IN: 30.84 SE

INV OUT: 30.84 SE

BC: 36.53

PLAN FOR DETAILS)

15" FES

INFILTRATION BASIN A -BOTTOM OF BASIN 31.40'

100 YEAR WSE 33.90'

DISCHARGE INV: 33.40'

WQ WSE 32.56'

C: 36.45

BC: 35.95

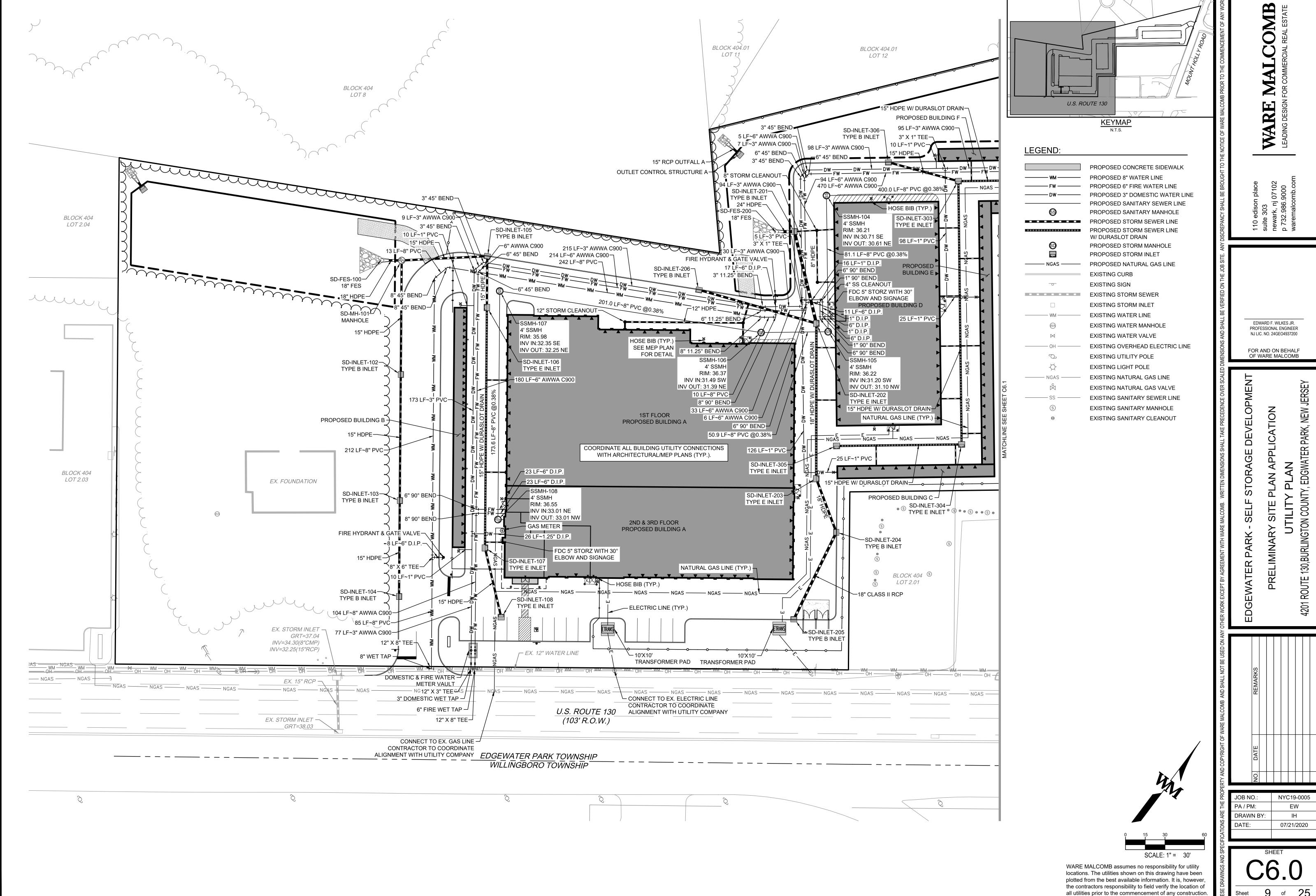
TC: 36.42

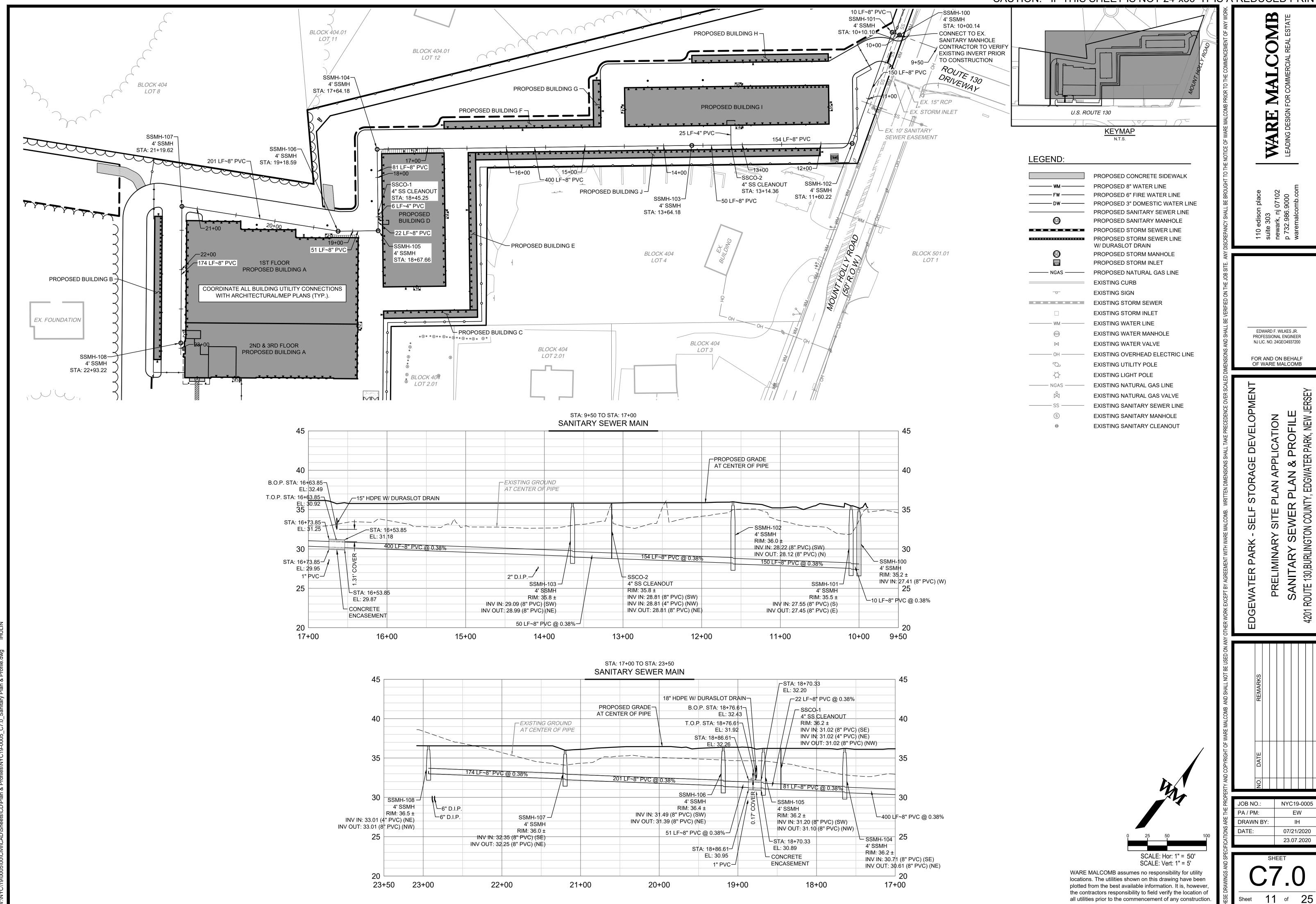
BC: 35.92/

TC: 35.83-

BC: 35.33

all utilities prior to the commencement of any construction.





CAUTION: IF THIS SHEET IS NOT 24"x36" IT IS A REDUCED PRINT WARE LEADING DESIGN F U.S. ROUTE 130 KEYMAP N.T.S. PROPERTY BOUNDARY PROPOSED CONCRETE SIDEWALK PROPOSED SIGN **EXISTING CURB EXISTING SIGN** PROPOSED DOOR ----- PROPOSED SETBACK LINE ROUTE 130 DRIVEWAY FOR AND ON BEHALF OF WARE MALCOMB PRELIMINARY SITE PLAN AF LANDSCAPE PLA 4201 ROUTE 130,BURLINGTON COUNTY, EDGWA⁻ SELF STOR 07/21/2020

7

JOB NO.: NYC19-0005 EW DRAWN BY: ΙH 07/21/2020

LANDSCAPE SPECIFICATIONS

A. THE LANDSCAPE CONTRACTOR SHALL FURNISH ALL MATERIALS AND PERFORM ALL WORK IN ACCORDANCE WITH THESE SPECIFICATIONS, APPROVED OR FINAL DRAWINGS, AND INSTRUCTIONS PROVIDED BY THE PROJECT LANDSCAPE ARCHITECT, MUNICIPAL OFFICIALS, OR OWNER/OWNER'S REPRESENTATIVE. ALL WORK COMPLETED AND MATERIALS FURNISHED AND INSTRUCTIONS STRICT ACCORDANCE WITH THE INTENTION OF THE SPECIFICATIONS, DRAWINGS, AND INSTRUCTIONS AND EXECUTED WITH THE STANDARD LEVEL OF CARE FOR THE LANDSCAPE INDUSTRY. 2. WEATHER CONDITIONS

A. WORK MUST BE CARRIED OUT ONLY DURING WEATHER CONDITIONS FAVORABLE TO LANDSCAPE CONSTRUCTION AND TO THE HEALTH AND WELFARE OF PLANTS. THE SUITABILITY OF SUCH WEATHER CONDITIONS SHALL BE DETERMINED BY THE PROJECT LANDSCAPE ARCHITECT OR GOVERNING 3. SAMPLES

A. IT IS THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR, BEFORE ORDERING OR PURC MATERIALS, TO PROVIDE SAMPLES OF THOSE MATERIALS TO THE PROJECT LANDSCAPE ARCHITECT OR GOVERNING MUNICIPAL OFFICIAL FOR APPROVAL, IF SO REQUESTED. B. THE LANDSCAPE CONTRACTOR IS TO SUBMIT CERTIFICATION TAGS FROM TREES, SHRUBS AND SEED 4. NOTIFICATION OF DELIVERY

A. UNLESS OTHERWISE AUTHORIZED BY THE PROJECT LANDSCAPE ARCHITECT OR GOVERNIN MUNICIPAL OFFICIAL, THE LANDSCAPE CONTRACTOR SHALL PROVIDE NOTICE AT LEAST FORTY-EIGHT HOURS (48 HRS.) IN ADVANCE OF THE ANTICIPATED DELIVERY DATE OF ANY PLANT MATERIALS TO THE PROJECT SITE. A LEGIBLE COPY OF THE INVOICE, SHOWING VARIETIES AND SIZES OF MATERIALS INCLUDED FOR EACH SHIPMENT SHALL BE FURNISHED TO THE PROJECT LANDSCAPE ARCHITECT. OR GOVERNING MUNICIPAL OFFICIAL. B. THE PROJECT LANDSCAPE ARCHITECT OR GOVERNING MUNICIPAL OFFICIAL RESERVES THE RIGHT TO INSPECT AND REJECT PLANTS AT ANY TIME AND AT ANY PLACE.

5. PROTECTION OF EXISTING VEGETATION A. BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF A, BEFORE COMMENCING WORK, ALL EXISTING VEGETATION WHICH COULD BE IMPACTED AS A RESULT OF THE PROPOSED CONSTRUCTION ACTIVITIES MUST BE PROTECTED FROM DAMAGE BY THE INSTALLATION OF TREE PROTECTION FENCING. FENCING SHALL BE LOCATED AT THE DRIP-LINE OR LIMIT OF DISTURBANCE AS DEPICTED WITHIN THE APPROVED OR FINAL PLAN SET, ESTABLISHING THE TREE PROTECTION ZONE. FENCE INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE PROTECTION FENCE DETAIL." NO WORK MAY BEGIN UNTIL THIS REQUIREMENT IS FULFILLED. THE FENCING SHALL BE INSPECTED REGULARLY BY THE LANDSCAPE CONTRACTOR AND MAINTAINED UNTIL ALL CONSTRUCTION ACTIVITIES HAVE BEEN COMPLETED.

B. IN ORDER TO AVOID DAMAGE TO ROOTS, BARK OR LOWER BRANCHES, NO VEHICLE, EQUIPMENT, DEBRIS, OR OTHER MATERIALS SHALL BE DRIVEN, PARKED OR PLACED WITHIN THE TREE PROTECTION ZONE. ALL ON-SITE CONTRACTOR'S SHALL USE ANY AND ALL PRECAUTIONARY MEASURES WHEN PERFORMING WORK AROUND TREES, WALKS, PAVEMENTS, UTILITIES, AND ANY OTHER FEATURES EITHER EXISTING OR PREVIOUSLY INSTALLED UNDER THIS CONTRACT. C. IN RARE INSTANCES WHERE EXCAVATING, FILL, OR GRADING IS REQUIRED WITHIN THE DRIP-LINE OF TREES TO REMAIN, THE WORK SHALL BE PERFORMED AS FOLLOWS:

TRENCHING: WHEN TRENCHING OCCURS AROUND TREES TO REMAIN, THE TREE ROOTS SHALL NOT BE

CUT, BUT THE TRENCH SHALL BE TUNNELED UNDER OR AROUND THE ROOTS BY CAREFUL HAND DIGGING AND WITHOUT INJURY TO THE ROOTS. NO ROOTS, LIMBS, OR WOODS ARE TO HAVE ANY PAINT OR MATERIAL APPLIED TO ANY SURFACE. PAINT OR MATERIAL APPLIED TO ANY SORFACE.

2. RAISING GRADES: WHEN THE GRADE AT AN EXISTING TREE IS BELOW THE NEW FINISHED GRADE, AND FILL NOT EXCEEDING 6 INCHES (6") IS REQUIRED, CLEAN, WASHED GRAVEL FROM ONE TO TWO INCHES (1" - 2") IN SIZE SHALL BE PLACED DIRECTLY AROUND THE TREE TRUNK. THE GRAVEL SHALL EXTEND OUT FROM THE TRUNK ON ALL SIDES A MINIMUM OF 18 INCHES (18") AND FINISH APPROXIMATELY TWO INCHES (2") ABOVE THE FINISH GRADE AT TREE. INSTALL GRAVEL BEFORE ANY EARTH FILL IS PLACED. NEW EARTH FILL SHALL NOT BE LEFT IN CONTACT WITH THE TRUNK OF ANY TREE REQUIRING FILL. WHERE FILL EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID TREE WELL SHALL BE CONSTRUCTED. IF APPLICABLE, TREE WELL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE WELL DETAIL"

3. LOWERING GRADES: EXISTING TREES LOCATED IN AREAS WHERE THE NEW FINISHED GRADE IS TO BE LOWERED, SHALL HAVE RE-GRADING WORK DONE BY HAND TO THE INDICATED ELEVATION, NO GREATER THAN SIX INCHES (6"). ROOTS SHALL BE CUT CLEANLY THREE INCHES (3") BELOW FINISHED GRADE UNDER THE DIRECTION OF A LICENSED ARBORIST. WHERE CUT EXCEEDING 6 INCHES (6") IS REQUIRED, A DRY LAID RETAINING WALL SHALL BE CONSTRUCTED. IF APPLICABLE, THE RETAINING WALL INSTALLATION SHALL BE IN ACCORDANCE WITH THE PROVIDED "TREE RETAINING WALL DETAIL."

6. SOIL AMENDMENTS LABORATORY PRIOR TO PLANTING. LANDSCAPE CONTRACTOR SHALL ALLOW FOR A TWO WEEK TURNAROUND TIME FROM SUBMITTAL OF SAMPLE TO NOTIFICATION OF RESULTS. B. BASED ON SOIL TEST RESULTS, ADJUST THE RATES OF LIME AND FERTILIZER THAT SHALL BE MIXED

INTO THE TOP SIX INCHES (6") OF TOPSOIL. THE LIME AND FERTILIZER RATES PROVIDED WITHIN THE
"SEED SPECIFICATION" OR "SOD SPECIFICATION" IS APPROXIMATE AND FOR BIDDING PURPOSES ONLY.
IF ADDITIONAL AMENDMENTS ARE NECESSARY, ADJUST THE TOPSOIL AS FOLLOWS: MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM. MODIFY EXTREMELY SANDY SOILS (MORE THAN 85%) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX.

A. TOPSOIL SHALL BE FERTILE, FRIABLE, NATURAL TOPSOIL OF LOAMING CHARACTER, WITHOUT ADMIXTURE OF SUBSOIL MATERIAL OBTAINED FROM A WELL-DRAINED ARABLE SITE, FREE FROM ALL CLAY, LUMPS, COARSE SANDS, STONES, PLANTS, ROOTS, STICKS, AND OTHER FOREIGN MATERIAL GREATER THAN ONE INCH (1"). B. TOPSOIL SHALL HAVE A PH RANGE OF 5.0-7.0 AND SHALL NOT CONTAIN LESS THAN 6% ORGANIC MATTER BY WEIGHT. C. OBTAIN TOPSOIL ONLY FROM LOCAL SOURCES OR FROM AREAS HAVING SIMILAR SOIL

D. CONTRACTOR SHALL PROVIDE A SIX INCH (6") DEEP LAYER OF TOPSOIL IN ALL PLANTING AREAS. TOPSOIL SHALL BE SPREAD OVER A PREPARED SURFACE IN A UNIFORM LAYER TO ACHIEVE THE DESIRED COMPACTED THICKNESS. THE SPREADING OF TOPSOIL SHALL NOT BE CONDUCTED UNDER MUDDY OR FROZEN SOIL CONDITIONS.

CHARACTERISTICS TO THAT FOUND AT THE PROJECT SITE.

A. UNLESS OTHERWISE NOTED IN THE CONTRACT, THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE INSTALLATION OF TOPSOIL AND THE ESTABLISHMENT OF FINE-GRADING WITHIN THE DISTURBED AREA OF THE SITE.

B. LANDSCAPE CONTRACTOR SHALL VERIFY THAT THE SUB-GRADE ELEVATION MEETS THE FINISHED GRADE ELEVATION (LESS THE REQUIRED TOPSOIL), IN ACCORDANCE WITH THE APPROVED OR FINAL GRADING PLAN. C. ALL LAWN AND PLANTING AREAS SHALL BE GRADED TO A SMOOTH, EVEN AND UNIFORM PLANE WITH NO ABRUPT CHANGE OF SURFACE AS DEPICTED WITHIN THE APPROVED OR FINAL CONSTRUCTION SET UNLESS OTHERWISE DIRECTED BY THE PROJECT LANDSCAPE ARCHITECT OR MUNICIPAL OFFICIAL.

D. ALL PLANTING AND LAWN AREAS SHALL BE GRADED AND MAINTAINED TO ALLOW A FREE FLOW OF

9. LAWN (SEED OR SOD) A. SEED MIXTURE SHALL BE FRESH, CLEAN, NEW CROP SEED. SOD SHALL BE STRONGLY ROOTED, UNIFORM IN THICKNESS, AND FREE OF WEEDS, DISEASE, AND PESTS. B. SEED OR SOD SHALL BE PURCHASED FROM A RECOGNIZED DISTRIBUTOR AND SHALL BE COMPOSE OF THE MIX OR BLEND WITHIN THE PROVIDED "SEED SPECIFICATION" OR "SOD SPECIFICATION."

C. REFERENCE LANDSCAPE PLAN FOR AREAS TO BE SEEDED OR LAID WITH SOD. D. SEEDING SHALL NOT BE PERFORMED IN WINDY WEATHER. IF THE SEASON OF THE PROJECT COMPLETION PROHIBITS PERMANENT STABILIZATION, TEMPORARY STABILIZATION SHALL BE PROVIDED IN ACCORDANCE WITH THE "TEMPORARY SEEDING SPECIFICATION." E. PROTECT NEW LAWN AREAS AGAINST TRESPASSING WHILE THE SEED IS GERMINATING. FURNISH ANI

INSTALL FENCES, SIGNS, BARRIERS OR ANY OTHER NECESSARY TEMPORARY PROTECTIVE DEVICES. DAMAGE RESULTING FROM TRESPASS, EROSION, WASHOUT, SETTLEMENT OR OTHER CAUSES SHALL BE REPAIRED BY THE LANDSCAPE CONTRACTOR AT HIS EXPENSE. REMOVE ALL FENCES, SIGNS, 10. PLANT QUALITY A. ALL PLANT MATERIAL SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANS 2014) OR LATEST REVISION AS PUBLISHED BY THE AMERICAN NURSERY AND LANDSCAPE PLATION.

B. IN ALL CASES, BOTANICAL NAMES LISTED WITHIN THE APPROVED OR FINAL PLANT LIST SHALL TAKE PRECEDENCE OVER COMMON NAMES. C. ALL PLANTS SHALL BE OF SELECTED SPECIMEN QUALITY, EXCEPTIONALLY HEAVY, TIGHTLY KNIT, SO TRAINED OR FAVORED IN THEIR DEVELOPMENT AND APPEARANCE AS TO BE SUPERIOR IN FORM, NUMBER OF BRANCHES, COMPACTNESS AND SYMMETRY. ALL PLANTS SHALL HAVE A NORMAL HABIT OR SOUND, HEALTHY, VIGOROUS PLANTS WITH WELL DEVELOPED ROOT SYSTEM. PLANTS SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS OR LARVAE.

D. PLANTS SHALL NOT BE PRUNED BEFORE DELIVERY. TREES WITH ABRASION OF THE BARK, SUNSCALDS, DISFIGURING KNOTS OR FRESH CUTS OF LIMBS OVER ONE AND ONE-FOURTH INCHES (1-1/4") WHICH HAVE NOT COMPLETELY CALLOUSED SHALL BE REJECTED. E. ALL PLANTS SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY AND SHALL HAVE A NORMAL HABIT OF GROWTH AND BE LEGIBLY TAGGED WITH THE PROPER NAME AND SIZE. F. THE ROOT SYSTEM OF EACH PLANT SHALL BE WELL PROVIDED WITH FIBROUS ROOTS. ALL PARTS G. ALL PLANTS DESIGNATED BALL AND BURLAP (B&B) MUST BE MOVED WITH THE ROOT SYSTEM AS SOLID UNITS WITH BALLS OF EARTH FIRMLY WRAPPED WITH BURLAP. THE DIAMETER AND DEPTH OF THE BALLS OF EARTH MUST BE SUFFICIENT TO ENCOMPASS THE FIBROUS ROOT FEEDING SYSTEMS NECESSARY FOR

THE HEALTHY DEVELOPMENT OF THE PLANT, NO PLANT SHALL BE ACCEPTED WHEN THE BALL OF EARTH SURROUNDING ITS ROOTS HAS BEEN BADLY CRACKED OR BROKEN PREPARATORY TO OR DURING THE PROCESS OF PLANTING. THE BALLS SHALL REMAIN INTACT DURING ALL OPERATIONS. ALL PLANTS THAT CANNOT BE PLANTED AT ONCE MUST BE HEELED-IN BY SETTING IN THE GROUND AND COVERING THE BALLS WITH SOIL OR MULCH AND THEN WATERING. HEMP BURLAP AND TWINE IS PREFERABLE TO TREATED. IF TREATED BURLAP IS USED, ALL TWINE IS TO BE CUT FROM AROUND THE TRUNK AND ALL BURLAP IS TO BE REMOVED.

H. UNLESS SPECIFICALLY NOTED AS MULTI-STEM, THE TRUNK OF EACH TREE SHALL BE A SINGLE TRUNK GROWING FROM A SINGLE CROWN OF ROOTS. NO PART OF THE TRUNK SHALL BE CONSPICUOUSLY CROOKED AS COMPARED WITH NORMAL TREES OF THE SAME VARIETY. I. PLANTS TRANSPORTED TO THE PROJECT IN OPEN VEHICLES SHALL BE COVERED WITH TARPS OR OTHER SUITABLE COVERS SECURELY FASTENED TO THE BODY OF THE VEHICLE TO PREVENT INJURY TO THE PLANTS. CLOSED VEHICLES SHALL BE ADEQUATELY VENTILATED TO PREVENT OVERHEATING OF THE PLANTS. EVIDENCE OF INADEQUATE PROTECTION FOLLOWING DIGGING, CARELESSNESS WHILE IN TRANSIT, OR IMPROPER HANDLING OR STORAGE SHALL BE CAUSE FOR REJECTION OF PLANT MATERIAL. ALL PLANTS SHALL BE KEPT MOIST, FRESH, AND PROTECTED. SUCH POTECTION SHALL ENCOMPASS THE ENTIRE PERIOD DURING WHICH THE PLANTS ARE IN TRANSIT, BEING HANDLED, OR ARE IN TRANSIT, TEMPORARY STORAGE ARE IN TEMPORARY STORAGE. 11. PLANT MEASUREMENTS

A PLANTS SHALL BE MEASURED WHEN BRANCHES ARE IN THEIR NORMAL POSITION B. SHRUBS SHALL MEET THE REQUIREMENTS FOR SPREAD. HEIGHT OR CONTAINER SIZE STATED IN THE APPROVED OR FINAL PLANT LIST. THE MEASUREMENTS ARE TO BE TAKEN FROM THE GROUND LEVEL TO THE AVERAGE HEIGHT OF THE SHRUB AND NOT TO THE LONGEST BRANCH. C. CALIPER MEASUREMENTS FOR NURSERY GROWN TREES SHALL BE TAKEN AT A POINT ON THE TRUNK SIX INCHES (6") ABOVE NATURAL GROUND LEVEL FOR TREES UP TO FOUR INCHES (4") IN CALIPER, AND AT A POINT 12 INCHES (12") ABOVE THE NATURAL GROUND LEVEL FOR TREES EXCEEDING FOUR INCHES (4") IN CALIPER. D. THE MEASUREMENTS SPECIFIED ARE THE MINIMUM SIZE ACCEPTABLE AND, WHERE PRUNING IS

REQUIRED, ARE THE MEASUREMENTS AFTER PRUNING.

PLANTS (MARCH 15 - DECEMBER 15)

12. PLANTING OPERATIONS A. THE LANDSCAPE CONTRACTOR SHALL PROVIDE SUFFICIENT TOOLS AND EQUIPMENT REQUIRED TO CARRY OUT THE PLANTING OPERATIONS. B. ALL PLANT MATERIAL SHALL BE INSTALLED IN ACCORDANCE WITH THE CORRESPONDING LANDSCAPE PLAN AND PLANTING DETAILS. C. LANDSCAPE CONTRACTOR SHALL MAKE BEST EFFORT TO INSTALL PLANTINGS ON THE SAME DAY AS DELIVERY. PLANTS THAT REMAIN UNPLANTED FOR A PERIOD OF TIME GREATER THAN THREE (3) DAYS SHALL BE HEALED IN WITH TOPSOIL OR MULCH AND WATERED AS REQUIRED TO PRESERVE ROOT MOISTURE.

D. NO PLANT MATERIAL SHALL BE PLANTED IN MUDDY OR FROZEN SOIL E. PLANTS WITH INJURED ROOTS OR BRANCHES SHALL BE PRUNED PRIOR TO PLANTING UTILIZING CLEAN, SHARP TOOLS. ONLY DISEASED OR INJURED PLANTS SHALL BE REMOVED. F. IF ROCK OR OTHER UNDERGROUND OBSTRUCTION IS ENCOUNTERED, THE LANDSCAPE ARCHITECT RESERVES THE RIGHT TO RELOCATE OR ENLARGE PLANTING PITS OR DELETE PLANT MATERIAL FROM

G. INSTALLATION OF PLANT MATERIAL WITHIN SIGHT TRIANGLES IS DISCOURAGED. IF PLANTS MUST BE PLANTED WITHIN SIGHT TRIANGLES, TREES SHALL BE LIMBED AND MAINTAINED TO A HEIGHT OF SIX FEET (6') ABOVE GRADE, AND SHRUBS, GROUND COVER, PERENNIALS, AND ANNUALS SHALL BE MAINTAINED TO A HEIGHT NOT TO EXCEED TWO FEET (2') ABOVE GRADE UNLESS OTHERWISE NOTED OR SPECIFIED BY THE GOVERNING MUNICIPALITY OR AGENCY. H. INSTALLATION SHALL OCCUR DURING THE FOLLOWING SEASONS:

AWNS (MARCH 15 - JUNE 15 OR SEPTEMBER 1 - DECEMBER 1) I. THE FOLLOWING TREES ARE SUSCEPTIBLE TO TRANSPLANT SHOCK AND SHALL NOT BE PLANTED DURING THE FALL SEASON (STARTING SEPTEMBER 15):

ACER BUERGERIANUM ACER FREEMANII ACER RUBRUM CRATAEGUS VARIETIES
CUPRESSOCYPARIS LEYLANDII
FAGUS VARIETIES
HALESIA VARIETIES
HALESIA VARIETIES
HEFX FOSTERII
PRYRESOFERII
PRYRESOFER ACER SACCHARINUM BETULA VARIETIES CARPINUS VARIETIES CERCIS CANADENSIS
CERCIS CANADENSIS
CERCIS CANADENSIS
CORNUS VARIETIES
CERCIS CANADENSIS
CORNUS VARIETIES PYRUS VARIETIES
QUERCUS VARIETIES (NOT. Q. PALUSTRIS)
SALIX WEEPING VARIETIES LIQUIDAMBAR VARIETIES LIRIODENDRON VARIETIES MALUS IN LEAF NYSSA SYLVATICA CRATAEGUS VARIETIES 13. PLANT SUBSTITUTIONS

A. THE LANDSCAPE CONTRACTOR SHALL MAKE HIS BEST EFFORT TO LOCATE THE PLANT MATERIAL SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. B. IF A PLANT IS UNATTAINABLE OR ON THE FALL DIGGING HAZARD LIST AN EQUIVALENT SPECIES OF THE SAME SIZE MAY BE REQUESTED FOR SUBSTITUTION OF THE ORIGINAL PLANT. C. ALL SUBSTITUTIONS SHALL BE APPROVED BY THE PROJECT LANDSCAPE ARCHITECT OR MUNICIPAL OFFICIAL PRIOR TO ORDERING AND INSTALLATION.

DOUBLE SHREDDED HARDWOOD MULCH OR APPROVED EQUAL SHALL BE USED AS A THREE INCH (3")
TOP DRESSING IN ALL SHRUB PLANTING BEDS AND AROUND ALL TREES PLANTED BY LANDSCAPE
CONTRACTOR. GROUND COVER, PERENNIAL, AND ANNUAL PLANTING BEDS SHALL BE MULCHED WITH A TWO INCH (2") TOP DRESSING. SINGLE TREES OR SHRUBS SHALL BE MULCHED TO AVOID CONTACT ITH TRUNK OR PLANT STEM. MULCH SHALL BE OF SUFFICIENT CHARACTER AS NOT TO BE EASILY DISPLACED BY WIND OR WATER RUNOFF. 15. IRRIGATION

A, LANDSCAPE CONTRACTOR SHALL WATER NEW PLANTINGS FROM TIME OF INSTALL AND THROUGHOU REQUIRED 90-DAY MAINTENANCE PERIOD UNTIL PLANTS ARE ESTABLISHED. IF ON-SITE WATER IS NOT AVAILABLE AT THE PROJECT LOCATION, THE LANDISCAPE CONTRACTOR SHALL FURNISH IT BY MEANS OR A WATERING TRUCK OR OTHER ACCEPTABLE MANNER. B. THE QUANTITY OF WATER APPLIED AT ONE TIME SHALL BE SUFFICIENT TO PENETRATE THE SOIL TO A MINIMUM OF EIGHT INCHES (8") IN SHRUB BEDS AND SIX INCHES (6") IN TURF AREAS AT A RATE WHICH WILL PREVENT SATURATION OF THE SOIL. C. IF AN AUTOMATIC IRRIGATION SYSTEM HAS BEEN INSTALLED, IT CAN BE USED FOR WATERING PLANT MATERIAL. HOWEVER, FAILURE OF THE SYSTEM DOES NOT ELIMINATE THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY OF PLANT HEALTH AND ESTABLISHMENT.

A. DURING THE COURSE OF CONSTRUCTION/PLANT INSTALLATION, EXCESS AND WASTE MATERIALS SHALL BE CONTINUOUSLY AND PROMPTLY REMOVED AT THE END OF EACH WORK DAY. ALL DEBRIS, MATERIALS, AND TOOLS SHALL BE PROPERLY STORED, STOCKPILED OR DISPOSED OF AND ALL PAVED AREAS SHALL BE CLEANED. B. THE LANDSCAPE CONTRACTOR SHALL DISPOSE OF ALL RUBBISH AND EXCESS SOIL AT HIS EXPENSE TO

AN OFF-SITE LOCATION AS APPROVED BY THE LOCAL MUNICIPALITY

APPROVED AND PAID FOR BY THE OWNER.

17. GUARANTEE A THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF TWO YEARS (2 YR THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF TWO YEARS (. FROM APPROVAL OF LANDSCAPE INSTALLATION BY THE PROJECT LANDSCAPE ARCHITECT, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. LANDSCAPE CONTRACTOR SHALL SUPPLY THE OWNER WITH A MAINTENANCE BOND IN THE AMOUNT OF 10% OF THE VALUE OF THE LANDSCAPE INSTALLATION WHICH WILL BE RELEASED AT THE CONCLUSION OF THE QUARANTEE PERIOD AND ONCE FINAL ACCEPTANCE HAS BEEN GRANTED BY THE PROJECT LANDSCAPE ARCHITECT, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE.

B. THE LANDSCAPE CONTRACTOR SHALL REMOVE AND REPLACE DYING, DEAD, OR DEFECTIVE PLANT MATERIAL AT HIS EXPENSE. THE LANDSCAPE CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR ANY DAMAGES CAUSED BY HIS COMPANY'S OPERATIONS. C. ALL REPLACEMENT PLANTS SHALL BE OF THE SAME SPECIES AND SIZE AS SPECIFIED ON THE APPROVED OR FINAL PLANT LIST. REPLACEMENTS RESULTING FROM REMOVAL, LOSS, OR DAMAGE DUE TO OCCUPANCY OF THE PROJECT IN ANY PART, VANDALISM, PHYSICAL DAMAGE BY ANIMALS, /EHICLES, ETC., AND LOSSES DUE TO CURTAILMENT OF WATER BY LOCAL AUTHORITIES SHALL BE

18. LANDSCAPE MAINTENANCE A. A 90-DAY MAINTENANCE PERIOD SHALL BEGIN IMMEDIATELY AFTER ALL PLANTS HAVE BEEN SATISFACTORILY INSTALLED. B. MAINTENANCE SHALL INCLUDE, BUT NOT BE LIMITED TO, REPLACING MULCH THAT HAS BEEN DISPLACED BY EROSION OR OTHER MEANS, REPAIRING AND RESHAPING WATER RINGS OR SAUCERS MAINTAINING STAKES AND GUYS IF ORIGINALLY REQUIRED, WATERING WHEN NEEDED OR DIRECTED, WEEDING, PRUNING, SPRAYING, FERTILIZING, MOWING THE LAWN, AND PERFORMING ANY OTHER WORK REQUIRED TO KEEP THE PLANTS IN A HEALTHY CONDITION.

C. MOW ALL GRASS AREAS AT REGULAR INTERVALS TO KEEP THE GRASS HEIGHT FROM EXCEEDING THREE INCHES (3"). MOWING SHALL BE PERFORMED ONLY WHEN GRASS IS DRY. MOWER BLADE SHALL BE SET TO REMOVE NO MORE THAN ONE THIRD (1/3) OF THE GRASS LENGTH. WHEN THE AMOUNT OF GRASS IS HEAVY, IT SHALL BE REMOVED TO PREVENT DESTRUCTION OF THE UNDERLYIN. TURF. MOW GRASS AREAS IN SUCH A MANNER AS TO PREVENT CLIPPINGS FROM BLOWING ON PAVED AREAS, AND SIDEWALKS. CLEANUP AFTER MOWING SHALL INCLUDE SWEEPING OR BLOWING OF PAVED AREAS AND SIDEWALKS TO CLEAR THEM FROM MOWING DEBRIS. D. GRASSED AREAS DAMAGED DURING THE PROCESS OF THE WORK SHALL BE THE RESPONSIBILITY OF

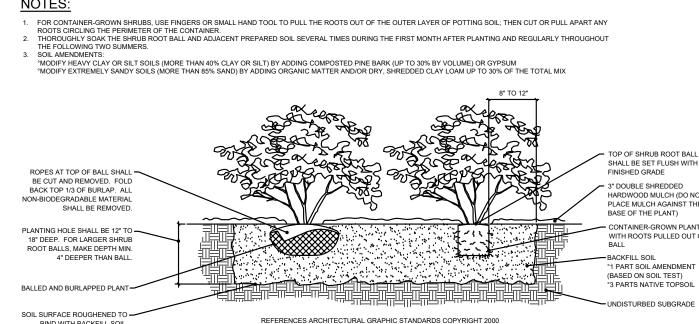
THE CONTRACTOR, WHO SHALL RESTORE THE DISTURBED AREAS TO A CONDITION SATISFACTORY TO THE PROJECT LANDSCAPE ARCHITECT, MUNICIPAL OFFICIAL, OR OWNER/OWNER'S REPRESENTATIVE. THIS MAY INCLUDE FILLING TO GRADE, FERTILIZING, SEEDING, AND MULCHING. E. SHOULD THE OWNER REQUIRE MAINTENANCE BEYOND THE STANDARD 90-DAY MAINTENANCE PERIOD, A SEPARATE CONTRACT SHALL BE ESTABLISHED.

ODE AND ENDING HOUSE ADDIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM °MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX
3. ALL GROUND COVER AREAS SHALL BE TREATED WITH A PRE-EMERGENT PER MANUFACTURER'S SPECIFICATIONS SPACING CHART SPACING "D" ROW "A" 6" O.C. 8" O.C. 10" O.C. 12" O.C. 15" O.C 18" O.C. 24" O.C. 30" O.C. 26.00" 36" O.C. 2" DOUBLE SHREDDED HARDWOOD MULCH (DO NOT PLACE MULCH AGAINST THE BASE OF THE PLANT) - GENTLY PULL ROOTS AWAY BACKFILL SOIL °1 PART SOIL AMENDMEN (BASED ON SOIL TEST) °3 PARTS NATIVE TOPSOIL UNDISTURBED SUBGRADE

THOROUGHLY SOAK THE GROUND COVER ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY

ROUGHOUT THE FOLLOWING TWO SUMMERS

GROUND COVER/PERENNIAL DETAIL SCALE: N.T.S.



SHRUB PLANTING DETAIL

SCALE: N.T.S.

 FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS. MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR THOUSENING STRENGT SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX PLANTING: OTHERWISE, DO NOT PRUNE TREE AT PLANTING EXCEPT FOR SPECIFIC STRUCTURAL CORRECTIONS DO NOT STAKE OR WRAP TRUNK -SET ROOT BALL FLUSH TO GRADE OR SEVERAL INCHES HIGHER IN WIDTH OF THE ROOT BAL CUT BANDS OF WIRE BASKET AND FOLD AWAY FROM TOP OF ROOT BALL MULCH (DO NOT PLACE MULCH IN CONTACT WITH TREE TRUNK ROPES AT TOP OF BALL SHALL BE CUT AND REMOVED. FOLD BACK TOP °1 PART SOIL AMENDMENT (BASED ON SOIL TEST) 1/3 OF BURLAP. AL SHALL BE REMOVED - TAMP SOIL SOLIDLY AROUND BASE OF ROOT BALL

SET ROOT BALL ON FIRM PAD IN BOTTOM OF HOLE

DECIDUOUS TREE PLANTING DETAIL

REFERENCES ARCHITECTURAL GRAPHIC STANDARDS COPYRIGHT 2000

SCALE: N.T.S.

DIG WIDE, SHALLOW HOLE WITH

TREE PROTECTION FENCE SHALL BE INSTALLED TO FOLLOW TREE CANOPY DRIP LINE OR PROPOSED LIMITS OF DISTURBANCE. 2. CONSTRUCTION VEHICLES TO STAY AS FAR AS POSSIBLE FROM TREE PROTECTION FENCE TO PREVENT COMPACTION OF TREE ROOTS. SHALL BE SPACED CENTER MAXIMUM.

SCALE: N.T.S.

PLANT SCHEDULE CONTAINER

PINUS NIGRA / AUSTRIAN BLACK PINE 151 PICEA OMORIKA / SERBIAN SPRUCE B+B 135 PINUS STROBUS / EASTERN WHITE PINE THUJA PLICATA 'GREEN GIANT' / WESTERN RED CEDAR B+B THUJA OCCIDENTALIS 'EMERALD' / EMERALD ARBORVITAE B+B SHADE TREES BOTANICAL / COMMON NAME ARONIA MELANOCARPA / LOW SCAPE MOUND ARONIA DECIDUOUS SHRUBS ROSA X 'RADTKO' / DOUBLE KNOCK OUT ROSE 24-30" 3 GAL. CONTAINER ILEX GLABRA 'COMPACTA' / COMPACT INKBERRY ILEX GLABRA `SHAMROCK` / SHAMROCK INKBERRY HOLLY 36-42" JUNIPERUS HORIZONTALIS 'BAR HARBOR' / BAR HARBOR CREEPING JUNIPER 15-18" SPRD. 3 GAL. PLS PRUNUS LAUROCERASUS 'SCHIPKAENSIS' / SCHIPKA LAUREL B+B BOTANICAL / COMMON NAME

APPROVED BY THE APPROVING AUTHORITY. TREES SHALL BE PLANTED 40 | STREET TREES (AR) PLANTED AT 60' ON

FROM THE CURBLINE, AND SHALL BE BALLED AND BURLAPPED, NURSERY | PLANT SCHEDULE FOR SIZES

COMPLIANCE CHART

TOWNSHIP OF EDGEWATER PARK, NJ (C-3: HIGHWAY COMMERCIAL DISTRICT)

PROPOSED

)' BUFFER PROVIDED ALONG ROUTE 130

BUFFER PROVIDED AGAINST REAR PROPERTY

DOUBLE STAGGERED EVERGREEN TREE ROW

PROVIDED ALONG REAR PROPERTY LINE TO

PROPERTIES, EXISTING VEGETATION TO

AND ROUTE 626, MINIMUM 15' BUFFER

PROVIDED ALONG SIDE YARD, AND 30'

INE (ADJACENT RESIDENTIAL)

SCREEN ADJACENT RESIDENTIAL

REMAIN UTILIZED TO SCREEN SIDE

FRONTAGES WHERE NO EXISTING

AREA (SEE PLANT SCHEDULE), SEE

"LOW" TYPE SHRUBBERY SCREENING

AT 30" O.C. AND SPECIFIED AT 3' TALL.

PLANTED AROUND PARKING AREAS PLANTED

EVERGREEN TREES USED FOR SCREENING

SEE SECTION 26-4 ABOVE FOR SCREENING

REQUIRED: 15/20 = 0.75 OR 1 SHADE TREE

PARKING IN THE FRONT OF THE BUILDING

SCREENED BY AN EVERGREEN ROW OF (IGC)

AT 3 FEET IN HEIGHT AT THE TIME OF

SCREEN/BUFFER PROVIDED ALONG REAR

PROPERTY LINE (ADJACENT RESIDENTIAL)

UTILIZING DOUBLE STAGGERED ROW OF

EVERGREEN TREES (PS), (PN), (PO), (TOE),

AREAS ADJACENT TO THE DRIVEWAYS ARE

TOTAL PARKING AREA: 5,037 S.F.

CENTER ALONG BOTH FRONTAGES, SEE

REQUIRED 5%: 251.8 S.F.

PROPOSED: 612 S.F. (12.1%)

/OR JUNIPER (JHBH)

PLANTED WITH GRASS, INKBERRY (IGC), AND

PROPOSED: 1 SHADE TREE (AR)

ARE A MIN. OF 5 FEET IN HEIGHT AND

SPACED AT 5 FEET ON CENTER.

OF PARKING AREAS

VEGETATION REMAINS

FOR SIGHT TRIANGLE

OF MATURITY

PROPERTY AND PORTIONS OF STREET

FRONTAGE. HEDGE TO SCREEN STREET

SCREENING TO BE MORE THAN 3 FEET FROM

ANY STREET OR PROPERTY LINE AT THE TIME

ALL SPECIFIED PLANTS ARE COMMON TO THE

LANDSCAPE SPECIFICATIONS #10 FOR PLANT

QUALITY, #17A FOR GUARANTEE, AND #12G

COMPLIES

REQUIRED

(H)(3). IN THE C-3, C-LI AND I ZONES, LANDSCAPING SHALL BE PROVIDED

WIDE IN THE FRONT YARD AND 15 FEET WIDE IN SIDE AND REAR YARDS

WHEN ABUTTING NONRESIDENTIAL USES OR ZONES; AND 30 FEET WIDE

ALONG SIDE AND REAR YARDS WHEN ABUTTING RESIDENTIAL USES OR

REOUIRED ELSEWHERE IN THIS TITLE SO AS TO PROVIDE A YEAR-ROUND

VISUAL OR PARTIAL ACOUSTICAL BARRIER TO CONCEAL THE VIEW OR

SOUNDS OF VARIOUS UTILITARIAN OPERATIONS AND USES FROM THE

(B). SCREENING SHALL BE SO PLACED THAT AT MATURITY IT WILL NOT

(C). ALL PLANTS FOR SCREENING SHALL BE OF A SPECIES COMMON TO

OF INSECTS AND DISEASE. PLANTS WHICH DO NOT LIVE SHALL BE

PLANTINGS SHALL BE BROKEN AT POINTS OF VEHICULAR AND

TRIANGLE AT ALL STREET AND DRIVEWAY INTERSECTIONS.

FEÉT SIX INCHES ABOVE GROUND LEVEL;

(D)(2). SHRUBBERY

PEDESTRIAN INGRESS AND EGRESS TO ASSURE A CLEAR SIGHT

(D). SCREENING SHALL CONSIST OF THE FOLLOWING MATERIALS:

(D)(1). SOLID MASONRY. A SOLID MASONRY WALL NOT LESS THAN FIVE

(D)(2)(A). "LOW" TYPE SHRUBBERY SCREENING MAY BE USED IN AND AROUND PARKING AREAS, ROADWAY OR ACCESSWAYS WHERE SIGHT

DISTANCES FOR VEHICULAR AND PEDESTRIAN TRAFFIC ARE A PRIME CONSIDERATION. SHRUBBERY SHALL BE A MINIMUM OF THREE FEET

HIGH WHEN PLANTED AND BE OF SUCH DENSITY AS WILL OBSCURE.

(D)(2)(B). ALL OTHER SHRUBBERY FOR SCREENING SHALL BE A MINIMUM

(D)(2)(C), DENSE HEDGES OF SHRUBBERY PLANTED AT A MAXIMUM OF

(D)(3). TREES. TREES FOR SCREENING SHALL BE EVERGREENS HAVING A

MINIMUM HEIGHT OF FIVE FEFT ABOVE THE GROUND WHEN PLANTED.

FIVE FEET ON CENTERS IN TWO OR MORE STAGGERED ROWS WITH A

EIGHT-FOOT HEIGHT AT TIME OF PLANTING WITH A MINIMUM CALIPER

PARKING AND LOADING AREAS FOR COMMERCIAL AND INDUSTRIAL USES

EXISTING RESIDENTIAL USE, OR ANY RESIDENTIAL ZONING DISTRICT IN

ANDSCAPING IN PARKING AND LOADING AREAS SHALL BE SHOWN ON

LOWER THAN SIX FEET, AND PLACED AT THE RATE OF AT LEAST ONE

SHRUBS AND GROUND COVER ANY PLANTINGS WHICH DO NOT LIVE

NATURAL GROUND ELEVATIONS, OR PLANTINGS, SINGULARLY OR IN

SHALL BE REPLACED WITHIN TWO YEARS, OR TWO GROWING SEASONS.

A MAJORITY OF THE PARKING AREAS FOR MORE THAN 50 CARS SHALL BE

PARKING LOTS LOCATED IN FRONT OF BUILDINGS SHALL BE SCREENED

TREE FOR EVERY 20 PARKING SPACES. ALL AREAS BETWEEN THE

OBSCURED FROM STREETS BY BUILDINGS, LANDSCAPED BERMS,

TALL, DENSE SCREEN ARE REQUIRED ALONG NONPENETRABLE

SIDELINES, REAR PROPERTY LINES AND WHERE COMMERCIAL OR

INDUSTRIAL PARKING AREAS ABUT RESIDENCES OR RESIDENTIAL

ZONES. EVERGREENS SUCH AS WHITE PINE, AUSTRIAN PINE, CANADIAN

HEMLOCK, SERBIAN SPRUCE, ARBORVITAE, AND UPRIGHT YEWS MAY BE

USED, PROVIDED THEY MEET SPECIFIED HEIGHT REQUIREMENTS. ALL SCREENING AND BUFFERING SHALL BE IN ACCORDANCE WITH ARTICLE

THE AREAS ADJACENT TO THE DRIVEWAYS SHALL BE PLANTED IN LOW

BUSH, SARGENT JUNIPER, INKBERRY, JAPANESE BARBERRY OR SHRUBBY

ALL SHADE TREES SHALL HAVE A MINIMUM DIAMETER OF 2 1/2 INCHES MEASURED THREE FEET ABOVE THE GROUND AND BE OF A SPECIES

FEET TO 60 FEET APART AND PARALLEL TO, BUT NO MORE THAN 20 FEET

GROWN, FREE FROM INSECTS AND DISEASE, AND TRUE TO SPECIES AND

CAREX PENSYLVANICA / PENNSYLVANIA SEDGE

PLANTS OR GRASS. APPROPRIATE LOW PLANTS INCLUDE BUTTERFLY

THE LANDSCAPING PLAN. TREES SHALL BE STAGGERED AND/OR SPACED SO AS NOT TO INTERFERE WITH DRIVER VISION, HAVE BRANCHES NO

PARKING AREA AND THE BUILDING SHALL BE LANDSCAPED WITH TREES,

SHALL BE BUFFERED AND SCREENED FROM ADJOINING STREETS, AN

A MANNER MEETING THE OBJECTIVES OF ARTICLE 26, BUFFERS AND

FIVE-FOOT SEPARATION BETWEEN ROWS. EVERGREENS MAY BE

SUPPLEMENTED WITH DECIDUOUS TREES HAVING A MINIMUM.

TREES SHALL BE PLACED FIVE FEET ON CENTERS IN A SINGLE ROW, OR

THROUGHOUT THE FULL COURSE OF THE YEAR, THE GLARE OF

AUTOMOBILE HEADLIGHTS EMITTED FROM THE PREMISES.

OF FIVE FEET HIGH AT THE TIME OF PLANTING.

30 INCHES ON CENTER MAY BE USED.

SCREENING, OF THIS CHAPTER.

COMBINATION.

CINQUEFOIL.

AREA PROVIDED.

VARIETY.

FROM ADJACENT ROADWAYS.

26, BUFFERS AND SCREENING.

(OTHER REQUIRED | (B). THE APPLICANT SHALL LANDSCAPE 5% TO 10% OF THE PARKING

REPLACED WITHIN TWO YEARS OR TWO GROWING SEASONS SCREEN

THE AREA, BE OF BALLED OR BURLAPPED NURSERY STOCK, AND BE FREE

BE CLOSER THAN THREE FEET FROM ANY STREET OR PROPERTY LINE

IN ALL YARDS. WITH MINIMUM PLANTED AREAS OF AT LEAST 20 FEET

(A). SCREENING SHALL BE PROVIDED WITH BUFFER STRIPS OR AS

STREET OR ADJACENT PROPERTIES.

SECTION

SECTION:

310-16-6

SECTION:

310-26-4

SECTION:

310-40-4

SECTION:

SECTION:

310-41-5

SECTION:

310-41-6

SECTION:

SECTION:

310-41-8

SECTION:

310-45-2

310-41-7

310-40-12

SECTION

SUPPLEMENTARY

REGULATIONS

(LANDSCAPE

BUFFER AREAS AND

DESIGN)

SCREENING

PARKING AND

LOADING AREA

DESIGN

(BUFFERS)

OFF-STREET

LOADING AREA

DESIGN

LANDSCAPING

(PARKING AREAS

IN FRONT OF

(SCREEN AREAS

AND BUFFERS)

LANDSCAPING

LANDSCAPING

LANDSCAPED

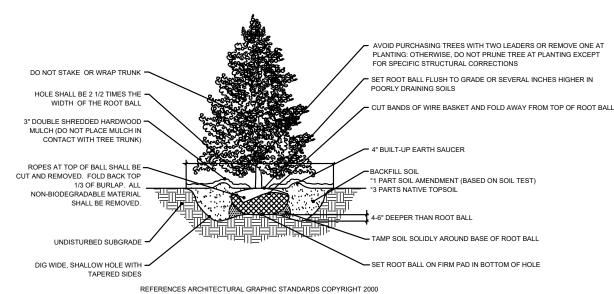
AREAS)

(REGULATIONS)

(LANDSCAPING)

ZONES.

FOR CONTAINER-GROWN TREES, USE FINGERS OR SMALL HAND TOOLS TO PULL THE ROOTS OUT OF THE OUTER LAYER OF POTTING SOIL; THEN CUT OR PULL APART ANY ROOTS CIRCLING THE PERIMETER OF THE CONTAINER 2. THOROUGHLY SOAK THE TREE ROOT BALL AND ADJACENT PREPARED SOIL SEVERAL TIMES DURING THE FIRST MONTH AFTER PLANTING AND REGULARLY THROUGHOUT THE FOLLOWING TWO SUMMERS. SOIL AMENDMENTS: "MODIFY HEAVY CLAY OR SILT SOILS (MORE THAN 40% CLAY OR SILT) BY ADDING COMPOSTED PINE BARK (UP TO 30% BY VOLUME) OR GYPSUM *MODIFY EXTREMELY SANDY SOILS (MORE THAN 85% SAND) BY ADDING ORGANIC MATTER AND/OR DRY, SHREDDED CLAY LOAM UP TO 30% OF THE TOTAL MIX



EVERGREEN TREE PLANTING DETAIL

SCALE: N.T.S.

TREE PROTECTION FENCE DETAIL

3. CONSULT MANUFACTURER'S RECOMMENDATIONS AND INSTRUCTIONS AND IMPLEMENT AS REQUIRED GENERAL LOW MAINTENANCE SEED MIX (#8) LBS/ACRE LBS/1,000 S.F. OPTIMAL PLANTING DATES FINE FESCUE (BLEND) ZONE 5B & 6A = 3/15-5/31 HARD FESCUE STRONG CREEPING RED FESCUE ZONE 6B = 3/1-4/30 KENTUCKY BLUEGRASS ZONE 7A & 7B = 2/1-4/30 8/15-10/30 PERENNIAL RYEGRASS

CLAY, CLAY LOAM, AND HIGH ORGANIC SOIL

ADJUSTED BASED ON SITE SPECIFIC SOIL TESTS.

SANDY LOAM, LOAM, SILT LOAM

LOAMY SAND, SAND

SEEDING SPECIFICATIONS

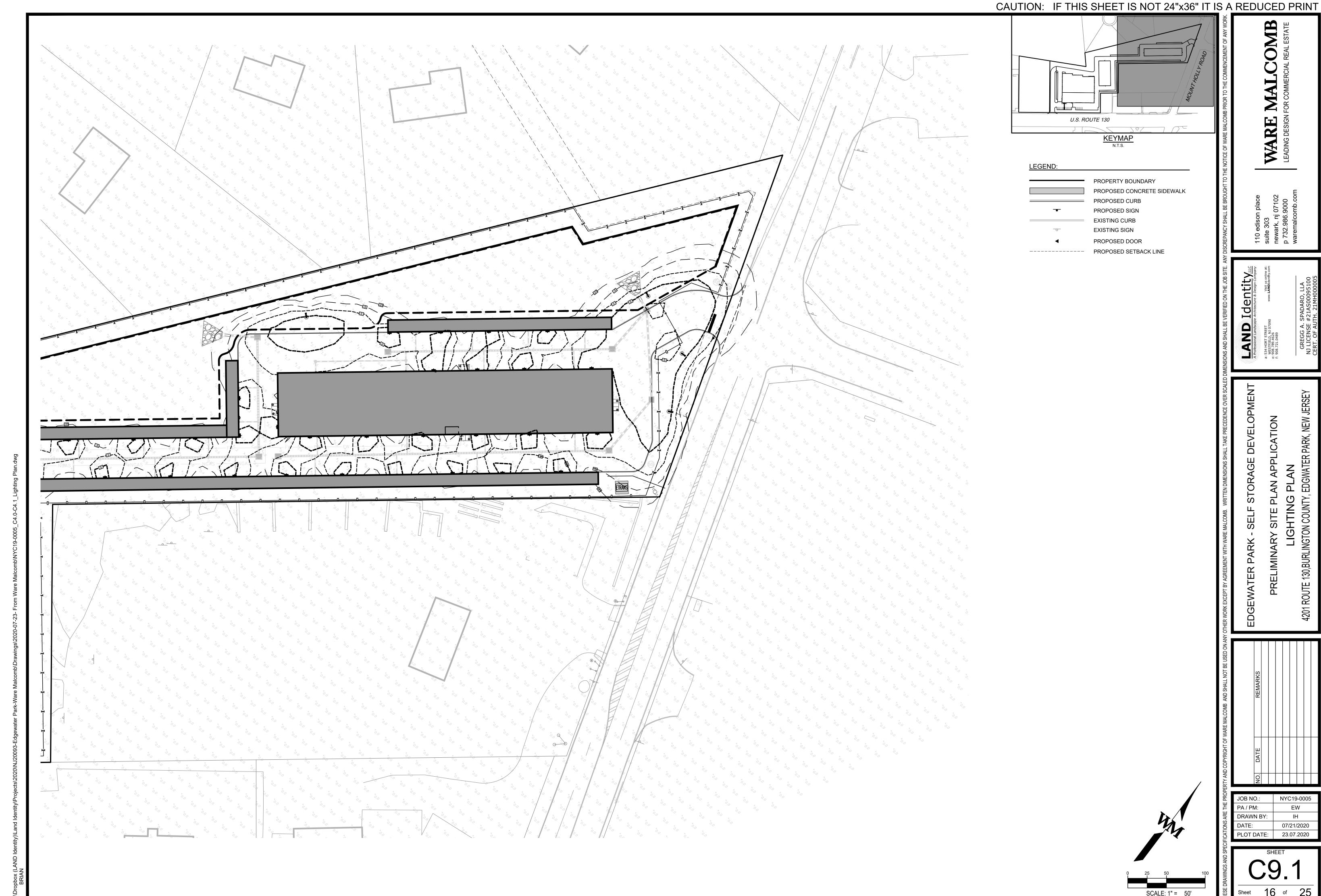
ABOVE APPLICATION RATES FOR FERTILIZER AND LIME ARE STANDARD RATES AND SHALL BE

2. TOPSOIL SHALL BE TILLED, FINE GRADED, AND RAKED FREE OF ALL DEBRIS LARGER THAN 1" IN DIAMETER. ALL LAWN AREAS SHALL BE SLOPED TO DRAIN OR PER THE APPROVED GRADING PLAN.

TONS/ACRE LBS/1,000 S.F.

WHITE CLOVER 6. APPLY UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, OR SALT HAY TO ALL SEEDED AREAS AT 2). APPLY UNIXUITED SMALL GRAIN STRAW, HAY FREE OF SEEDS, OR SALT HAY TO ALL SEEDED AREAS A THE RATE OF 11/2 - 2 TONS PER ACRE OR 70-90 POUNDS PER 1,000 S.F. SPREAD MULCH SO THAT APPROXIMATELY 85% OF THE SOIL SURFACE IS COVERED. ANCHORING OF MULCH SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE ACCOMPLISHED BY ONE OF THE FOLLOWING METHODS: PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH-BINDER.

7. IRRIGATE NEWLY SEEDED AREAS WITH A MINIMUM OF 1/4 INCH OF WATER TWICE A DAY (NOT DURING PERIODS OF INTENSE SUN) UNTIL VEGETATION IS WELL ESTABLISHED.



9	
2	
JOB NO.:	NYC19-0005
PA / PM:	EW
DRAWN BY:	IH
DATE:	07/21/2020
PLOT DATE:	23.07.2020
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U.S. ROUTE 130 **KEYMAP**

RAB ALED3T105N

120V 208V Color: Bronze Weight: 32.3 lbs 240V 277V Input Watts 107.70W

Driver Info LED Info 105W 0.89A Color Temp 4000K (Neutral) 0.58A Color Accuracy 72 CRI 0.50A L70 Lifespan 100,000 0.44A Lumens 12,042

Technical Specifications

UL Listed:

DLC Listed:

Code: P63XMC4E

Suitable for wet locations

IESNA LM-79 & LM-80 Testing:

Dark Sky Conformance:

mounts, and pole).

Lifespan:

water

LED Characteristics

results and TM-21 calculations

ALED3T105N

RAB LED luminaires and LED components have

been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80.

Conforms to (allows for conformance to) the

IDA's fully shielding requirement, emitting no

light above 90 degrees (with the exclusion of

incidental light reflecting from fixture housing,

Multi-chip, high-output, long-life LEDs Color Stability: LED color temperature is warrantied to shift no more than 200K in color temperature over a 5-This product is on the Design Lights Consortium year period (DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. DLC Product

Color Uniformity: RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI

Construction **IES Classification:** The Type III distribution is ideal for roadway, general parking and other area lighting applications where a larger pool of lighting is required. It is intended to be located near the side of the area, allowing the light to project

outward and fill the area. **Effective Projected Area:** 100,000-hour LED lifespan based on IES LM-80 EPA = 0.75

Green Technology:

components.

Electrical

Power Factor:

Mercury and UV free. RoHS-compliant

Suitable for use in 40°C (104°F) **Cold Weather Starting:** Minimum starting temperature is -40°C (-40°F)

60

50

40

30

20

Thermal Management: Superior thermal management with external "Air-Flow" fins

Maximum Ambient Temperature:

Efficacy 111.8 lm/W

Tempered glass lens

RAB

RAB PR5-07-25WT

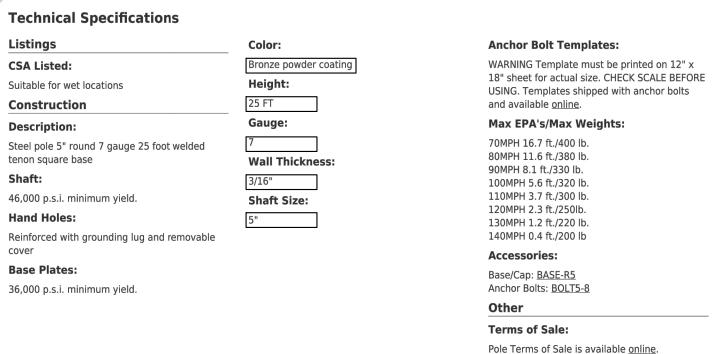
20 80 70 60 50 40 30 20 10 0 10 20 30 40 50 60 70 80

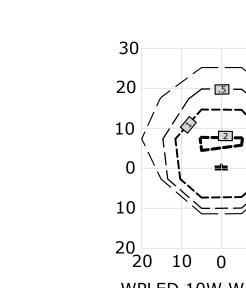
TYPE III ALED 3T105W ISO RING DETAIL

NOT TO SCALE RAB AREA LIGHT/ ALED3T105NK

25' MOUNTING HEIGHT

Color: Bronze Weight: 286.4 lbs





RAB

20 10 0 10 20 WPLED 10W WALLPACK ISO RING DETAIL NOT TO SCALE RAB WALLPACK / WPLED10 12' MOUNTING HEIGHT

20 10 0 10 20

WPLED 10W WALLPACK

ISO RING DETAIL

NOT TO SCALE RAB WALLPACK / WPLED10 9'-6" MOUNTING HEIGHT

RAB

LED Info 0.1A Color Temp 5000K (Cool) 0.07A Color Accuracy 73 CRI LED 10W & 13 Wall packs. patent-pending thermal management system. 100,000 0.06A L70 Lifespan 100,000 0.05A Lumens 1,208 Input Watts 12.40W Efficacy 97.4 lm/W

Technical Specifications

Color: Bronze

WPLED10

UL Listed: Suitable for Wet Locations as a Downlight.

Suitable for Damp Locations as an Uplight. Wall Mount only. Suitable for Mounting within 4ft. of **Color Uniformity:** IESNA LM-79 & IESNA LM-80 Testing: Standard for Specifications for the Chromaticity

hour L70 lifespan. 5-year, no-compromise warranty.

RAB LED luminaires and LED components have been tested by an independent laboratory in accordance with IESNA LM-79 and LM-80. **DLC Listed:**

(DLC) Qualified Products List and is eligible for rebates from DLC Member Utilities. DLC Product Construction Code: PXP2JZLL

LED Characteristics Lifespan:

consistent fixture-to-fixture color

Electrical

100,000-hour LED lifespan based on IES LM-80 **Cold Weather Starting:** results and TM-21 calculations **Color Consistency:**

7-step MacAdam Ellipse binning to achieve

Weight: 3.3 lbs

Color Stability: **Maximum Ambient Temperature:** Suitable for use in 40°C (104°F) LED color temperature is warrantied to shift no more than 200K in color temperature over a 5-

Precision die-cast aluminum housing, lens frame RAB's of Correlated Color Temperature follows the guidelines of the American National Surface plate and Junction box

Green Technology: of Solid State Lighting (SSL) Products, ANSI Mercury and UV free. RoHS-compliant components. Lumen Maintenance: The LED will deliver 70% of its initial lumens at 100,000 hours of operation

Finish: Formulated for high durability and long-lasting

Minimum starting temperature is -40°C (-40°F)

Technical Specifications (continued)

Construction Housing: Die-cast aluminum housing, lens frame and mounting arm

7.9% at 120V, 16.8% at 277V Universal mounting arm compatible for hole spacing patterns from 1" to 5 1/2" center to center. Round Pole Adaptor plate included as a standard. Easy slide and lock to mount fixture 99.6% at 120V, 94.5% at 277V with ease. Round pole diameter must be >4" to mount fixtures at 90° orientation. Reflector:

Formulated for high durability and long-lasting

Specular vacuum-metallized polycarbonate Gaskets: High-temperature silicone gaskets 2.5" to 6" IP Rating:

Compatibility: Compatible with Round Poles with a diameter of **BAA Compliance:** Ingress Protection rating of IP66 for dust and Click here for BAA compliance.

fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty. **Equivalency:** Replaces 320W Metal Halide Buy American Act Compliance:

Warranty:

RAB warrants that our LED products will be free

from defects in materials and workmanship for a

period of five (5) years from the date of delivery

output, color stability, driver performance and

to the end user, including coverage of light

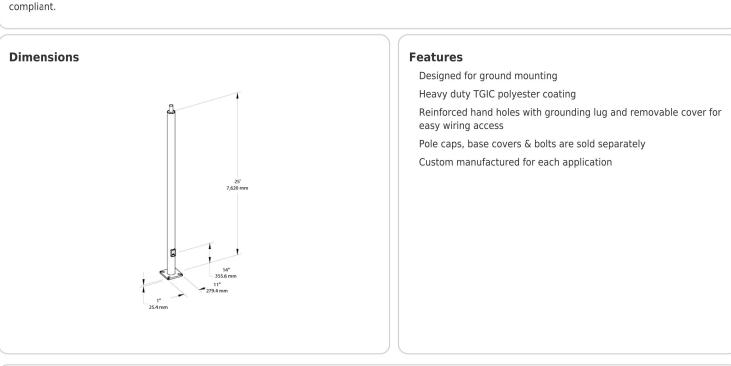
RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA compliant. Optical

BUG Rating: B1 U0 G2

Dimensions Features 66% energy cost savings vs. HID 100,000-hour LED lifespan 5-Year, No-Compromise Warranty PR5-07-25WT

Technical Specifications (continued)

Buy American Act Compliance: RAB values USA manufacturing! Upon request, RAB may be able to manufacture this product to be compliant with the Buy American Act (BAA). Please contact customer service to request a quote for the product to be made BAA



Family	Shape	Size G	Gauge Height	Drilled/Welded Tenon
Р	R	5	7 25	WT
	R = Round TR = Taped Round		7 = 7 10 = 10' 11 = 11 15 = 15' 20 = 20' 25 = 25' 30 = 30'	WT = Welded Tenon

WPLED10

Technical Specifications (continued) Construction **Power Factor:** 98.5% at 120V, 92.1% at 277V Gaskets: High-temperature Silicone

The LPACK design is protected under patents in the U.S. Pat. D608,040, Canada Pat. 130,243, Multi-chip 10W high output long life LED Driver China Pat. 200930183252.2, and pending Constant Current, Class II, 120V-240V, 50/60/ patents in Taiwan and Mexico. Hz, 350mA Warranty:

10.8% at 120V, 13.8% at 277V to the end user, including coverage of light output, color stability, driver performance and

terms and conditions found at

rablighting.com/warranty.

Patents:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of five (5) years from the date of delivery B1 U0 G0 fixture finish. RAB's warranty is subject to all

Features

Maintains 70% of initial lumens at 100,000-hours Weatherproof high temperature silicone gaskets Superior heat sinking with die cast aluminum housing and external 5-Year, No-Compromise Warranty

ALED3T105N

RAB

Family	Optics	Wattage	Mounting	Color Temp	Finish	Driver Options	Options	Other Options
ALED	3T	105		N				
	4T = Type V 3T = Type III 2T = Type II	50 = 50W 78 = 78W 105 = 105W 125 = 125W 150 = 150W	Blank = Pole mount SF = Slipfitter	Blank = 5000K (Cool) N = 4000K (Neutral) Y = 3000K (Warm)	Blank = Bronze RG = Roadway Gray W = White K = Black	Blank = 120-277V /480 = 480V /BL = Bi-Level /D10 = 0-10V Dimming	Blank = No Option /LC = Lightcloud® Controller /PCS = 120V Swivel Photocell /PCS2 = 277V Swivel Photocell /PCT = 120-277V Twistlock Photocell /PCS4 = 480V Swivel Photocell /PCT4 = 480V Twistlock Photocell /WS = Multi-Level Motion Sensor /WS2 = Multi-Level Motion Sensor 20 ft. /WS4 = Multi-Level Motion Sensor 40 ft.	Blank = Standard USA = BAA Compliant

NYC19-0005 JOB NO.: PA / PM: EW DRAWN BY: ΙH 07/21/2020 PLOT DATE: 23.07.2020

Juntion Box Mount Configuration

High performance LED light engine

Equivalency:

compliant.

Equivalent to 70W Metal Halide

Buy American Act Compliance:

quote for the product to be made BAA

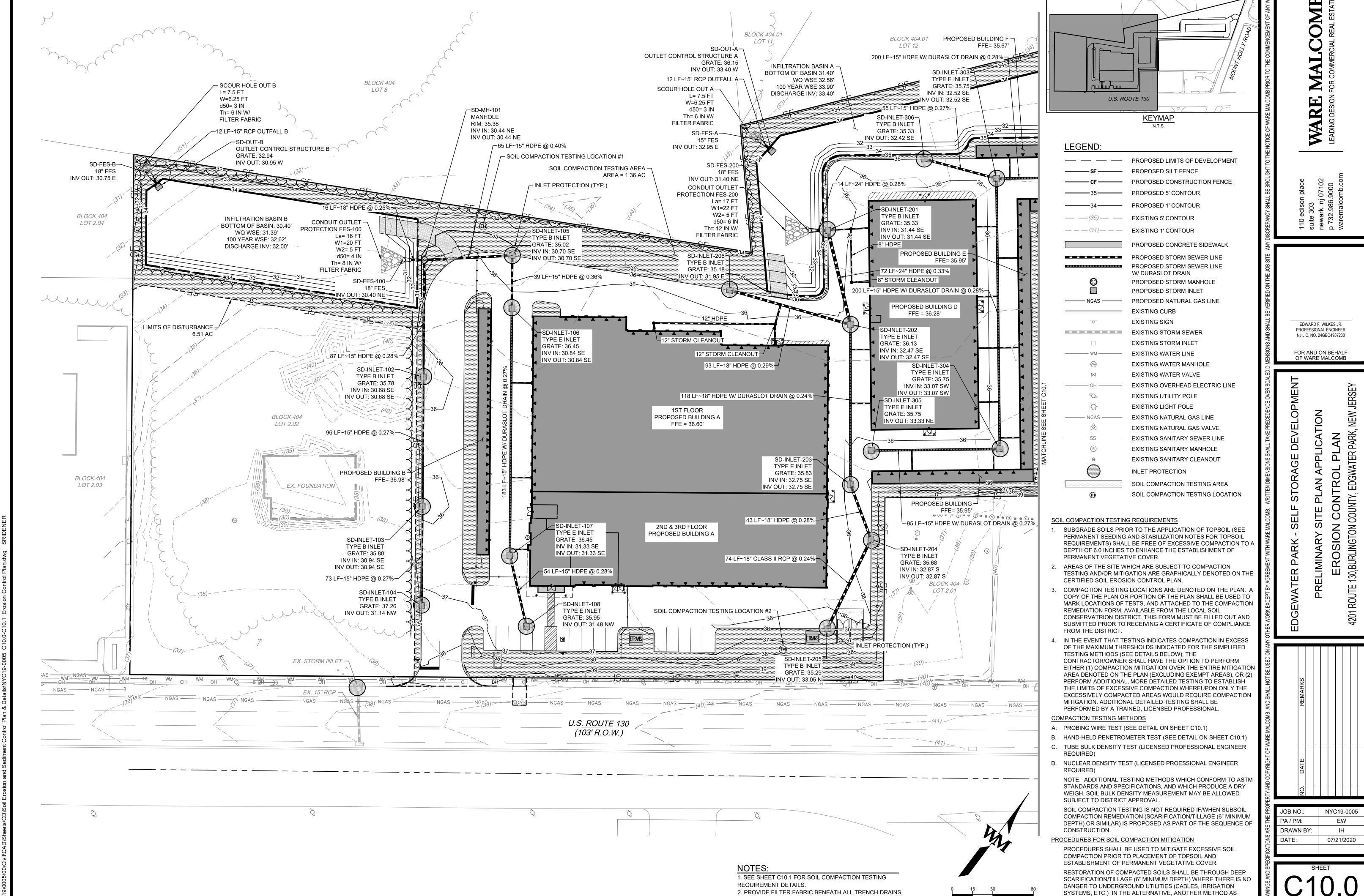
RAB values USA manufacturing! Upon request,

be compliant with the Buy American Act (BAA).

Please contact customer service to request a

RAB may be able to manufacture this product to

RAB



FOR INLET PROTECTION.

SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER

MAYBE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL

SCALE: 1" = 30'

- 1. ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
- 2. SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THE PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY
- 3. ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
- 4. ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN SIXTY (60) DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL IMMEDIATELY RECEIVE A TEMPORARY SEEDING AND FERTILIZATION IN ACCORDANCE WITH THE STANDARDS. IF THE SEASON PROHIBITS TEMPORARY SEEDING, THE DISTURBED AREAS WILL BE MULCHED

WITH SALT HAY OR EQUIVALENT AND ANCHORED IN ACCORDANCE WITH THE STANDARDS.

- 5. ALL CRITICAL AREAS SUBJECT TO EROSION WILL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH IN ACCORDANCE WITH THE STANDARDS IMMEDIATELY FOLLOWING ROUGH GRADING
- 6. THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL **EROSION AND SEDIMENT CONTROL FACILITIES.**
- 7. ALL SOIL EROSION AND SEDIMENT CONTROL STRUCTURES WILL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
- 8. SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF A FLOODPLAIN, SLOPE, ROADWAY OR DRAINAGE FACILITY. THE BASE OF ALL STOCKPILES SHOULD BE PROTECTED BY A HAY BALE BARRIER OR SEDIMENT FENCE. PROPOSED LOCATIONS MUST BE DELINEATED ON THE PLANS.
- A CRUSHED STONE TIRE CLEANING PAD WILL BE INSTALLED WHEREVER A CONSTRUCTION ACCESS EXISTS. THE RIP RAP PAD MUST BE 100 FEET IN LENGTH AND THE STONE MUST BE 1.5" - 4" IN SIZE. PLACED 12" THICK AND THE FULL WIDTH OF THE ENTRANCE. IT SHOULD BE UNDERLAIN WITH A SUITABLE SYNTHETIC FILTER FABRIC AND MAINTAINED. THE STRUCTURE MUST BE DELINEATED AND DETAILED ON THE PLANS.
- 10. IF A STONE CONSTRUCTION ACCESS IS TO BE USED AS AN EXIT ONTO A MAJOR HIGHWAY, A THIRTY (30) FOOT PAVED TRANSITION AREA SHALL BE INSTALLED.
- 11. ALL DRIVEWAYS MUST BE STABILIZED WITH 2 ½" CRUSHED STONE OR SUB BASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
- 12. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- 13. ALL CATCH BASIN INLETS WILL BE PROTECTED DURING CONSTRUCTION (FILTER DETAILS APPEAR ON PLAN).
- 14. ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL
- 15. ALL DEWATERING OPERATIONS MUST DISCHARGE DIRECTLY INTO A SEDIMENT FILTRATION DEVICE. THE SEDIMENT FILTER MUST BE PLACED SO AS NOT TO CAUSE EROSION OF THE DOWNSTREAM AREA. FIELD PLACEMENT AND USE OF THE STRUCTURE MUST BE APPROVED BY THE DISTRICT EROSION CONTROL INSPECTOR PRIOR TO COMMENCEMENT OF DEWATERING ACTIVITIES.
- 16. THE BURLINGTON COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 72 HOURS PRIOR TO ANY LAND DISTURBANCE.
- 17. SOIL HAVING A PH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE MUST BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5.0 OR MORE BEFORE SEEDBED PREPARATION.
- 18. IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROVIDE CONFIRMATION OF LIME, FERTILIZER AND SEED APPLICATION RATES AT THE REQUEST OF THE BURLINGTON COUNTY SOIL CONSERVATION DISTRICT.
- 19. NJSA 4:24-39, ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE ALL THE PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES. ALL SITE WORK FOR THE PROJECT MUST BE COMPLETED PRIOR TO THE DISTRICT ISSUING A REPORT OF COMPLIANCE AS A PREREQUISITE TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY BY THE MUNICIPALITY.
- 20. NJSA 4:24-39. ET SEQ. REQUIRES THAT UPON PERMANENT SITE STABILIZATION AND COMPLETION OF CONSTRUCTION THE CONTRACTOR SHALL APPLY TO THE SOIL CONSERVATION DISTRICT FOR A FINAL COMPLIANCE INSPECTION TO CHECK THAT ALL THE PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN COMPLIED WITH FOR PERMANENT MEASURES.
- 21. OFF-SITE SEDIMENT DISTURBANCE MAY REQUIRE ADDITIONAL CONTROL MEASURES TO BE DETERMINED BY THE DISTRICT EROSION CONTROL INSPECTOR.
- 22. A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN MUST BE MAINTAINED ON THE PROJECT SITE DURING CONSTRUCTION.
- 23. ANY CONVEYANCE OF THIS PROJECT PRIOR TO ITS COMPLETION WILL TRANSFER FULL RESPONSIBILITY FOR COMPLIANCE WITH THE CERTIFIED PLAN TO ALL SUBSEQUENT OWNERS.
- 24. IMMEDIATELY AFTER THE COMPLETION OF STRIPPING AND STOCKPILING TOPSOIL, THE STOCKPILE SHALL BE SEEDED WITH TEMPORARY VEGETATION. STABILIZE TOPSOIL STOCKPILES WITH STRAW MULCH FOR PROTECTION IF THE SEASON
- 25. ANY CHANGES TO THE SITE PLAN WILL REQUIRE THE SUBMISSION OF A REVISED SOIL EROSION AND SEDIMENT CONTROL PLAN TO THE BURLINGTON COUNTY SOIL CONSERVATION DISTRICT. THE REVISED PLAN MUST BE IN ACCORDANCE WITH THE CURRENT STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
- 26. MAXIMUM SIDE SLOPES OF ALL EXPOSED SURFACES SHALL NOT BE CONSTRUCTED STEEPER THAN 3:1.
- 27. THE DISTRICT EROSION CONTROL INSPECTOR MAY REQUIRE ADDITIONAL MEASURES TO BE INSTALLED.
- 28. IMMEDIATELY PRIOR TO TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN ACCORDANCE WITH THE STANDARD FOR LAND GRADING. SEE DETAILS.
- 29. NJSA 4:24-39 ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY BE ISSUED BEFORE THE COMPLETION OF A SOIL COMPACTION MITIGATION VERIFICATION FORM AND CONFIRMATION BY THE DISTRICT INSPECTOR THAT THE COMPACTION MITIGATION REQUIREMENTS IN THE STANDARD FOR LAND GRADING HAVE BEEN SUFFICIENTLY ADDRESSED.
- 30. THE RESPONSIBILITY FOR EROSION CONTROLS FOR INDIVIDUAL LOTS WILL TRANSFER TO SUBSEQUENT OWNERS OF THE LOT. THIS RESPONSIBILITY WILL BE DESCRIBED IN THE DEED, AND A SINGLE FAMILY HOME PLAN CONTAINING ALL NECESSARY EROSION CONTROLS WILL BE PROVIDED TO THE OWNER.
- 31. CONCRETE TRUCK WASHOUT AREAS WILL BE MAINTAINED ON A CONTINUAL BASIS AND AS NEEDED.
- 32. THE STORMWATER POLLUTION PREVENTION PLAN AND THE SPILL RESPONSE PLAN SHALL BE AVAILABLE ON SITE FOR REVIEW BY THE SCD INSPECTOR AND/OR THE NJDEP INSPECTOR.
- 33. THE SCD INSPECTOR OR NJDEP INSPECTOR MAY REQUIRE ADDITIONAL MEASURES FOR STORMWATER POLLUTION PREVENTION TO BE INSTALLED.
- 34. INSPECTIONS OF ALL STORMWATER POLLUTION PREVENTION PLAN MEASURES WILL BE CONDUCTED AND DOCUMENTED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
- 35. WASTE COLLECTION CONTAINERS WILL NOT BE PERMITTED TO OVERFLOW.

DOES NOT PERMIT THE ESTABLISHMENT OF TEMPORARY SEED.

- 36. ANY SPILLS OF HAZARDOUS OR SANITARY WASTES WILL BE CLEANED UP IMMEDIATELY, AND IN ACCORDANCE WITH THE SPILL RESPONSE PLAN. SPILL KITS MUST BE AVAILABLE ONSITE OR ADJACENT TO THE SITE.
- 37. ANY HAZARDOUS SUBSTANCE RELEASES IN EXCESS OF REPORTABLE QUANTITIES (RQ) ESTABLISHED UNDER 40 C.F.R 110, 117 AND 302 THAT OCCUR WITHIN A 24-HOUR PERIOD MUST BE REPORTED THE NATIONAL RESPONSE CENTER (800 424-8802).

TEMPORARY STABILIZATION NOTES:

TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

DISTURBED AREAS SHALL BE MAINTAINED IN A ROUGH GRADED CONDITION AND TEMPORARILY SEEDED AND HAY MULCHED

(OR HYDROSEEDED) UNTIL PROPER WEATHER EXISTS FOR THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER. THE FOLLOWING SEEDING SCHEDULE SHALL BE USED FOR TEMPORARILY SEEDING:

- A. LIME 90 LBS/1,000 SF GROUND LIMESTONE
- B. FERTILIZER 14 LBS/1,000 SF; 10-20-10 OR EQUIVALENT, WITH 50% WATER INSOLUBLE NITROGENM WORKED INTO SOIL TO A DEPTH OF 4 INCHES.
- C. SEED PERENNIAL RYEGRASS 100 LBS/ACRE; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1
- D. MULCH SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS/1,000 SF; TO BE APPLIED ACCORDING TO NEW JERSEY STANDARDS, MULCH SHALL BE SECURED BY APPROVED METHODS (I,E, PEG AND TWINE, MULCH NETTING, OR LIQUID MULCH BINDING).

STABILIZATION WITH MULCH ONLY

NON-GROWING STABILIZATION MEASURES SHALL BE USED WHERE THE SEASON AND OTHER CONDITIONS MAY NOT BE SUITABLE FOR GROWING AN EROSION RESISTANT COVER OR WHERE STABILIZATION IS NEEDED FOR A SHORT PERIOD UNTIL MORE SUITABLE PROTECTION CAN BE APPLIED.

SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 90 TO 115 LBS/1,000 SF TO BE APPLIED ACCORDING TO THE NEW JERSEY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, LIQUID MULCH BINDER, OR MULCH NETTING).

DUST CONTROL NOTES:

THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST

MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG. 5-1

VEGETATIVE COVER - SEE STANDARD FOR; TEMPORARY VEGETATIVE COVER, PG. 7-1, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION PG. 4-1 AND PERMANENT STABILIZATION WITH SOD. PG. 6-1

SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.

MATERIAL	WATER DILUTION	TYPE OF NOZZLE	APPLY GALLONS/ACRE	2
ANIONIC ASPHALT EMULSION	7:1	COARSE SPRAY	1200	5
LATEX EMULSION	12.5:1	FINE SPRAY	235	
RESIN IN WATER	4:1	FINE SPRAY	300	
ACIDULATED SOY BEAN SOAP STICK	NONE	COARSE SPRAY	1200	

SEDIMENT BASIN STANDARD, P. 26-1 TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE

PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROW AREA EXAMPLES OF EQUIPMENT WHICH MAY

SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

POLYACRYLAMIDE (PAM) - SPRAY ON

PRODUCE THE DESIRED EFFECT.

POLYACRYLAMIDE (PAM) - DRY SPREAD

BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLAN DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAM OR ACCUMULATION AROUND PLANTS.

STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

SEQUENCE OF CONSTRUCTION:

1.	NOTIFY IN WRITING THE BURLINGTON COUNTY SOIL
	CONSERVATION DISTRICT AT LEAST 48 HOURS PRIOR TO
	ANY PROJECT PRE-CONSTRUCTION MEETING OR SITE
	DIOTUDDANIOE

INSTALL A CRUSHED STONE, VEHICLE WHEEL-CLEANING INITIAL DISTURBANCES AS PER STANDARDS ON DRAWINGS, SITE TRAFFIC SHOULD USE ONLY THESE

3. CLEAR SITE/STRIP TOPSOIL AND PLACE IN TEMPORARY

4. EXCAVATE INFILTRATION BASINS DOWN TO FINAL BASIN BOTTOM ELEVATION AND INSTALL RETAINING WALLS

5. COMPLETE CONSTRUCTION OF ROUGH GRADING, STORM IMPROVEMENTS, BELOW-GRADE UTILITIES AND FOUNDATION.

6. AFTER STORM DRAINAGE SYSTEM AND CATCH BASINS ARE CONSTRUCTED PLACE FILTER FABRIC INLET PROTECTION ON EACH CATCH BASIN WHICH SHALL REMAIN UNTIL THE

7. BUILDING CONSTRUCTION.

8. COMPLETE FINAL SITE GRADING, CURB ASPHALT PAVING AND SIDEWALK INSTALLATION.

THE SITE ARE COMPLETE AND THE ROADS ARE PAVED. 10. LANDSCAPE ALL APPROPRIATE AREAS AS INDICATED ON

THE LANDSCAPE PLAN AND REMOVE ALL TEMPORARY

11. CLEAN ALL SITE DRAINAGE STRUCTURES AND PIPES OF SILT AND DEBRIS. DOWNSTREAM/OFF-SITE DRAINAGE FACILITIES SHALL BE INSPECTED AND CLEANED OF SILT AND DEBRIS RESULTING FROM SITE CONSTRUCTION PRIOR TO FINAL TURNOVER.

DISTRICT AT COMPLETE OF CONSTRUCTION.

DURATION:

4 WEEKS

4 WEEKS

2 MONTHS

IMMEDIATELY

6 MONTHS

3 MONTHS

2 WEEKS

1 WEEK

CONTINUOUSLY

MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO

FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE

NOTIFY IN WRITING THE BURLINGTON COUNTY SOIL
CONSERVATION DISTRICT AT LEAST 48 HOURS PRIOR TO
ANY PROJECT PRE-CONSTRUCTION MEETING OR SITE
DISTURBANCE.

BLANKET OF 1 IN. TO 2 1/2 IN. WASHED STONE 6 IN. DEEP AT THE CONSTRUCTION ENTRANCE(S) IMMEDIATELY AFTER AREAS FOR INGRESS AND EGRESS. INSTALL SILT FENCE TREE PROTECTION AND BARRIERS. EQUIP ALL EXISTING CATCH BASINS WITH FILTER FABRIC INLET PROTECTION

IMMEDIATELY UPON START OF CONSTRUCTION.

STOCKPILE.

SITE IS PAVED. REPLACE AS NECESSARY.

9. ALL SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL PERMANENT IMPROVEMENTS TO

SEDIMENT CONTROL STRUCTURES AND MEASURES. PERMANENTLY STABILIZE ALL AREAS.

12. NOTIFY THE BURLINGTON COUNTY SOIL CONSERVATION

1 DAY

PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION:

PERMANENT SEEDING SHALL BE IN ACCORDANCE WITH "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY"

THE FOLLOWING SEEDING SCHEDULE SHOULD BE USED FOR PERMANENT SEEDING (UNLESS OTHERWISE NOTED):

A. APPLY TOPSOIL TO A DEPTH OF 4".

B. LIME - 90 lbs/1,000 sf OF GROUND LIMESTONE.

C. FERTILIZER - 14 lbs/1,000 sf; 10-20-10 OR EQUIVALENT, WITH 50% WATER INSOLUBLE NITROGEN, WORKED INTO SOIL TO A DEPTH OF 4 INCHES.

D.LAWN AREAS - AREAS DESIGNATED AS LAWN, OR DISTURBED AREAS NOT DESIGNATED FOR ANY OTHER PLANTING SHALL BE PERMANENTLY STABILIZED BY SEEDING WITH THE FOLLOWING SEE MIXTURE AT A RATE OF 200 LBS / ACRE.

10% KENTUCKY BLUEGRASS - BARON MIX

20% PERMANENT RYEGRASS

70% TURF TYPE TALL FESCUE

OPTIMAL PLANTING PERIOD BETWEEN MARCH 1 AND MAY 31 OR BETWEEN AUGUST 15 AND NOVEMBER 15.

ACCEPTABLE PLANTING PERIOD BETWEEN MAY 1 AND AUGUST 14. E. MEADOW SEED MIX A ENNST SEED MIX ERNMX - 168 "NORTHEAST PERENNIAL & ANNUAL WILDFLOWER MIX"

GENERAL SEEDING NOTES:

1 IN. - 2½ IN. CRUSHED-STONE

STONE

- 1. FINAL SEED MIXTURES, RATES & SPECIES TO BE DETERMINED BASED ON SCD
- 2. SEEDING SHALL TAKE PLACE IN THE SPRING (APRIL 1 TO JUNE 1) OR THE FALL (SEPTEMBER 1 TO OCTOBER 1).
- 3. ELIMINATE UNWANTED VEGETATION PRIOR TO SEEDING USING A BROAD-SPECTRUM NON-SELECTIVE HERBICIDE PER MANUFACTURER'S SPECIFICATIONS.
- 4. IT IS RECOMMENDED THAT CONTRACTOR INSTALL SEED MIXTURE USING A NO-TILL TRUAX-TYPE DRILL WHERE APPLICABLE.
- 5. CONTINUOUS MOISTURE FOR 4-6 WEEKS MUST BE INSURED TO ALLOW PROPER GERMATION. SOIL WILL REMAIN CONTINUOUSLY MOIST FOR THE TOP 4 INCHES OF TOPSOIL. DO NOT SATURATE.

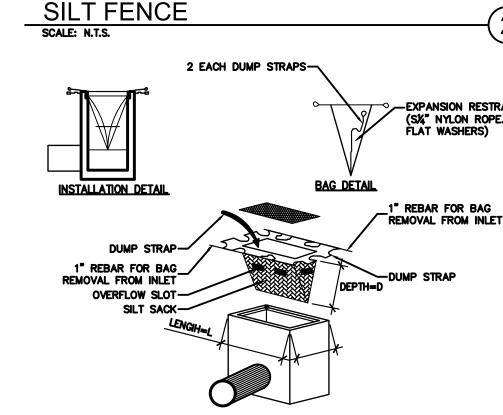
100 FT MIN.

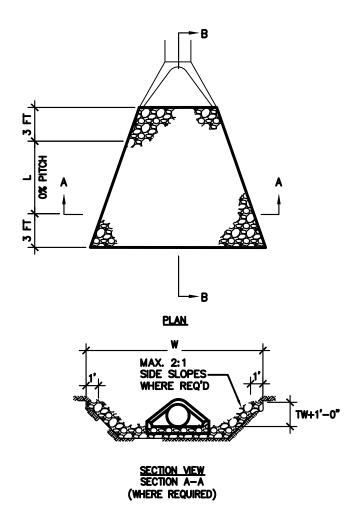
CONSTRUCTION ENTRANCE

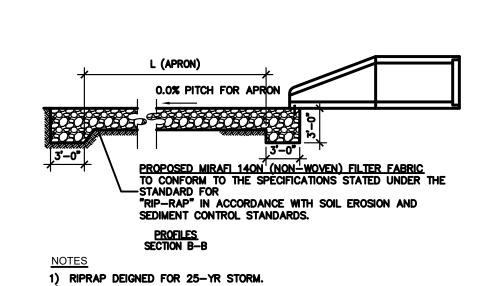
H. MULCH - SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 - 90 lbs/1,000 sf; TO BE APPLIED ACCORDING TO NEW JERSEY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (i.e. LIQUID MULCH BINDER, CRIMPING PEG AND TWINE).

PUBLIC R.O.W.

PUBLIC RIGHT OF WAY







2) REFER TO SHEET CE101 FOR RIP RAP DIMENSIONS. CONDUIT OUTLET PROTECTION

	Rip Rap Design Summary (Adapted from design calculations)									
Description	Pipe Width (ft)	Pipe Depth (ft) D _o	Pipe Discharge (cfs) Q	Tailwater (ft) T _w	Apron Length (ft) L _a	Apron Width (ft) W	Median Riprap Diameter (in) D ₅₀	Apron Thickness (in)		
	W _o								T _h	
SD-FES-100	1.50	1.50	4.79	0.00	16	20	4.00	8	Use Filter Fabric	
SD-FES-200	1.50	1.50	6.60	0.00	17	22	6.00	12	Use Filter Fabric	
SD-FES-300	2.00	2.00	4.11	0.00	17	23	3.00	6	Use Filter Fabric	
SD-FES-400	1.50	1.50	4.43	0.00	15	20	4.00	8	Use Filter Fabric	

STOCKPILED TOP & SIDES
TO BE IMMEDIATELY STABILIZED WITH TEMPORARY SEED FERTILIZER AND LIME ETC. AS SPECIFIED HERE ON. -STOCKPILED TOPSOIL

MATERIAL TYPE OF NOZZLE NIC ASPHALT EMULSION APPLY ACCORDING TO MANUFACTURER'S POLYACRYLAMIDE (PAM) - DRY SPREAD STRUCTIONS. MAY ALSO BE USED AS AN AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD, P. 26-1 ACIDULATED SOY BEAN SOAP STICK NONE | COARSE SPRAY | 1200

STOCKPILE AREA DRAW STRING RUNNING THROUGH FABRIC ALONG-CONTRACTOR TO DIG 6" MIN. TRENCH AND LINE TRENCH WITH DRIVE ALL POSTS INTO THE S, GROUND AT BACK SIDE OF TRENCH SPACED A MAXIMUM OF 8 FT O.C. (MAX. EQUIV. OPENING SIZE=U.S. STANDARD SIEVE No. 7)
MIRAFI 100X OR APPROVED ATTACH FILTER FABRIC TO POST AND STRETCH BETWEEN POST WITH METAL FASTENER AND SILT ACCUMULATION REINFORCEMENT MATERIAL PLACED BETWEEN THE FASTENER COMPACTED SOIL AND THE GEOTEXTILE FABRIC. POST SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM

(S¼" NYLON ROPE. 2" FLAT WASHERS)

DIAMETER THICKNESS OF 1-1/2

INLET PROTECTION - SILT BANG

SION 0 Ш

WARE

EDWARD F. WILKES JR. PROFESSIONAL ENGINEER

NJ LIC. NO. 24GEO4937200

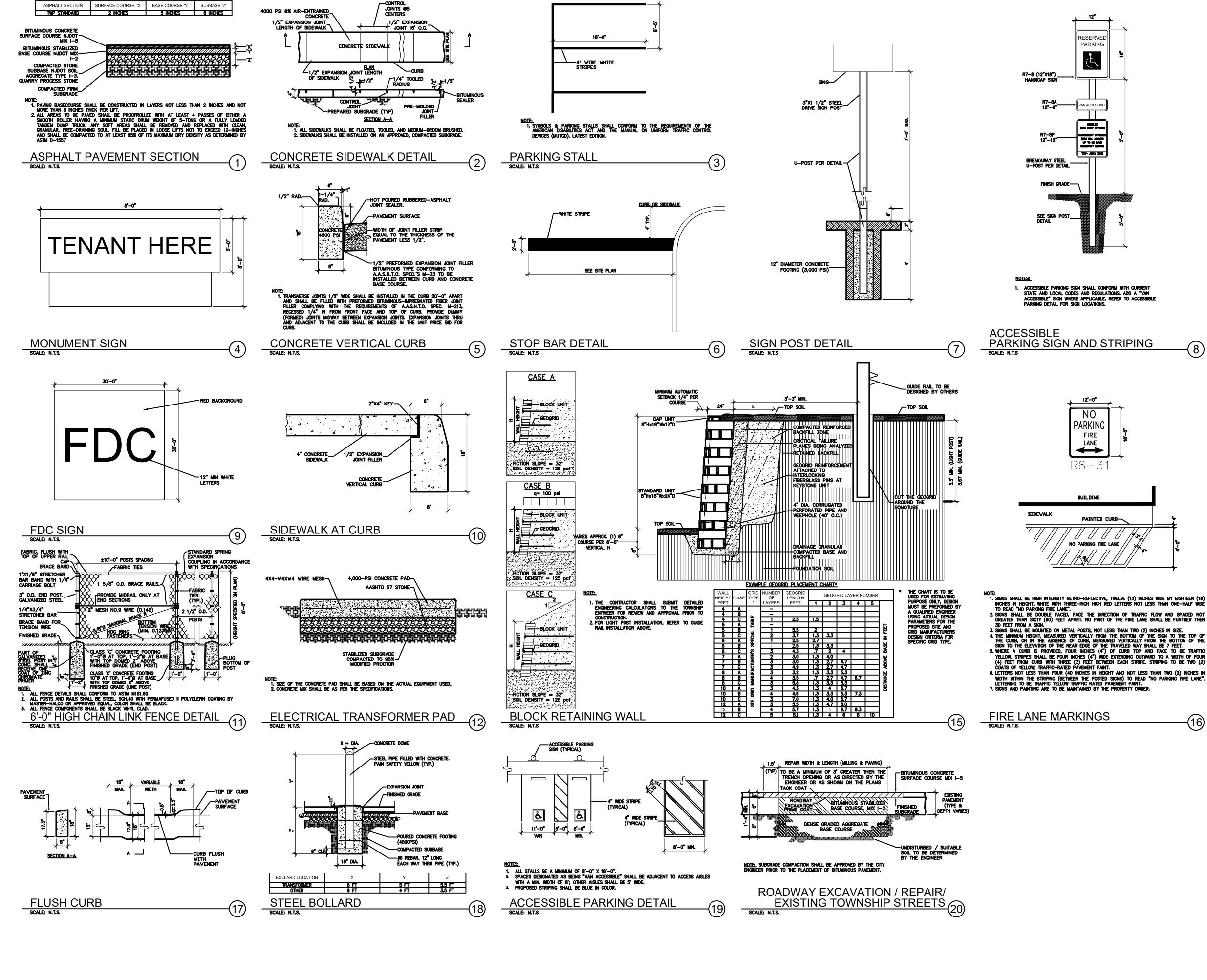
FOR AND ON BEHALF

OF WARE MALCOMB

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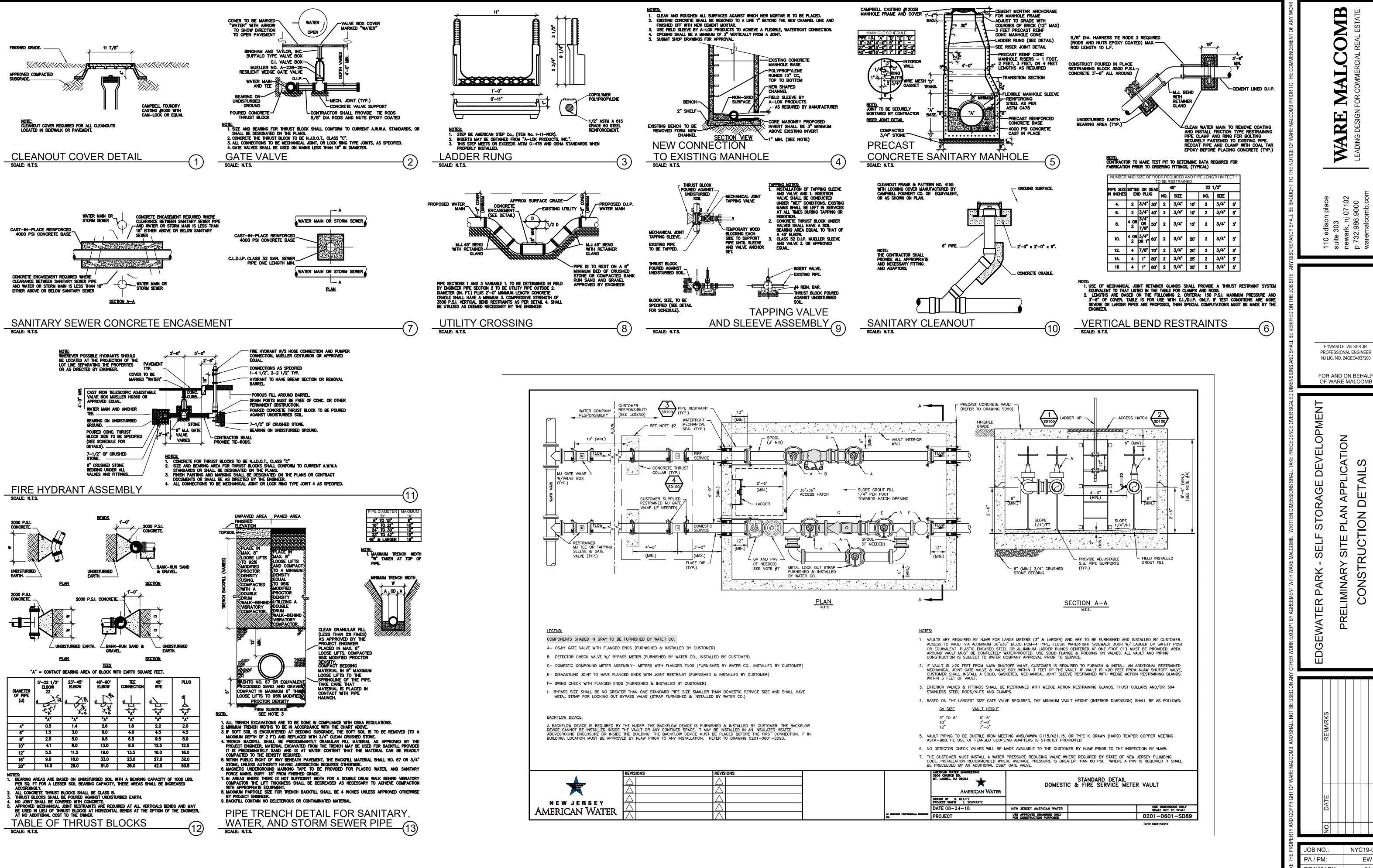
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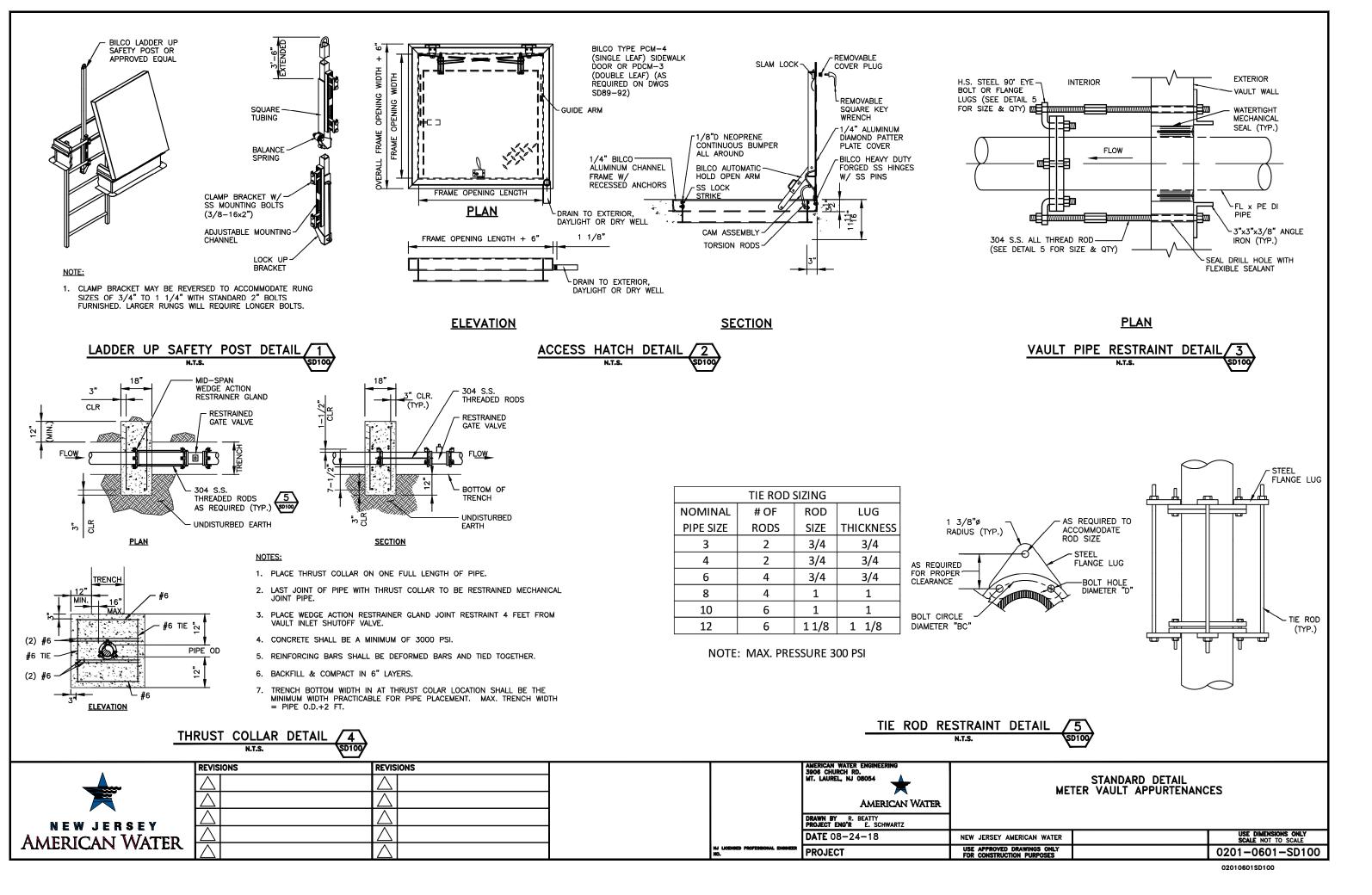
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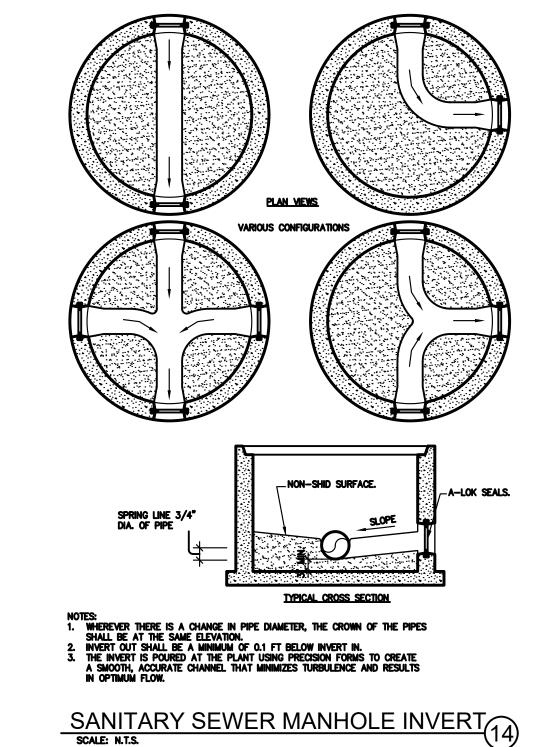
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ΕW DRAWN BY: ΙH 07/21/2020

NYC19-0005







FITTINGS & EQUIPMENT LAYING LENGTHS

	Laying Length (inches)						
Nominal Service Size	3"	4"	6"	8"	10"		
A- Gate Valve (OS&Y)	8	9	10.5	11.5	13		
B- Detector Check Valve (DCV)	15	15	21	25	28.75		
C- Domestic Compund Meter Assembly (includes spool, strainer, meter & test port)	23.375	27.875	33.375	30.125	41.125		
D- Multi-Use Meter Assembly (includes strainer, meter & test port)		33	45	53	68		
E- Dismantling Joint	9	9	9	9	10		
F- Swing Check Valve	9.5	11.5	14	19.5	24.5		
G- RPZ Backflow Preventer Assembly (inludes gate valves)	42.25	55.125	65.5	78.5	93.625		
G- Double Check Backflow Preventer Assembly (inludes gate valves)	40.375	52.375	62.875	75	90		
H- Pressure Reducing Valve (PRV) (excludes shutoffs)	12	15	20	25.375	29.75		
Y-Strainer DI Class 125	10.125	12.125	18.5	21.625	26		
Tee (Run)	11	13	16	18	22		
Tee (Branch)	5.5	6.5	8	9	11		
90° Bend	5.5	6.5	8	9	11		
Spool (FLGxFLG) (minimum length available)		4.25	4.5	5	5.5		

1. LAYING LENGTHS SHOWN ABOVE ARE APPROXIMATE AND BASED ON SPECIFIC MANUFACUTRER AND MODEL COMPONENTS. DESIGN

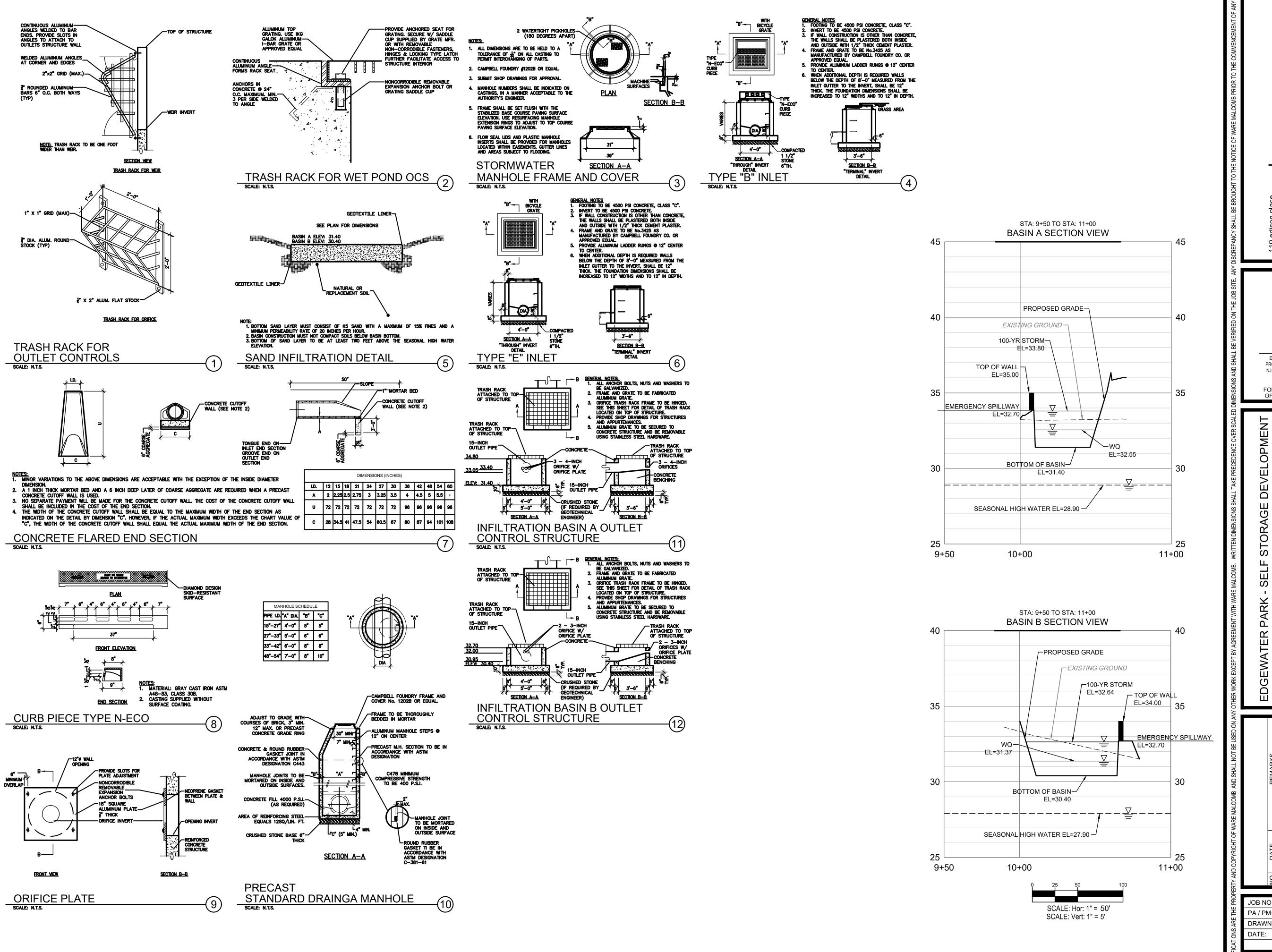
ENGINEER TO VERIFY ALL DIMENSIONS, BASED ON ACTUAL EQUIPMENT AND FITTINGS PROPOSED.

LAYING LENGTHS NOTED ABOVE DO NOT INCLUDE GASKET THICKNESS.

3. THE USE OF FLANGED COUPLING ADAPTERS IS STRICTLY PROHIBITED.

STANDARD DETAIL DOMESTIC & FIRE SERVICE TYPICAL LAYING LENGTHS OF EQUIPMENT & FITTINGS AMERICAN WATER DRAWN BY D. JOBE PROJECT ENG'R E. SCHWARTZ

DATE 08-24-18 new jersey American Water USE DIMENSIONS ONLY SCALE AS SHOWN NEW JERSEY AMERICAN WATER 0201-0601-SD102 02010601SD102



WARE MALCOMB LEADING DESIGN FOR COMMERCIAL REAL ESTATE

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EDWARD F. WILKES JR.
PROFESSIONAL ENGINEER
NJ LIC. NO. 24GE04937200

FOR AND ON BEHALF
OF WARE MALCOMB

SITE PLAN APPLICATION
RUCTION DETAILS

PRELIMINARY SITE PLAN AP
CONSTRUCTION DET
4201 ROUTE 130.BURLINGTON COUNTY, EDGWAT

NO. DATE REMARKS

JOB NO.: NYC19-0005
PA / PM: EW
DRAWN BY: IH
DATE: 07/21/2020

C11.3