

**PROJECT CONTACT LIST**

**OWNER**  
EDGEWATER PARK CROSSING GROUP, LLC (908) 451-5412  
1429E ROUTE 22 EAST,  
MOUNTAINSIDE, NJ 07092

**APPLICANT**  
EDGEWATER PARK STORAGE, LLC (973) 622-0073  
c/o TREETOP DEVELOPMENT  
THE GLENPOINTE CENTRE WEST  
500 FRANK W. BURR BOULEVARD #47  
TEANECK, NJ 07766

**CIVIL ENGINEER**  
WARE MALCOMB (732) 986-9000  
110 EDISON PLACE  
SUITE 303  
NEWARK, NEW JERSEY 07102

**ARCHITECT**  
WARE MALCOMB (732) 986-9000  
110 EDISON PLACE  
SUITE 303  
NEWARK, NEW JERSEY 07102



Township of Edgewater Park  
400 Belmar Road  
Edgewater Park, New Jersey 08010

Phone (609) 877-2050  
Fax (609) 877-2308

**200 Foot List**  
4201 Route 130, Block: 404 Lot: 2.02

Requested By: Cole Schotz P.C.

Property	Location	Class	Owner
00404 00002 01	4207 S ROUTE 130	4A	GUNAYDIN, ERDAL 12 MONTCLAIR DR DELRAN NJ 08075
00404 00002 02	4201 S ROUTE 130	1	EDGEWATER PARK CROSSING GROUP LLC 725 FEDERAL AVE KENILWORTH, NJ 07033
00404 00002 03	4185 S ROUTE 130	4A	AJC PROPERTY MANAGERS, LLC 3 FERGUSON CT MARLTON, NJ 08053
00404 00003	4213 S ROUTE 130	4A	AME INVESTMENT LLC 892 RIVER ROAD PISCATAWAY, NJ 08854
00404 00004	1655 MT HOLLY RD	4A	YOUNG, WAYNE J & SUSAN J 1655 MT HOLLY RD EDGEWATER PARK, NJ 08010
00404 01 00010	214 LEMON LANE	2	BEHME, BRUCE 214 LEMON LANE EDGEWATER PARK, NJ 08010
00404 01 00011	216 LEMON LANE	2	REDMOND, DONALD 216 LEMON LANE EDGEWATER PARK, NJ 08010
00404 01 00012	218 LEMON LANE	2	EDMONDS, JEREMY A & ELIZABETH A 218 LEMON LANE EDGEWATER PARK, NJ 08010
00404 01 00013	220 LEMON LANE	2	CONTRAVO, LOUIS J & SUSAN M 220 LEMON LANE EDGEWATER PARK, NJ 08010

Requested By: Cole Schotz P.C.

00404 01 00014	222 LEMON LANE	2	CARANAGUE, JAMES T & AMANDA 222 LEMON LANE EDGEWATER, NJ 08010
00404 01 00015	224 PEACH ROAD	2	MICHALSKI, EUGENE & MARYANN 224 PEACH ROAD EDGEWATER PARK, NJ 08010
00404 01 00016	226 PEACH ROAD	2	TOTH FRANK S JR & JANET H 226 PEACH ROAD EDGEWATER PARK, NJ 08010
00404 01 00017	228 PEACH ROAD	2	DEPEW HARRY A SR & BERNICE 228 PEACH ROAD EDGEWATER PARK, NJ 08010
00404 05 00016	217 PEACH ROAD	2	MAY, DAVID T & KELLY M 217 PEACH ROAD EDGEWATER PARK, NJ 08010
00501 00002	1502 MT HOLLY RD	1	FLEX GYM, INC 1502 MT HOLLY RD EDGEWATER PARK, NJ 08010
00501 00003	1606 MT HOLLY RD	15C	STATE OF NEW JERSEY DOT 1035 PARKWAY AVE TRENTON, NJ 08625
00501 01 00001	4225 S ROUTE 130	4A	ALDI INC % RYAN TAX COMP SERV LLC PO BOX 460049 DEPT 501 HOUSTON, TX 77056

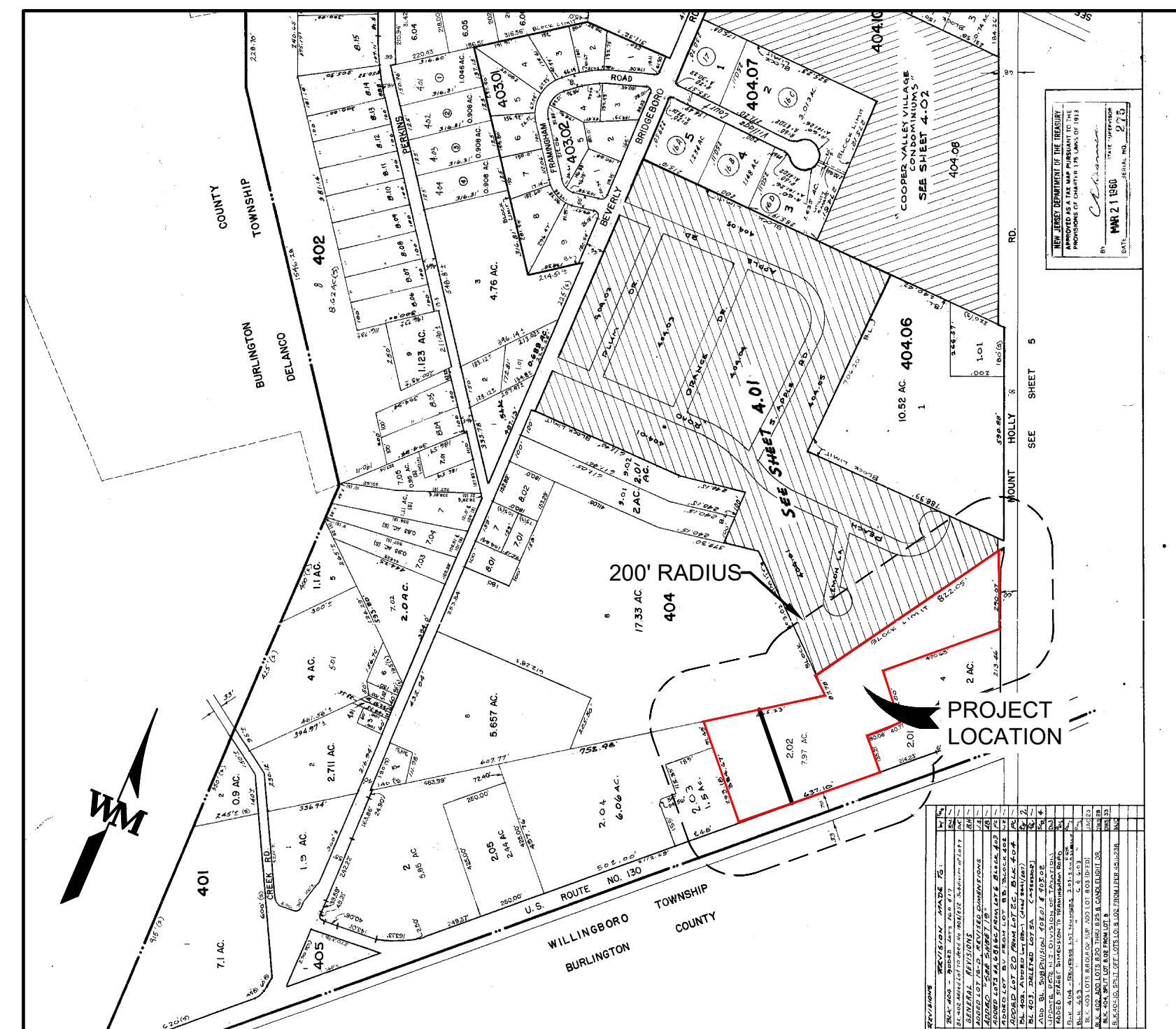
**PRELIMINARY SITE PLAN APPLICATION**

**EDGEWATER PARK - SELF STORAGE DEVELOPMENT**

LOT 2.02 BLOCK 404  
EDGEWATER PARK TOWNSHIP, COUNTY OF BURLINGTON,  
STATE OF NEW JERSEY 08010



VICINITY MAP  
SCALE: 1" = 500'



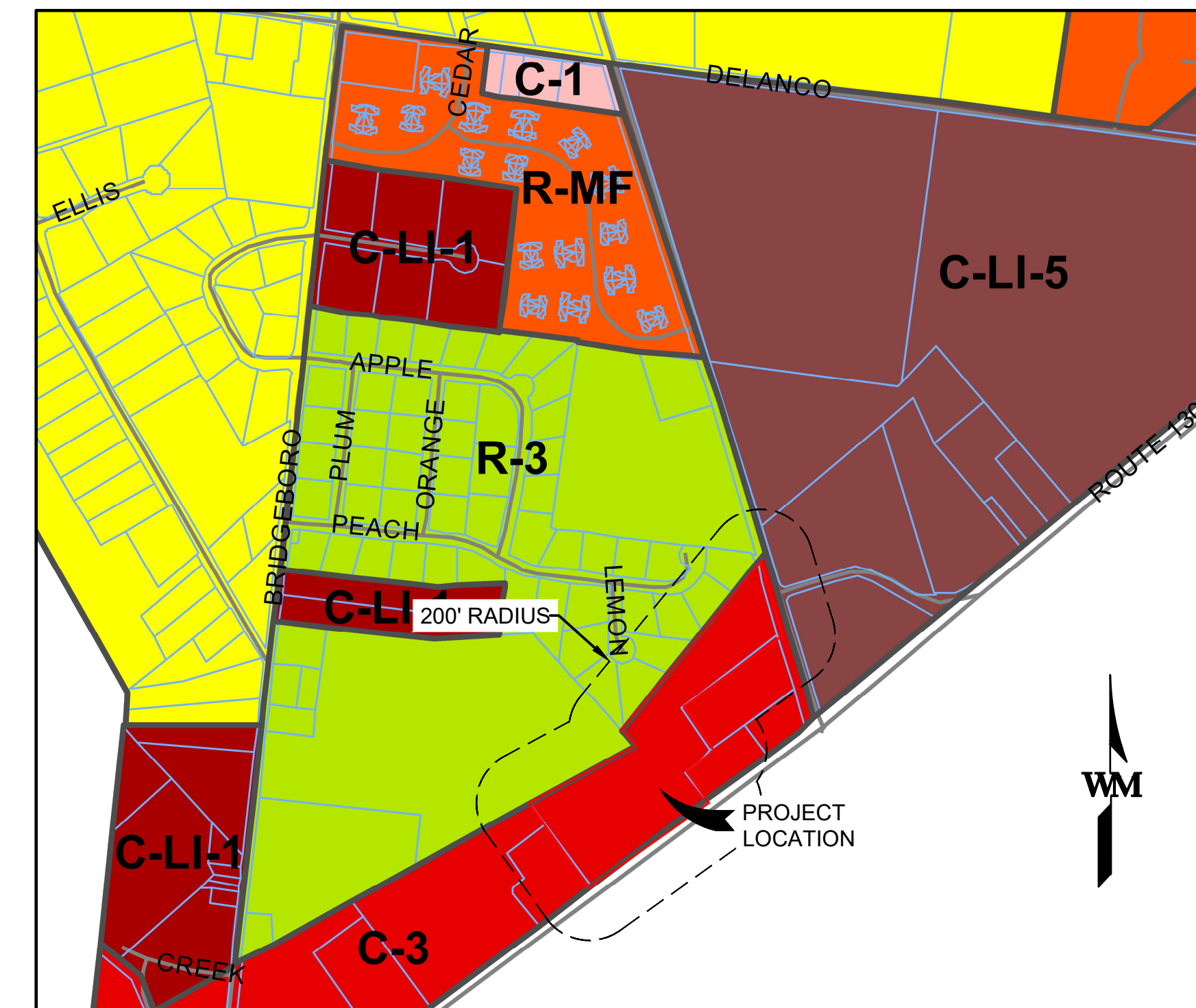
EDGEWATER PARK TAX MAP SHEET NO. 4  
1" = 500'

**GENERAL PROJECT NOTES:**

- THE PROPERTY IS KNOWN AS BLOCK 404, LOT 2.02 AS SHOWN ON TAX MAP SHEET 4 OF THE EDGEWATER TOWNSHIP, BURLINGTON COUNTY, NEW JERSEY.
- THE PROPERTY LIES IN THE HIGHWAY COMMERCIAL DISTRICT WITHIN THE TOWNSHIP OF EDGEWATER PARK.
- STREET NAMES, RIGHT-OF-WAY WIDTHS, BLOCK AND LOT NUMBERS ARE SHOWN IN ACCORDANCE WITH THE TOWNSHIP TAX MAPS.
- THE PROPERTY BOUNDARY, PLANIMETRIC, AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS REFERENCED FROM A PLAN ENTITLED "PLAN OF SURVEY - TAX LOT 404 BLOCK 2.02", DATED 12/26/2019. PREPARED BY STOUT & CALDWELL ENGINEERS, LLC.
- THE PROJECT VERTICAL DATUM IS BASED UPON 1988 (NAVD 88) ESTABLISHED BY G.P.S.
- THE PROJECT HORIZONTAL DATUM IS BASED UPON NORTH AMERICAN DATUM OF 1983 (NAD83). ESTABLISHED BY G.P.S.
- THE SUBJECT PROPERTY IS LOCATED IN AN AREA DETERMINED TO BE IN THE FOLLOWING FLOOD ZONES:  
-ZONE X: AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN AS INDICATED ON THE FLOOD INSURANCE RATE MAP, BURLINGTON COUNTY, NEW JERSEY (ALL JURISDICTIONS), PANEL 116 OF 641. COMMUNITY PANEL NUMBER: 340096 0116 F. MAP NUMBER 34005C0116F, EFFECTIVE DATE: DECEMBER 21, 2017.

WILLINGBRO 200 FT OWNER'S LIST			
BLOCK	LOT	ADDRESS	OWNER
12	1	4208 ROUTE 130	ACW CORP. T/A ARBY'S INC. PO BOX 38 YORKYN, DE 19736
13	2.01	4154 ROUTE 130 & 4148	BURL CO BOARD OF CHOSEN FREEHOLDERS 49 RANCOCAS RD. MT HOLLY, NJ 08060
13	2.02	4202 ROUTE 130	CASEL PROPERTIES, LLC C/O CASEL REALTY PO BOX 2100 WILLINGBORO, NJ 08046

UTILITY COMPANIES		
PSE&G COMPANY 80 PARK PLAZA NEWARK, NJ 08046 ATTN: GENERAL MANAGER PROPERTIES AND RISK MANAGEMENT	NJ AMERICAN WATER COMPANY DONNA SHORT, GIS SUPERVISOR 1025 LAUREL OAK ROAD VOORHEES, NJ 08043	VERIZON 911 DEPARTMENT BARBARA WINWARD 789 WAYSIDE ROAD NEPTUNE, NJ 07753 FAX: 1-800-637-9137
COMCAST CABLEVISION KEVIN SMITH, GENERAL MANAGER 21 BEVERLY-RANCOCAS RD. WILLINGBORO, NJ 08046	EDGEWATER PARK SEWERAGE AUTHORITY 1123 COOPER STREET EDGEWATER PARK, NJ 08010	



EDGEWATER PARK TOWNSHIP ZONING MAP  
(DATED APRIL 2007)  
SCALE: 1" = 500'

**SHEET INDEX**

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**HORIZONTAL DATUM**

NORTH AMERICAN DATUM OF 1983 (NAD83). ESTABLISHED BY G.P.S.

**BENCHMARK**

THE PROJECT VERTICAL DATUM IS BASED UPON 1988 (NAVD 88) ESTABLISHED BY G.P.S.  
BENCHMARK 1 - IRON PIP ON US ROUTE 130 RIGHT-OF-WAY AND DIVISION LINE BETWEEN LOTS 2.02 AND 2.01.  
ELEVATION =40.64

BENCHMARK 2 - CONCRETE MONUMENT ON NORTH PROPERTY CORNER OF LOT 17, BLOCK 404.01 ALONG THE MOUNT HOLLY ROAD RIGHT-OF-WAY  
ELEVATION =30.91

**WARE MALCOMB**  
LEADING DESIGN FOR COMMERCIAL REAL ESTATE

110 edison place  
suite 303  
newark, nj 07102  
p 732.986.9000  
waremalcomb.com

EDWARD F. WILKES, JR.  
PROFESSIONAL ENGINEER  
NJ LIC. NO. 246E04937200

FOR AND ON BEHALF  
OF WARE MALCOMB

EDGEWATER PARK - SELF STORAGE DEVELOPMENT  
PRELIMINARY SITE PLAN APPLICATION  
COVER SHEET  
4201 ROUTE 130, BURLINGTON COUNTY, EDGWATER PARK, NEW JERSEY

NO.	DATE	REMARKS

JOB NO.: NYC19-0005  
PA / PM: EW  
DRAWN BY: IH  
DATE: 07/21/2020

SHEET  
**C1.0**  
Sheet 1 of 25

WARE MALCOMB assumes no responsibility for utility locations. The utilities shown on this drawing have been plotted from the best available information. It is, however, the contractor's responsibility to field verify the location of all utilities prior to the commencement of any construction.

THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK.

CONSTRUCTION NOTES:

- 1. THE TOWNSHIP ENGINEER'S OFFICE SHALL BE NOTIFIED AT LEAST 72 HOURS BEFORE THE START OF WORK ON ANY IMPROVEMENTS UNDER ITS JURISDICTION.
2. ALL MATERIALS, METHODS OF CONSTRUCTION AND CONSTRUCTION DETAILS SHALL CONFORM TO APPLICABLE STANDARDS OF LOCAL BOROUGH, COUNTY, STATE, MUNICIPAL UTILITIES AUTHORITY AND UTILITY COMPANIES. IN CASE OF CONFLICT, THE STANDARDS OF THE ADMINISTRATIVE AUTHORITY HAVING JURISDICTION THEREOF SHALL GOVERN. THE CONTRACTOR SHALL PROVIDE THE TOWNSHIP ENGINEER WITH SHOP DRAWINGS FOR ALL ITEMS UNDER HIS JURISDICTION FOR REVIEW AND APPROVAL PRIOR TO INSTALLATION.
3. ALL DISTURBED AREAS SHALL BE STABILIZED IN ACCORDANCE WITH THE STANDARDS OF THE LOCAL SOIL CONSERVATION DISTRICT.
4. THESE PLANS REPRESENT THE OVERALL SITE WORK IMPROVEMENTS REQUIRED FOR PROJECT CONSTRUCTION. THE CONTRACTOR SHALL FURNISH, INSTALL, TEST AND COMPLETE ALL WORK TO THE SATISFACTION OF THE ENGINEER AND OWNER IN ACCORDANCE WITH THE CONTRACT DOCUMENTS. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION; AS SUCH, THESE PLANS DO NOT COMPLETELY REPRESENT, NOR ARE THEY INTENDED TO REPRESENT, ALL SPECIFIC INSTRUCTIONS REQUIRED FOR SITE WORK CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIVE TO CONSTRUCT ALL IMPROVEMENTS DEPICTED ON THESE PLANS IN ACCORDANCE WITH ALL APPLICABLE RULES, REGULATIONS AND LAWS IN EFFECT AT THE TIME OF CONSTRUCTION.
5. THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY AVAILABLE INFORMATION WHICH OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWING AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAKE ADDITIONAL TOPOGRAPHIC SURVEYS HE DEEMS NECESSARY, PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
6. ALL OPEN EXCAVATIONS SHALL CONFORM TO ALL APPLICABLE STANDARDS. TRENCH OPENINGS SHALL NOT REMAIN OPEN OVERNIGHT.
7. EXCAVATED MATERIAL USED FOR EMBANKMENTS SHALL CONFORM TO THE STANDARDS OF SECTION 203 OF THE NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION.
8. TO THE EXTENT PRACTICABLE, NO TOPSOIL SHALL BE REMOVED FROM THE SITE OR USED AS SPOIL. TOPSOIL STRIPPED AND STOCKPILED DURING THE COURSE OF CONSTRUCTION SHALL BE REDISTRIBUTED SO AS TO PROVIDE EQUAL COVER TO ALL AREAS OF THE SITE AND SHALL BE STABILIZED BY SEEDING OR PLANTING.
9. ALL TOPSOIL TO BE USED ON SITE SHALL BE TESTED FOR CONFORMANCE WITH THE LATEST BOROUGH STANDARDS AND NJDEP STANDARDS. THE STRICTER STANDARDS SHOULD APPLY. RESULTS SHALL BE FORWARDED TO THE BOROUGH ENGINEER FOR APPROVAL PRIOR TO PLACEMENT.
10. FILL MATERIAL SHALL BE PLACED IN SIX (6) INCH LIFTS AND THOROUGHLY COMPACTED IN ACCORDANCE WITH THE MOST CURRENT NJDOT STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH THE OWNER'S GEOTECHNICAL ENGINEER AND INDEPENDENT TESTING AGENCY DURING CONSTRUCTION. REFER TO THE GEOTECHNICAL REPORT FOR ADDITIONAL REQUIREMENTS.
11. WHERE NEW PAVEMENT IS PROPOSED ADJACENT TO EXISTING PAVEMENT, THE EXISTING PAVEMENT SHALL BE CUT (1) FOOT FROM THE EDGE TO PROVIDE A NEAT LINE AGAINST WHICH TO PAVE.
12. ALL ELECTRIC, GAS, TELEPHONE, CABLE TELEVISION AND OTHER PUBLIC UTILITY LINES SHALL BE INSTALLED UNDERGROUND IN ACCORDANCE WITH UTILITY COMPANY DETAILS. MINIMUM HORIZONTAL CLEARANCE BETWEEN PUBLIC UTILITY LINES AND WATER OR SEWER MAINS SHALL BE THREE (3) FEET.
13. THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITY AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN BY THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PERFORMING TEST PITS AS REQUIRED BY THE DESIGN ENGINEER OR AS DEEMED NECESSARY TO ACCURATELY LOCATE, BOTH HORIZONTALLY AND VERTICALLY, ALL UTILITIES AFFECTED BY THE PROPOSED CONSTRUCTION.
14. DURING CONSTRUCTION, ALL EXISTING OVERHEAD AND UNDERGROUND UTILITY LINES MUST BE PROTECTED, MAINTAINED AND KEPT OPERATIONAL BY THE CONTRACTOR IN ACCORDANCE WITH STANDARDS OF THE ADMINISTRATIVE AUTHORITY HAVING JURISDICTION THEREOF. THE CONTRACTOR SHALL SUPPORT UTILITY POLES LOCATED ADJACENT TO EXCAVATED AREAS UNTIL THE AREAS ARE BACKFILLED AND STABILIZED.
15. ALL CONCRETE USED SHALL HAVE A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 4,500 PSI, UNLESS OTHERWISE NOTED.
16. ALL STORM SEWER PIPING SHALL BE REINFORCED CONCRETE PIPE, CLASS III WITH BELL AND SPIGOT JOINTS UNLESS OTHERWISE NOTED. CIRCULAR REINFORCED CONCRETE PIPE AND FITTINGS SHALL MEET THE REQUIREMENTS OF ASTM C76. ALL JOINTS ARE TO BE SEALED WITH EITHER RUBBER GASKETS OR BUTYL TAPE AND BE WRAPPED WITH MORTAR AND FABRIC ON THE OUTSIDE. IF RUBBER GASKETS ARE USED FOR CIRCULAR PIPE, THE JOINT DESIGN AND JOINT MATERIAL SHALL CONFORM TO ASTM C443. ALL 36-INCH AND LARGER PIPES SHALL HAVE THE INSIDE JOINTS MORTARED. MORTAR JOINTS SHALL CONFORM TO SECTIONS 601.03 AND 903.08 OF THE CURRENT NEW JERSEY DEPARTMENT OF TRANSPORTATION'S STANDARD SPECIFICATIONS OF ROAD AND BRIDGE CONSTRUCTION.

WHERE PROPOSED, CORRUGATED HIGH DENSITY POLYETHYLENE PIPE (HDPE) SHALL HAVE A SMOOTH INTERIOR AND ANNUAL EXTERIOR CORRUGATIONS IN ACCORDANCE WITH AASHTO M294-87. GASKETS FOR HDPE SHALL MEET THE REQUIREMENTS OF ASTM F477 WITH THE ADDITION THAT THE GASKETS SHALL NOT HAVE ANY VISIBLE CRACKING WHEN TESTED ACCORDING TO ASTM D1149 AFTER 72 HOURS OF EXPOSURE IN 50 PPHM OZONE AT 104 DEGREES FAHRENHEIT. INSTALLATION OF HDPE SHALL BE IN ACCORDANCE WITH ASTM D2321 WITH THE EXCEPTIONS THAT MINIMUM COVER IN TRAFFICKED AREAS SHALL BE ONE FOOT BELOW THE BOTTOM OF THE ASPHALT.

ALL INLETS IN CURBED AREAS SHALL BE TYPE "B" WITH WATER QUALITY TYPE SIX (6) INCH CURB PIECES. ALL INLETS SHALL BE PROVIDED WITH GRATES CLASSIFIED AS "BICYCLE SAFE". ALL CASTINGS SHALL BE OF AMERICAN MANUFACTURER.

- 17. ALL WATER MAIN PIPING SHALL BE DOUBLE CEMENT-LINED DUCTILE IRON PIPE CONFORMING TO ANSI A21.51 9AWWA C151) CLASS 52 WITH EITHER MECHANICAL OR MECHANICAL JOINTS, UNLESS OTHERWISE SPECIFIED. "MEG-A-LUG" RESTRAINT GLANDS (OR APPROVED EQUAL) MUST BE INSTALLED ON ALL FITTINGS HAVING MINIMUM COVER OVER WATER MAINS AND WATER SERVICE PIPING SHALL BE FOUR (4) FEET. THRUST BLOCKS SHALL BE INSTALLED AT ALL TEES, BENDS, PLUGS, REDUCERS, HYDRANT CONNECTIONS AND ANYWHERE ELSE REQUIRED BY THE LOCAL WATER COMPANY OR AGENCY HAVING JURISDICTION THEREOF. THE RODS MUST BE INSTALLED WITH ALL FIRE HYDRANT ASSEMBLIES.

ALL WATER MAINS AND ASSOCIATED FITTINGS MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LOCAL WATER COMPANY OR AGENCY HAVING JURISDICTION THEREOF.

- 18. ALL GRAVITY SANITARY SEWER MAIN AND LATERALS SHALL BE PVC PIPE, SDR-35 CONFORMING TO ASTM D3034 WITH PUSH-ON JOINTS, UNLESS OTHERWISE SPECIFIED. MINIMUM COVER OVER PVC SANITARY SEWER MAINS AND LATERALS SHALL BE THREE (3) FEET.
19. SANITARY SEWER PIPING AND POTABLE WATER PIPING SHALL BE SEPARATED BY A MINIMUM OF TEN (10) FEET HORIZONTALLY AND OR EIGHTEEN (18) INCHES VERTICALLY, PLACED IN SEPARATE TRENCHES. WHERE THESE MINIMUM SEPARATION DISTANCES CANNOT BE MET, ENCASE THE SANITARY SEWER IN CONCRETE FOR A DISTANCE OF TEN (10) FEET EACH SIDE OF THE WATER MAIN. DUCTILE IRON PIPE WITH SLIP-ON JOINTS MAY BE SUBSTITUTED FOR THE CONCRETE ENCASEMENT. IN NO CASE SHALL THE VERTICAL CLEARANCE BETWEEN POTABLE WATER AND SANITARY SEWER MAINS BE LESS THAN ONE (1) FOOT.

- 20. THE MINIMUM VERTICAL CLEARANCE BETWEEN DUCTILE IRON SEWER OR WATER MAINS AND STORM SEWER PIPE CROSSINGS ABOVE SHALL BE SIX (6) INCHES. PROVIDE CONCRETE ENCASEMENT WHEN THE VERTICAL CLEARANCE IS LESS THAN ONE (1) FOOT.

- 21. THE LOCATION OF ALL PROPOSED FIRE HYDRANTS SHALL BE APPROVED BY THE LOCAL FIRE OFFICIAL AND/OR ADMINISTRATIVE AUTHORITY HAVING JURISDICTION THEREOF. ALL EXISTING FIRE HYDRANTS SHALL BE TESTED PRIOR TO CONSTRUCTION.

- 22. TRAFFIC STRIPES AND MARKINGS SHALL CONFORM TO THE REQUIREMENTS OF THE STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION, CURRENT EDITION, AS PUBLISHED BY THE NEW JERSEY DEPARTMENT OF TRANSPORTATION.

TRAFFIC CONTROL SIGNS SHALL CONFORM TO THE REQUIREMENTS OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS, CURRENT EDITION, AS PUBLISHED BY THE US DEPARTMENT OF TRANSPORTATION, FEDERAL HIGHWAY AUTHORITY.

- 23. THE PROPOSED DEVELOPMENT HAS BEEN DESIGNED WITH THE INTENT TO BE COMPLIANT WITH APPLICABLE ADA REGULATIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL IMPROVEMENTS ARE EXECUTED IN COMPLIANCE WITH THE LATEST ADA REGULATIONS.
24. ANY RETAINING WALLS 48 INCHES OR GREATER IN HEIGHT SHALL REQUIRE A BUILDING PERMIT. DESIGN CALCULATIONS FOR PROPOSED RETAINING WALLS SHALL BE SUBMITTED BY THE CONTRACTOR TO THE BOROUGH ENGINEER AND CONSTRUCTION CODE OFFICIAL FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION.

- 25. CONTRACTOR SHALL BE RESPONSIBLE FOR ARRANGING A PRECONSTRUCTION MEETING WITH EACH OF THE UTILITY COMPANIES, INCLUDING THE OWNER, ARCHITECT AND ENGINEERS TO ENSURE ALL PROJECT SPECIFIC REQUIREMENTS ARE MET. CONTRACTOR SHALL COORDINATE WITH THE UTILITY COMPANIES DURING CONSTRUCTION, INCLUSIVE OF ALL REQUIRED INSPECTIONS.

- 26. UPON COMPLETION OF THE UTILITY WORK AND IN ACCORDANCE WITH THE SPECIFICATIONS, THE CONTRACTOR SHALL PROVIDE THE OWNER WITH AN AS-BUILT SURVEY OF ALL NEW ACCURATELY RECORDED LOCATIONS OF PIPE RUNS, CONNECTIONS, OUTLET STRUCTURES, HEADWALLS, INVERT ELEVATIONS, NEW CONDUITS, GAS UTILITIES, DUCT BANDS, LIGHT POLES TO BE BACKFILLED, BULL BOXES/MANHOLES RELATED TO ON SITE ELECTRICAL CONDUIT, AND FDNY FIRE ALARMS. THE DATA SHALL INCLUDE ALL INVERTS AND ELEVATIONS OF INSTALLED UTILITIES TIED INTO ESTABLISHED PROJECT BENCHMARKS. THE SURVEY SHALL BE PROVIDED IN DIGITAL (AUTOCAD DWG) AND PAPER FORMATS, AND SHALL BE SIGNED AND SEALED BY A NEW JERSEY STATE LICENSED PROFESSIONAL LAND SURVEYOR WITHIN 30 DAYS OF PROJECT COMPLETION. THIS SURVEY MAY BE COMBINE WITH OTHER AS-BUILT SURVEY REQUIREMENTS OF SITE-WORK ITEMS, WITH THE APPROVAL OF THE OWNER. MARKED-UP DESIGN PLANS ARE NOT ACCEPTABLE FOR THE AS-BUILT REQUIREMENTS OF THE SPECIFICATIONS.

- 27. SANITARY EASEMENT HAS BEEN ADJUSTED TO CONFORM TO THE ADJUSTED PROPERTY AND THE INTENT OF THE EASEMENT TO ELIMINATE THE REAR GORE ON THE ORIGINAL SURVEY. SANITARY MANHOLES WITHIN EASEMENT INVERTS TAKEN FROM APPROVED DESIGN PLANS AND NOT FIELD VERIFIED.

BULK STANDARDS
ZONING DISTRICT: C-3 - HIGHWAY COMMERCIAL
Table with 4 columns: ITEM, PERMITTED / REQUIRED, PROPOSED, COMPLIANCE. Rows include Proposed Use, Site (Minimum Lot Area, Frontage, Depth), and Yard and Bulk Requirements (Setbacks, Height, Impervious Coverage).

\* Variance Required

PARKING REQUIREMENTS (\$16-88)
MINIMUM PARKING REQUIRED
RETAIL SALES AND SERVICE: 1 SPACE PER 200 GSF = 6.5
SELF STORAGE: NO STANDARD\* = N/A
TOTAL PARKING REQUIRED: 7
PARKING PROVIDED: STANDARD 14, HANDICAP 1, TOTAL 15

\*SELF STORAGE USE PARKING REQUIREMENT NOT PROVIDED IN ORDINANCE

SIGNAGE COMPLIANCE (\$16-90.5.B)
Table with 4 columns: ITEM, PERMITTED / REQUIRED, PROPOSED, COMPLIANCE. Rows include Freestanding Signs and Attached Signs (Number of Signs, Maximum Sign Area).

WATER DEMAND
OFFICE: 0.125 GPD PER GSF x 1,300 = 163 GPD
TOTAL WATER DEMAND: 163 GPD

SEWER DEMAND
OFFICE: 0.1 GPD PER GSF x 1,300 = 130 GPD
TOTAL WATER DEMAND: 130 GPD

LIST OF VARIANCES / DESIGN WAIVERS
Table with 2 columns: No., Description. Rows 1-4 describe variances for self storage use, parking, setbacks, and fence relief requests.

DESIGN WAIVERS
Table with 2 columns: Section, Description. Rows describe relief requests for fence construction, fence height, and fence setback.

WARE MALCOMB
LEADING DESIGN FOR COMMERCIAL REAL ESTATE
110 edison place suite 303 newark, nj 07102 p 732.986.9000 wwaremalcomb.com

EDWARD F. WILKES, JR.
PROFESSIONAL ENGINEER
NJ Lic. No. 24604937200
FOR AND ON BEHALF OF WARE MALCOMB

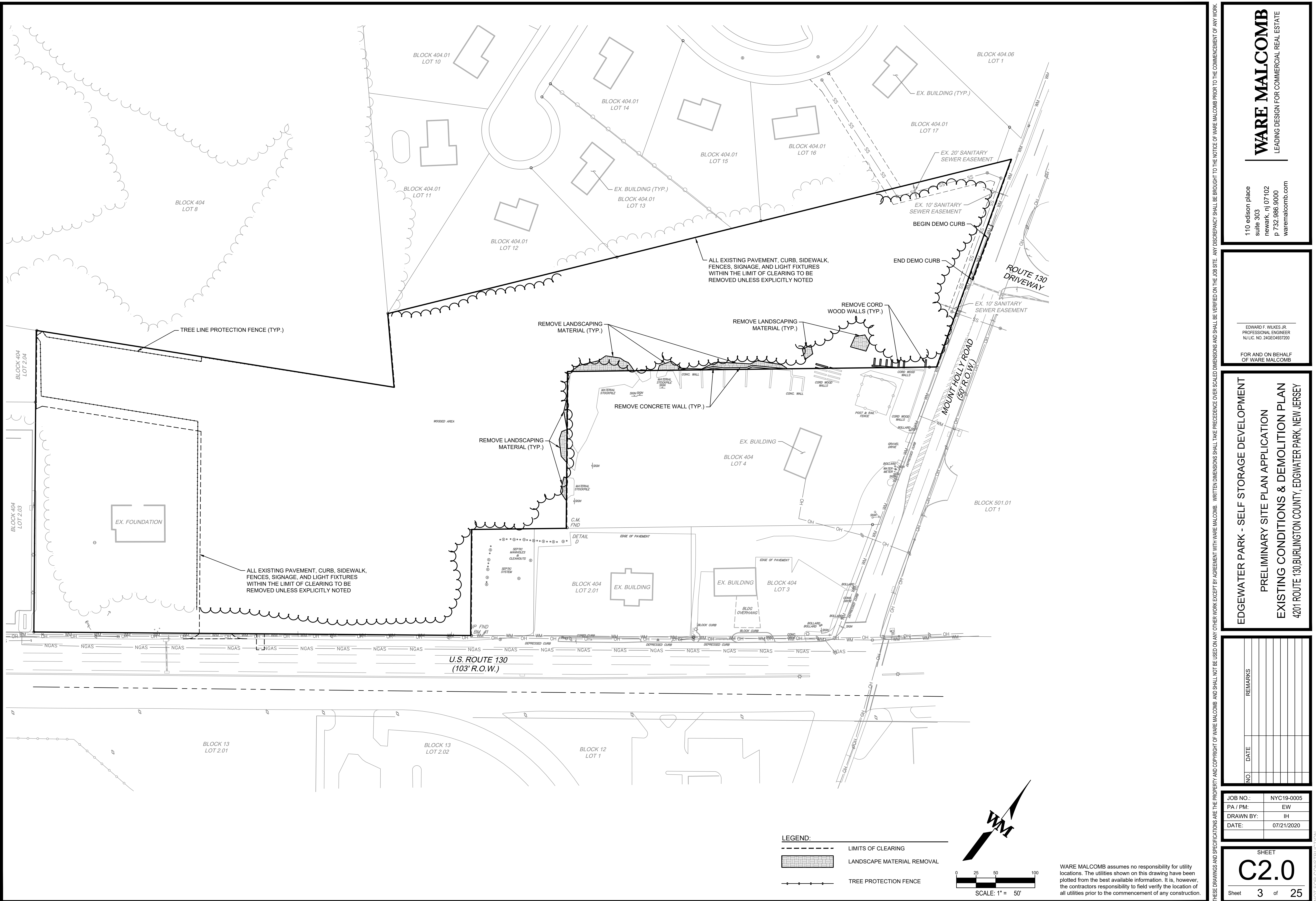
EDGEWATER PARK - SELF STORAGE DEVELOPMENT
PRELIMINARY SITE PLAN APPLICATION
ZONING COMPLIANCE & NOTES
4201 ROUTE 130, BURLINGTON COUNTY, EDGWATER PARK, NEW JERSEY

REMARKS table with columns for NO., DATE, REMARKS.

JOB NO.: NYC19-0005
PA / PM: EW
DRAWN BY: IH
DATE: 07/21/2020

SHEET C1.1
Sheet 2 of 25
NOT FOR CONSTRUCTION

W:\NYC19\0005\000\Civil\CAD\Sheets\C2\Existing Conditions & Demo Plan.dwg I:JULIN



**WARE MALCOMB**  
LEADING DESIGN FOR COMMERCIAL REAL ESTATE

110 edison place  
suite 303  
newark, nj 07102  
p 732.986.9000  
waremalcomb.com

EDWARD F. WILKES, JR.  
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NJ LIC. NO. 24GE04537200

FOR AND ON BEHALF  
OF WARE MALCOMB

**EDGEWATER PARK - SELF STORAGE DEVELOPMENT**  
**PRELIMINARY SITE PLAN APPLICATION**  
**EXISTING CONDITIONS & DEMOLITION PLAN**  
4201 ROUTE 130, BURLINGTON COUNTY, EDGWATER PARK, NEW JERSEY

NO.	DATE	REMARKS

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FOR AND ON BEHALF  
OF WARE MALCOMB

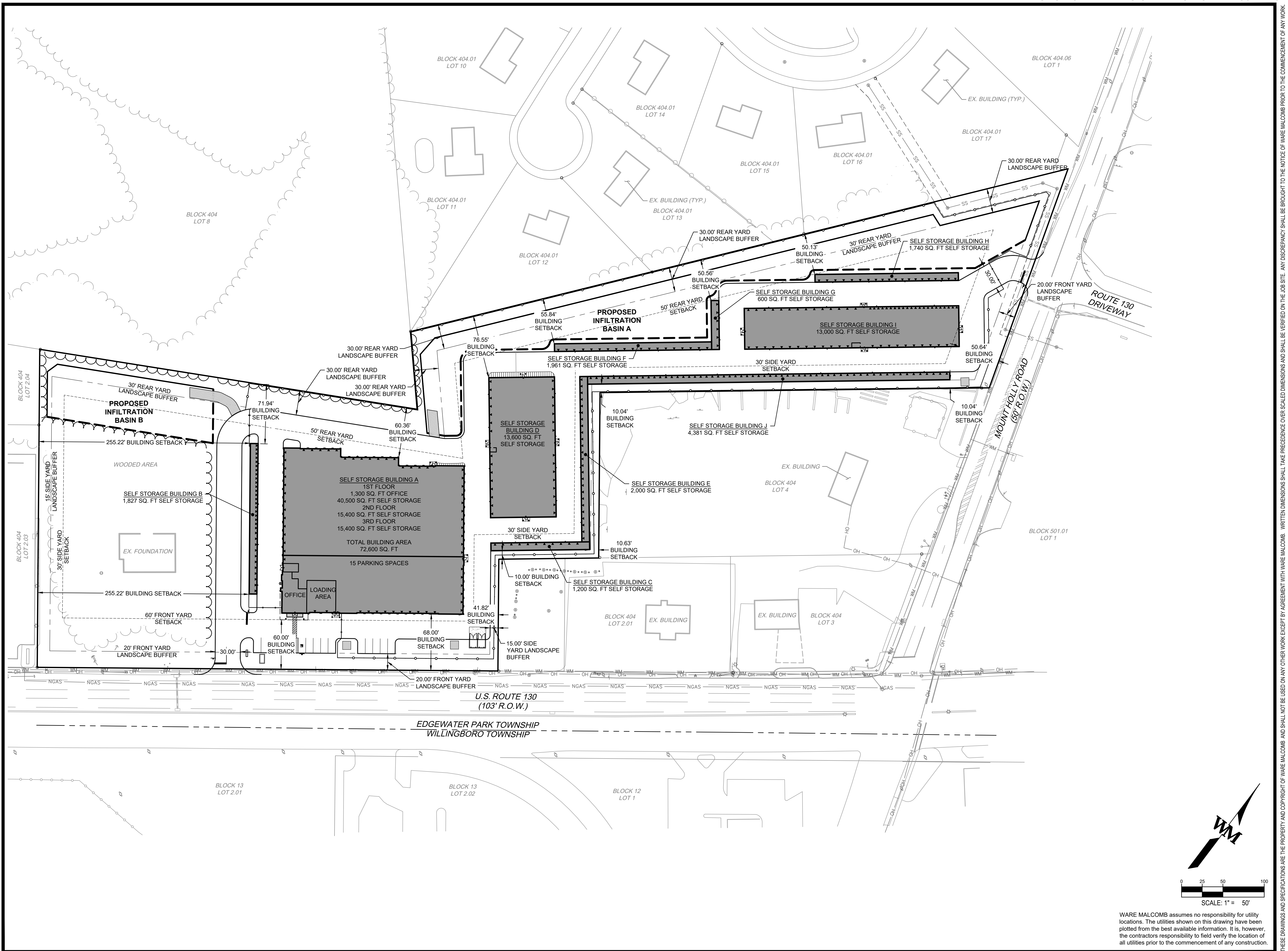
**EDGEWATER PARK - SELF STORAGE DEVELOPMENT**  
PRELIMINARY SITE PLAN APPLICATION  
OVERALL SITE PLAN  
4201 ROUTE 130, BURLINGTON COUNTY, EDGWATER PARK, NEW JERSEY

NO.	DATE	REMARKS

JOB NO.:	NYC19-0005
PA / PM:	EW
DRAWN BY:	IH
DATE:	07/21/2020

SHEET  
**C3.0**  
Sheet 4 of 25

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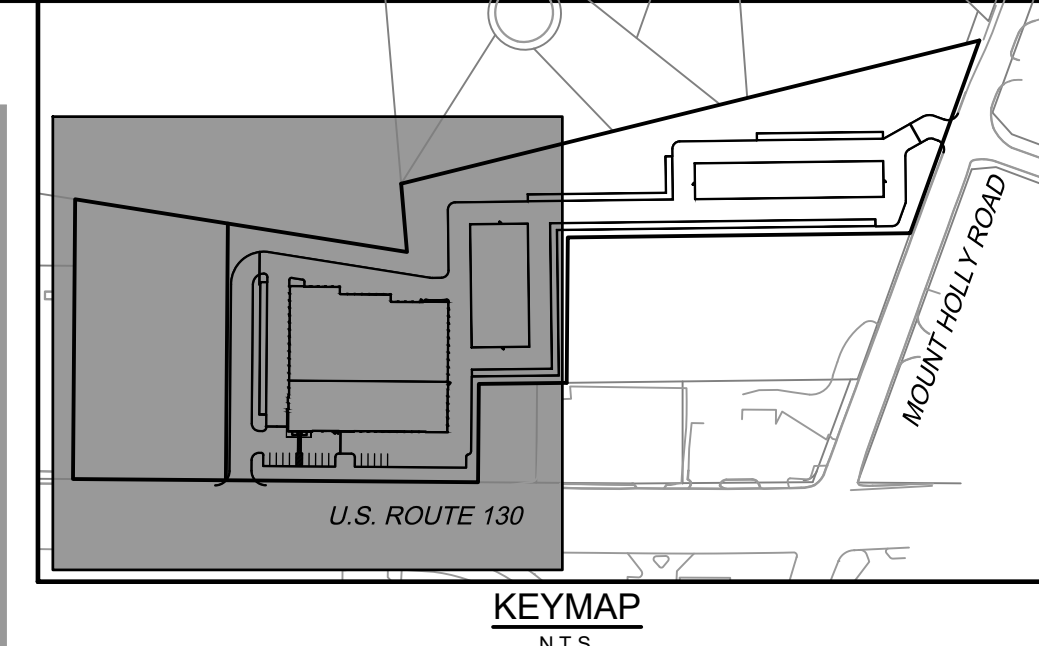
WARE MALCOMB assumes no responsibility for utility locations. The utilities shown on this drawing have been plotted from the best available information. It is, however, the contractor's responsibility to field verify the location of all utilities prior to the commencement of any construction.

**EDGEWATER PARK - SELF STORAGE DEVELOPMENT**  
**PRELIMINARY SITE PLAN APPLICATION**  
**SITE PLAN**  
4201 ROUTE 130, BURLINGTON COUNTY, EDGWATER PARK, NEW JERSEY

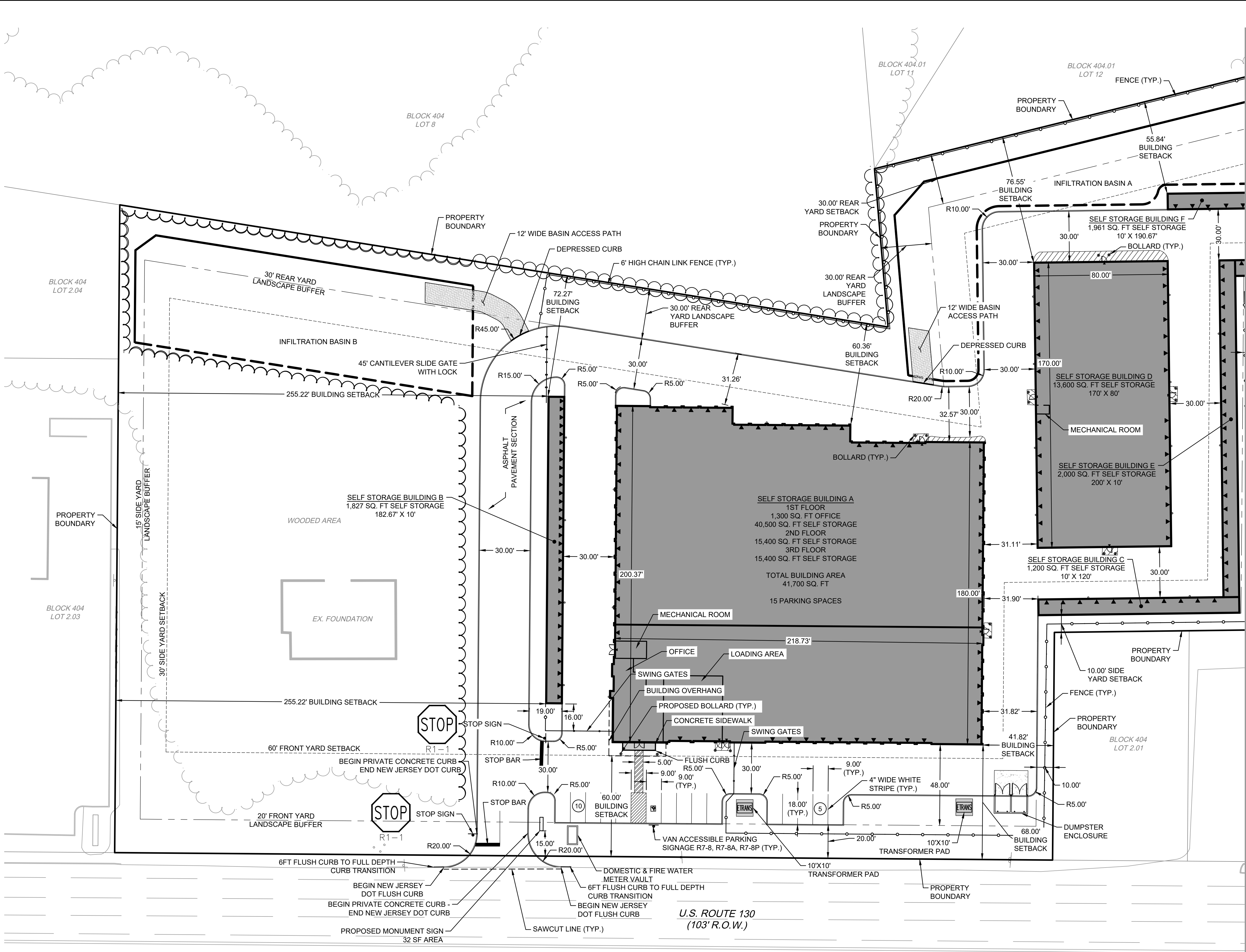
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PA / PM:	EW
DRAWN BY:	IH
DATE:	07/21/2020

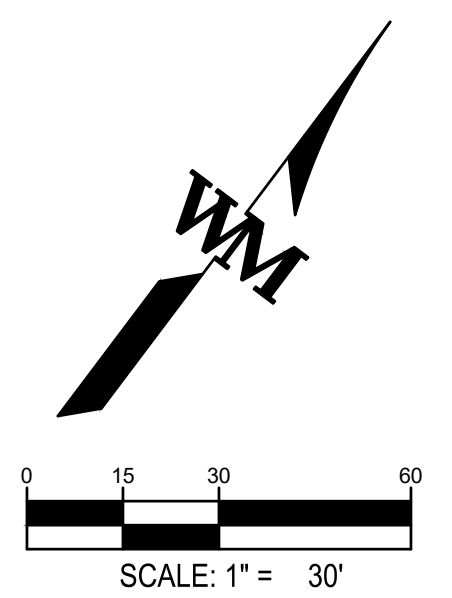
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**C4.0**  
Sheet 5 of 25



- LEGEND:**
- PROPERTY BOUNDARY
  - PROPOSED CONCRETE SIDEWALK
  - PROPOSED CURB
  - PROPOSED SIGN
  - EXISTING CURB
  - EXISTING SIGN
  - PROPOSED ROLL-UP DOOR
  - PROPOSED SETBACK LINE
  - PROPOSED LANDSCAPE BUFFER LINE



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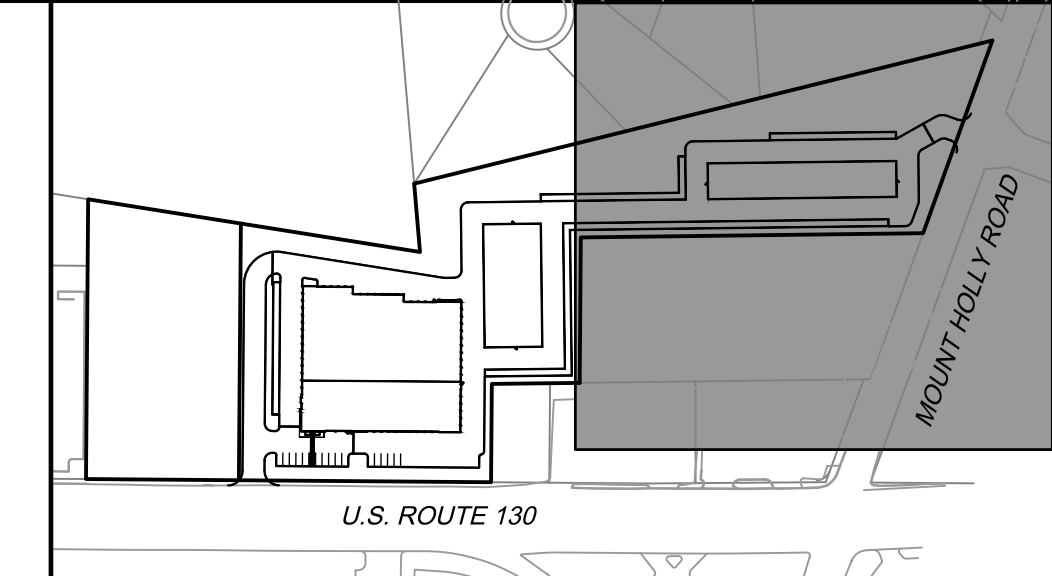


EDGEWATER PARK TOWNSHIP  
WILLINGBORO TOWNSHIP

U.S. ROUTE 130  
(103' R.O.W.)

MATCHLINE SEE SHEET C4.1

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- LEGEND:**
- PROPERTY BOUNDARY
  - PROPOSED CONCRETE SIDEWALK
  - PROPOSED CURB
  - PROPOSED SIGN
  - EXISTING CURB
  - EXISTING SIGN
  - PROPOSED ROLL-UP DOOR
  - PROPOSED SETBACK LINE

**WARE MALCOMB**  
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p 732.986.9000  
waremalcomb.com

EDWARD F. WILKES, JR.  
PROFESSIONAL ENGINEER  
NJ LIC. NO. 24GE04937200

FOR AND ON BEHALF  
OF WARE MALCOMB

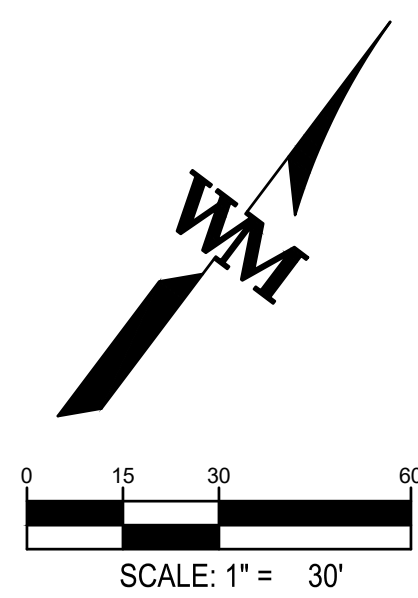
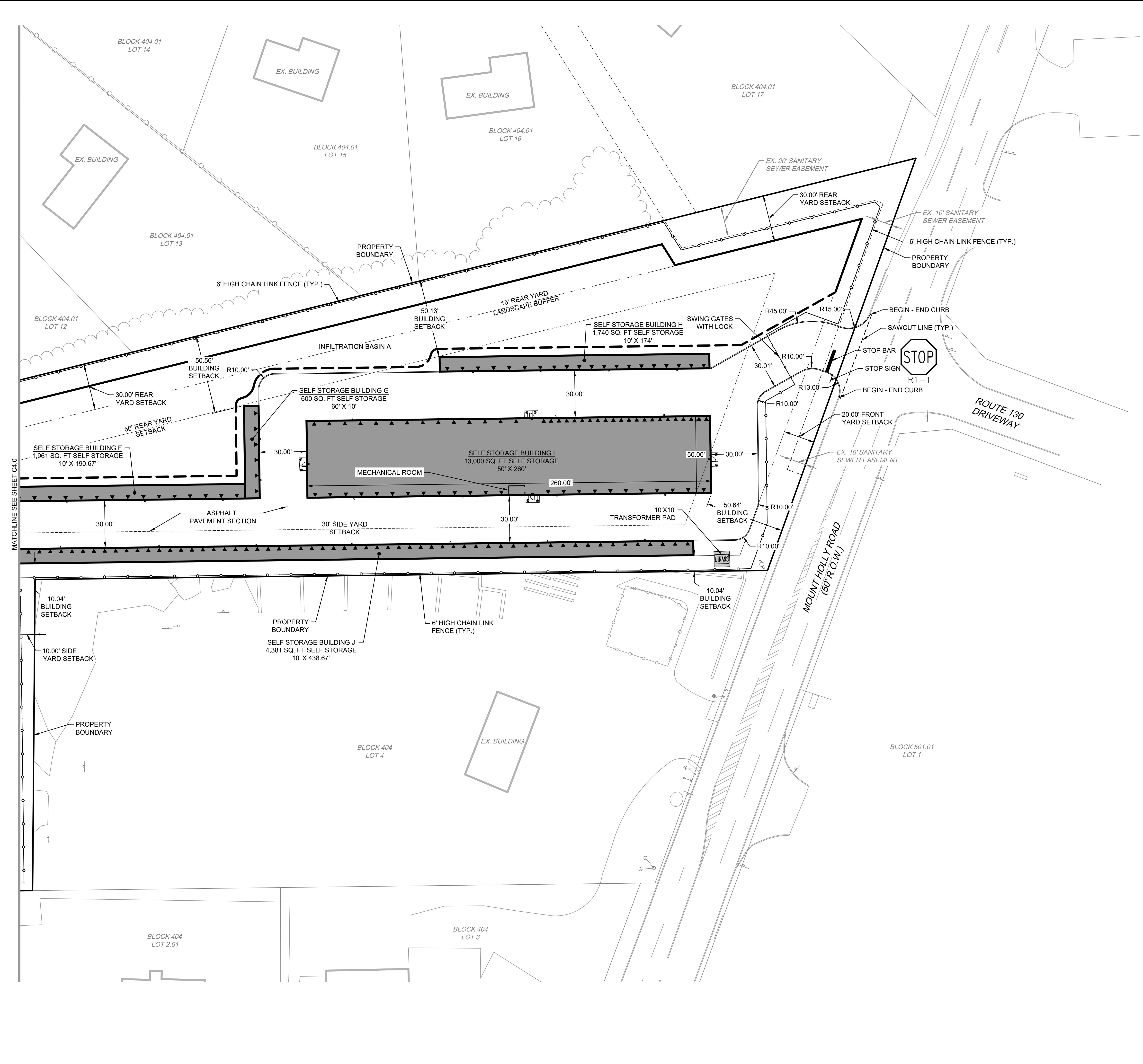
**EDGEWATER PARK - SELF STORAGE DEVELOPMENT**  
PRELIMINARY SITE PLAN APPLICATION  
SITE PLAN  
4201 ROUTE 130, BURLINGTON COUNTY, EDGWATER PARK, NEW JERSEY

NO.	DATE	REMARKS

JOB NO.:	NYC19-0005
PA / PM:	EW
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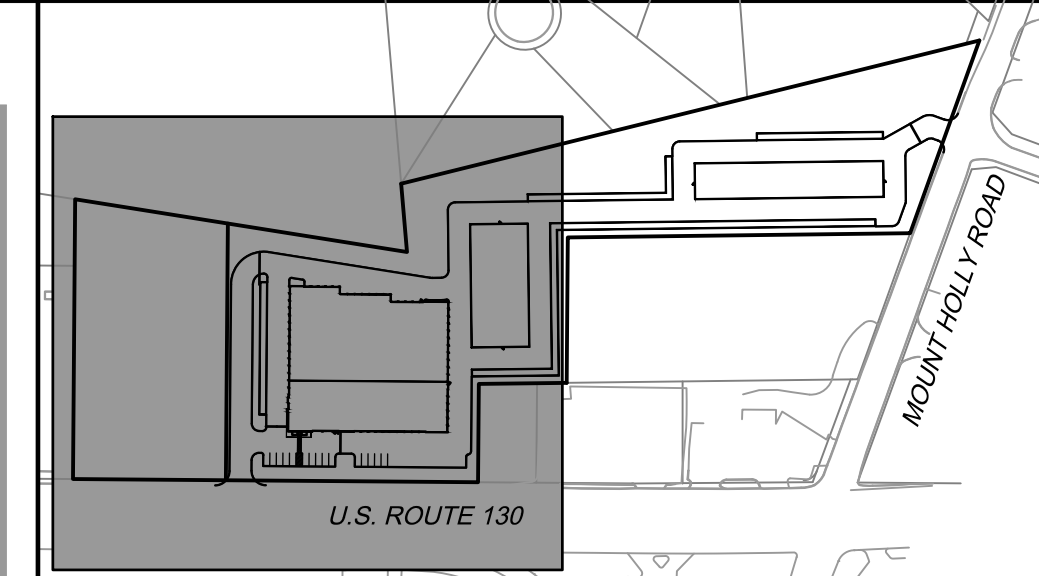
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**C4.1**  
Sheet 6 of 25

NOT FOR CONSTRUCTION



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MATCHLINE SEE SHEET C4.0

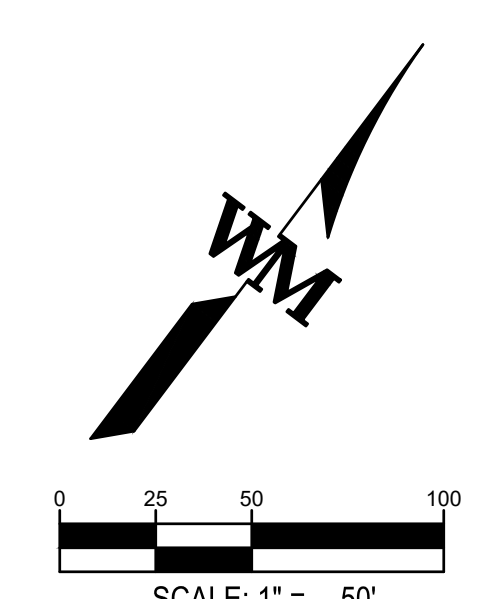
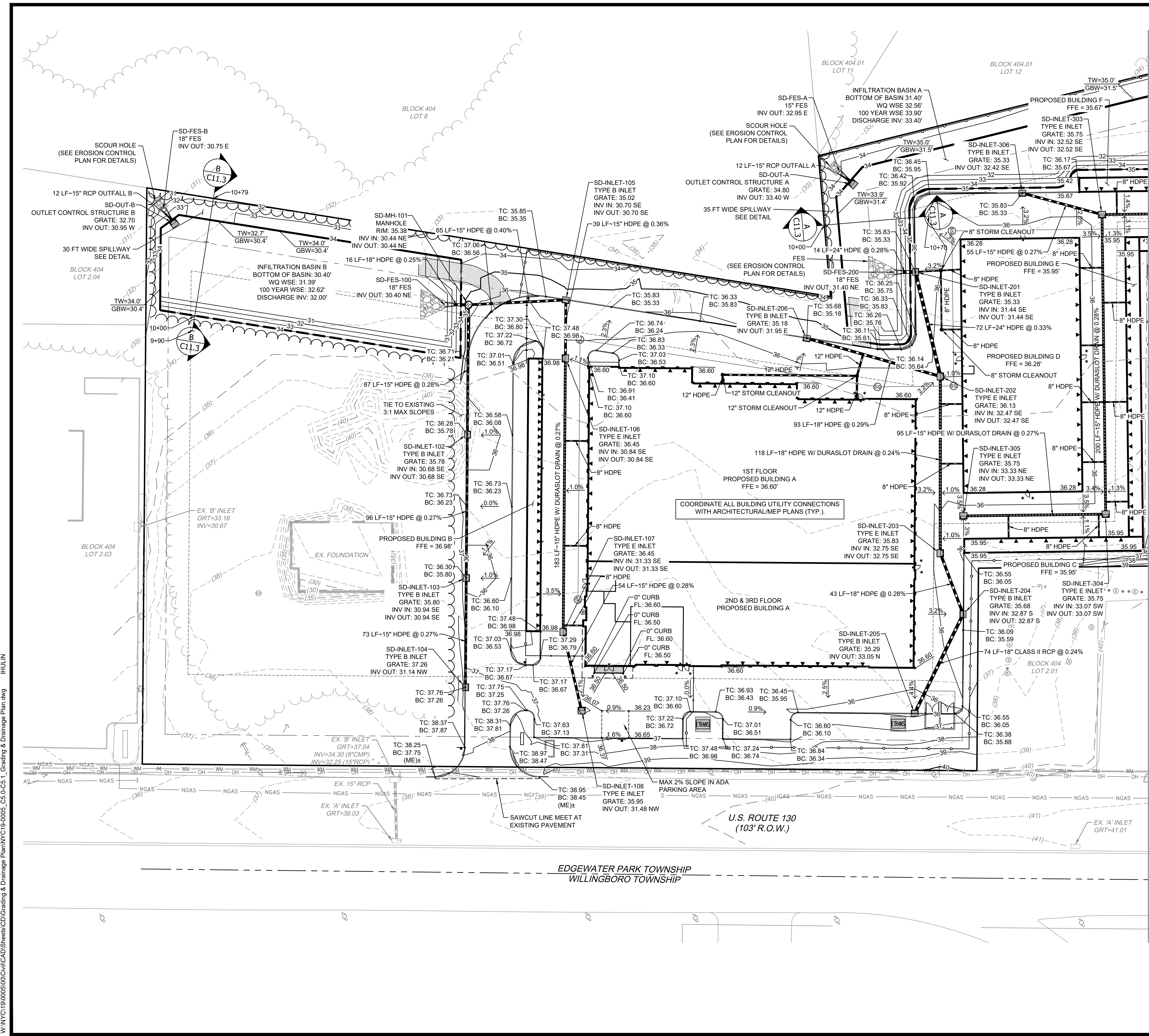


**LEGEND:**

- 35 — PROPOSED 5' CONTOUR
- 34 — PROPOSED 1' CONTOUR
- (35) — EXISTING 5' CONTOUR
- (34) — EXISTING 1' CONTOUR
- PROPOSED CONCRETE SIDEWALK
- PROPOSED STORM SEWER LINE
- PROPOSED STORM SEWER LINE W/ DURASLOT DRAIN
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
- EXISTING CURB
- EXISTING SIGN
- EXISTING STORM SEWER
- EXISTING STORM INLET
- EXISTING WATER LINE
- EXISTING WATER MANHOLE
- EXISTING WATER VALVE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- NGAS — EXISTING NATURAL GAS LINE
- EXISTING NATURAL GAS VALVE
- SS — EXISTING SANITARY SEWER LINE
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY CLEANOUT
- PROPOSED SPOT ELEVATION
- PROPOSED SLOPE AND DIRECTION
- HP — HIGH POINT
- LP — LOW POINT
- ME — MATCH EXISTING
- GB — GRADE BREAK
- GTW — GRADE AT TOP OF WALL
- GBW — GRADE AT BOTTOM OF WALL
- BOW — BACK OF WALK
- TC — TOP OF CURB
- BC — BOTTOM OF CURB
- EOR — EDGE OF RAMP
- FFE — FINISHED FLOOR ELEVATION

**NOTE:**

1. REFER TO ARCHITECTURAL PLANS FOR ALL ROOF DRAIN LOCATIONS.



NO.	DATE	REMARKS

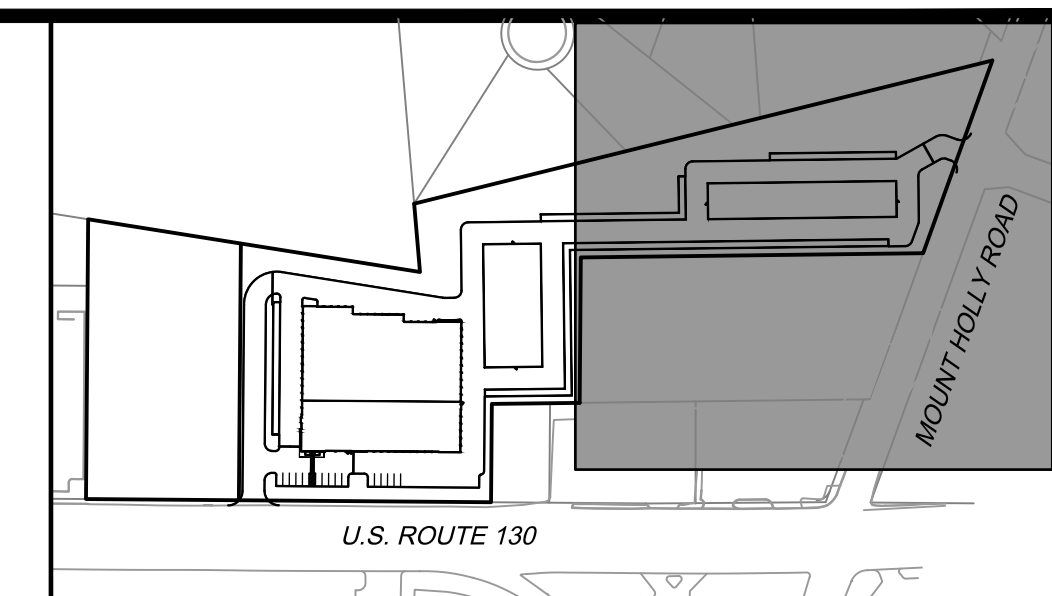
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PA / PM:	EW
DRAWN BY:	IH
DATE:	07/21/2020

SHEET	<b>C5.0</b>
Sheet	7 of 25

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**LEGEND:**

- 35 — PROPOSED 5' CONTOUR
- 34 — PROPOSED 1' CONTOUR
- (35) - EXISTING 5' CONTOUR
- (34) - EXISTING 1' CONTOUR
- ▬ PROPOSED CONCRETE SIDEWALK
- ▬ PROPOSED STORM SEWER LINE
- ▬ PROPOSED STORM SEWER LINE W/ DURASLOT DRAIN
- ⊕ PROPOSED STORM MANHOLE
- ⊕ PROPOSED STORM INLET
- ⊕ EXISTING CURB
- ⊕ EXISTING SIGN
- ▬ EXISTING STORM SEWER
- ▬ EXISTING STORM INLET
- ▬ EXISTING WATER LINE
- ⊕ EXISTING WATER MANHOLE
- ⊕ EXISTING WATER VALVE
- ⊕ EXISTING OVERHEAD ELECTRIC LINE
- ⊕ EXISTING UTILITY POLE
- ⊕ EXISTING LIGHT POLE
- ▬ NGAS EXISTING NATURAL GAS LINE
- ⊕ EXISTING NATURAL GAS VALVE
- ▬ SS EXISTING SANITARY SEWER LINE
- ⊕ EXISTING SANITARY MANHOLE
- ⊕ EXISTING SANITARY CLEANOUT
- XX.XX PROPOSED SPOT ELEVATION
- X.XX% PROPOSED SLOPE AND DIRECTION
- FLOW DIRECTION
- HP HIGH POINT
- LP LOW POINT
- ME MATCH EXISTING
- GB GRADE BREAK
- GTW GRADE AT TOP OF WALL
- GBW GRADE AT BOTTOM OF WALL
- BOW BACK OF WALK
- TC TOP OF CURB
- BC BOTTOM OF CURB
- EOR EDGE OF RAMP
- FFE FINISHED FLOOR ELEVATION

**NOTE:**  
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suite 303  
newark, nj 07102  
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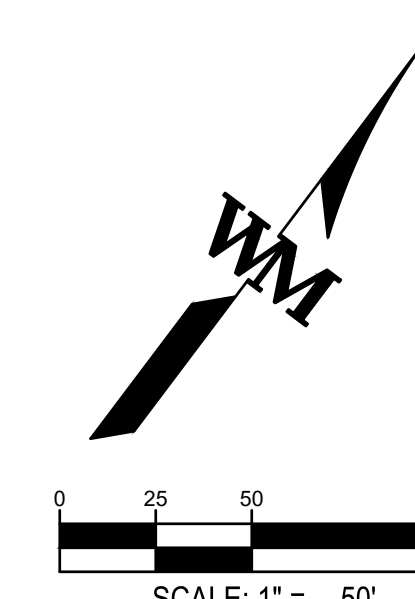
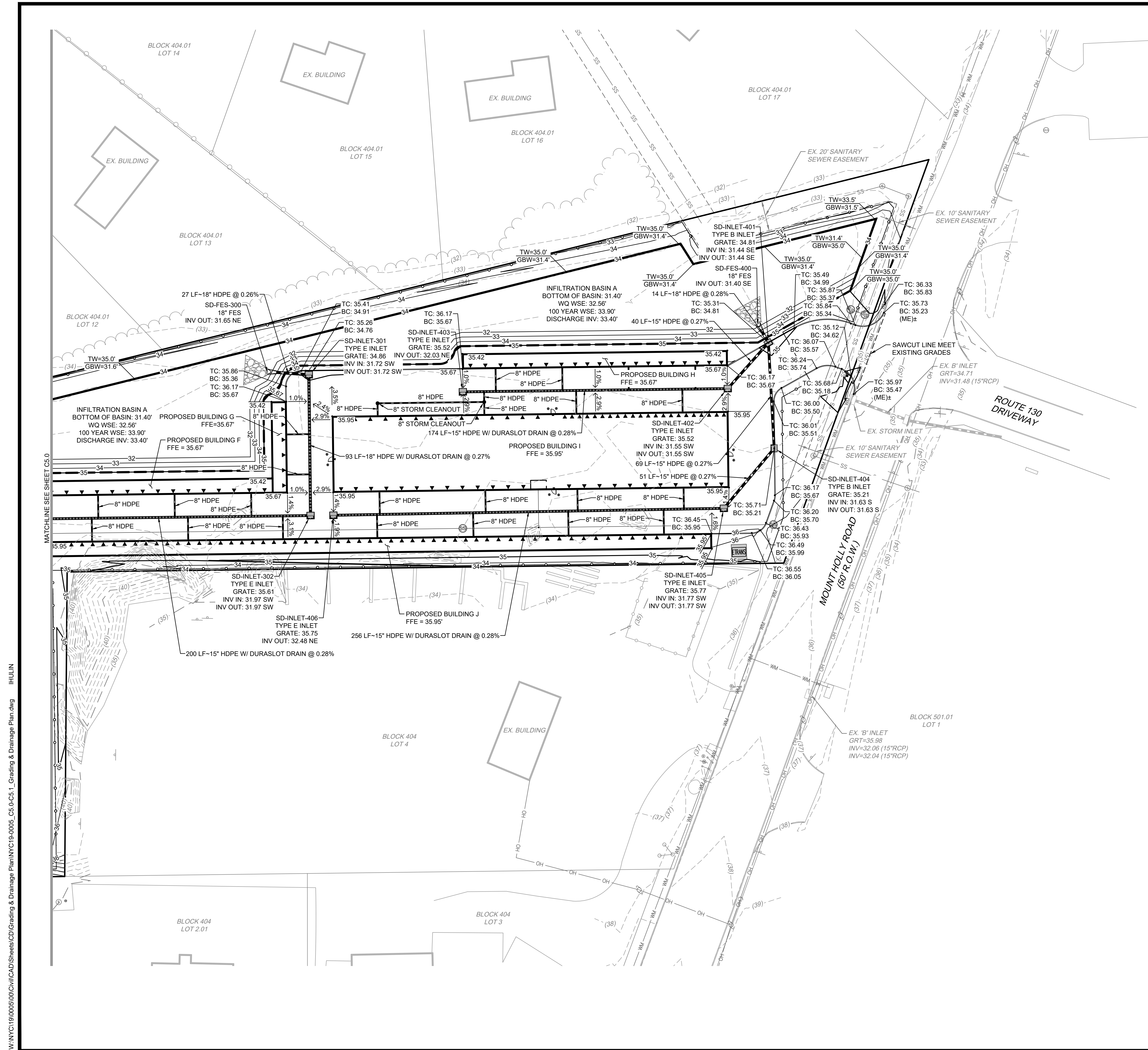
**EDGEWATER PARK - SELF STORAGE DEVELOPMENT**  
**PRELIMINARY SITE PLAN APPLICATION**  
**GRADING & DRAINAGE PLAN**  
4201 ROUTE 130, BURLINGTON COUNTY, EDGWATER PARK, NEW JERSEY

NO.	DATE	REMARKS

JOB NO.:	NYC19-0005
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DATE:	07/21/2020

SHEET  
**C5.1**  
Sheet 8 of 25

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suite 303  
newark, nj 07102  
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EDWARD F. WILKES, JR.  
PROFESSIONAL ENGINEER  
N.J. LIC. NO. 246E0457200

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EDGEWATER PARK - SELF STORAGE DEVELOPMENT

PRELIMINARY SITE PLAN APPLICATION

UTILITY PLAN

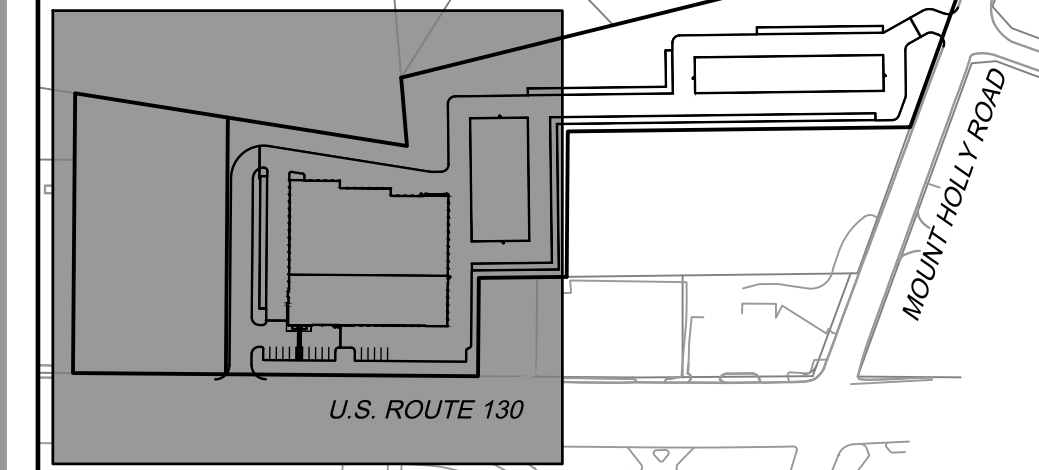
4201 ROUTE 130, BURLINGTON COUNTY, EDGWATER PARK, NEW JERSEY

REMARKS

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PA / PM:	EW
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DATE:	07/21/2020

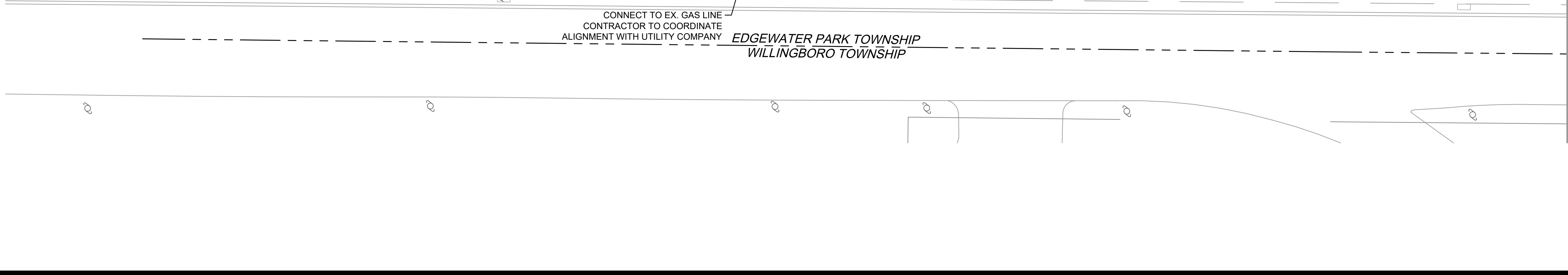
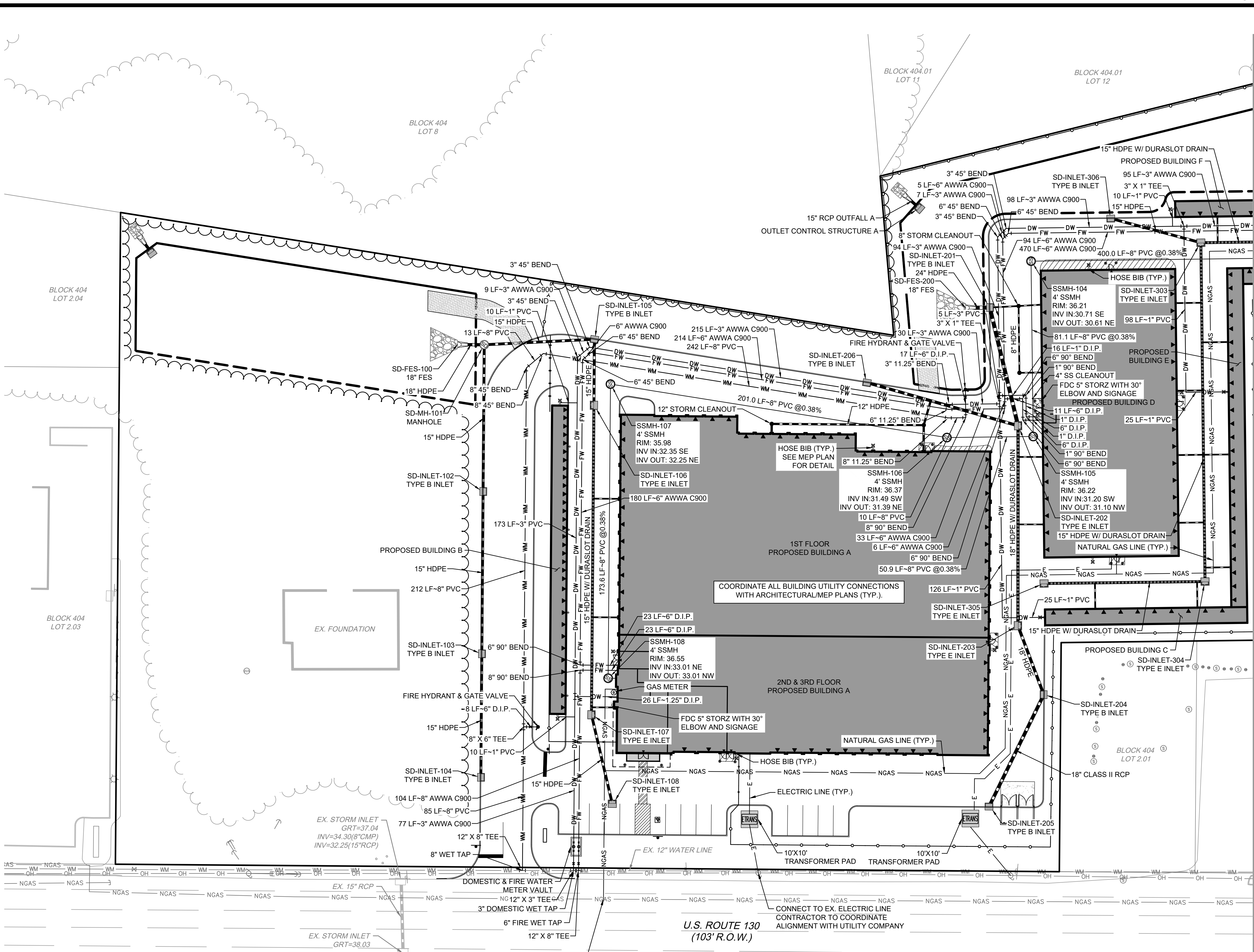
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Sheet	9 of 25

NOT FOR CONSTRUCTION

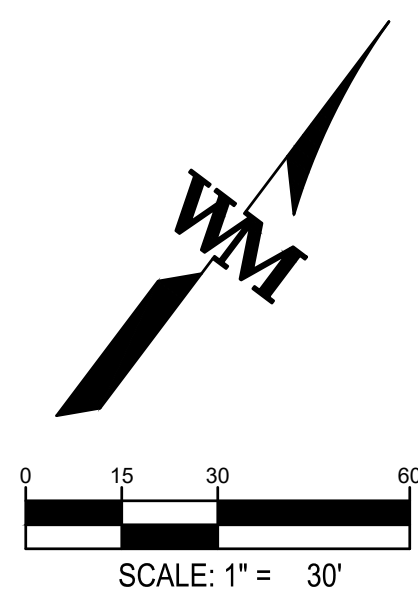


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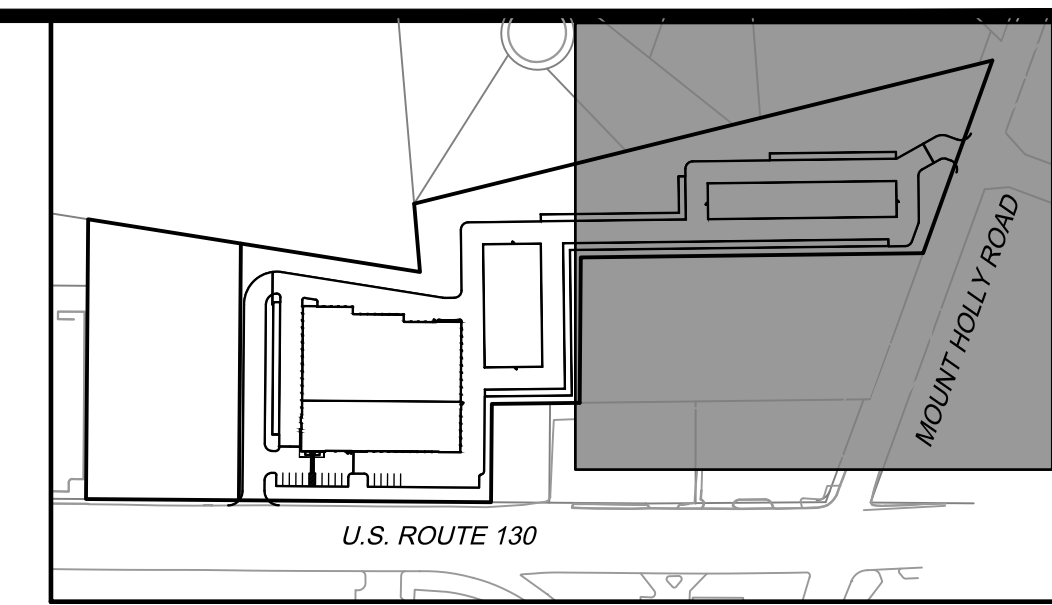
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- [Symbol] WM PROPOSED 8" WATER LINE
- [Symbol] FW PROPOSED 6" FIRE WATER LINE
- [Symbol] DW PROPOSED 3" DOMESTIC WATER LINE
- [Symbol] [Symbol] PROPOSED SANITARY SEWER LINE
- [Symbol] [Symbol] PROPOSED SANITARY MANHOLE
- [Symbol] [Symbol] PROPOSED STORM SEWER LINE
- [Symbol] [Symbol] PROPOSED STORM SEWER LINE W/ DURASLOT DRAIN
- [Symbol] [Symbol] PROPOSED STORM MANHOLE
- [Symbol] [Symbol] PROPOSED STORM INLET
- [Symbol] [Symbol] PROPOSED NATURAL GAS LINE
- [Symbol] [Symbol] EXISTING CURB
- [Symbol] [Symbol] EXISTING SIGN
- [Symbol] [Symbol] EXISTING STORM SEWER
- [Symbol] [Symbol] EXISTING STORM INLET
- [Symbol] [Symbol] EXISTING WATER LINE
- [Symbol] [Symbol] EXISTING WATER MANHOLE
- [Symbol] [Symbol] EXISTING WATER VALVE
- [Symbol] [Symbol] EXISTING OVERHEAD ELECTRIC LINE
- [Symbol] [Symbol] EXISTING UTILITY POLE
- [Symbol] [Symbol] EXISTING LIGHT POLE
- [Symbol] [Symbol] EXISTING NATURAL GAS LINE
- [Symbol] [Symbol] EXISTING NATURAL GAS VALVE
- [Symbol] [Symbol] EXISTING SANITARY SEWER LINE
- [Symbol] [Symbol] EXISTING SANITARY MANHOLE
- [Symbol] [Symbol] EXISTING SANITARY CLEANOUT



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LEGEND:

- PROPOSED CONCRETE SIDEWALK
PROPOSED 8" WATER LINE
PROPOSED 6" FIRE WATER LINE
PROPOSED 3" DOMESTIC WATER LINE
PROPOSED SANITARY SEWER LINE
PROPOSED SANITARY MANHOLE
PROPOSED STORM SEWER LINE
PROPOSED STORM SEWER LINE W/ DURASLOT DRAIN
PROPOSED STORM MANHOLE
PROPOSED STORM INLET
PROPOSED NATURAL GAS LINE
EXISTING CURB
EXISTING SIGN
EXISTING STORM SEWER
EXISTING STORM INLET
EXISTING WATER LINE
EXISTING WATER MANHOLE
EXISTING WATER VALVE
EXISTING OVERHEAD ELECTRIC LINE
EXISTING UTILITY POLE
EXISTING LIGHT POLE
EXISTING NATURAL GAS LINE
EXISTING NATURAL GAS VALVE
EXISTING SANITARY SEWER LINE
EXISTING SANITARY MANHOLE
EXISTING SANITARY CLEANOUT

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suite 303
newark, nj 07102
p 732.986.9000
waremalcomb.com

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PROFESSIONAL ENGINEER
N.J. LIC. NO. 24604937200

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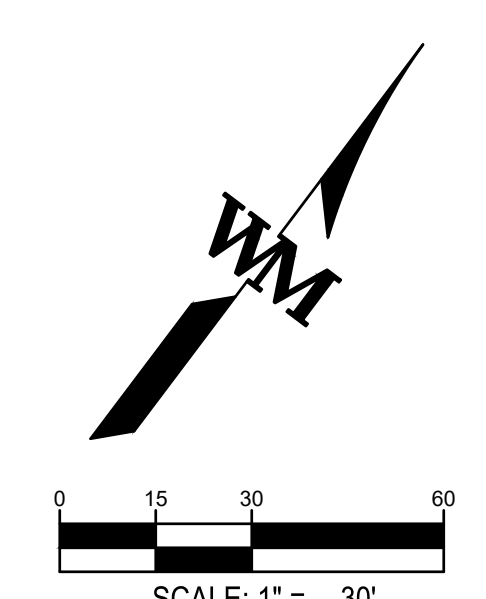
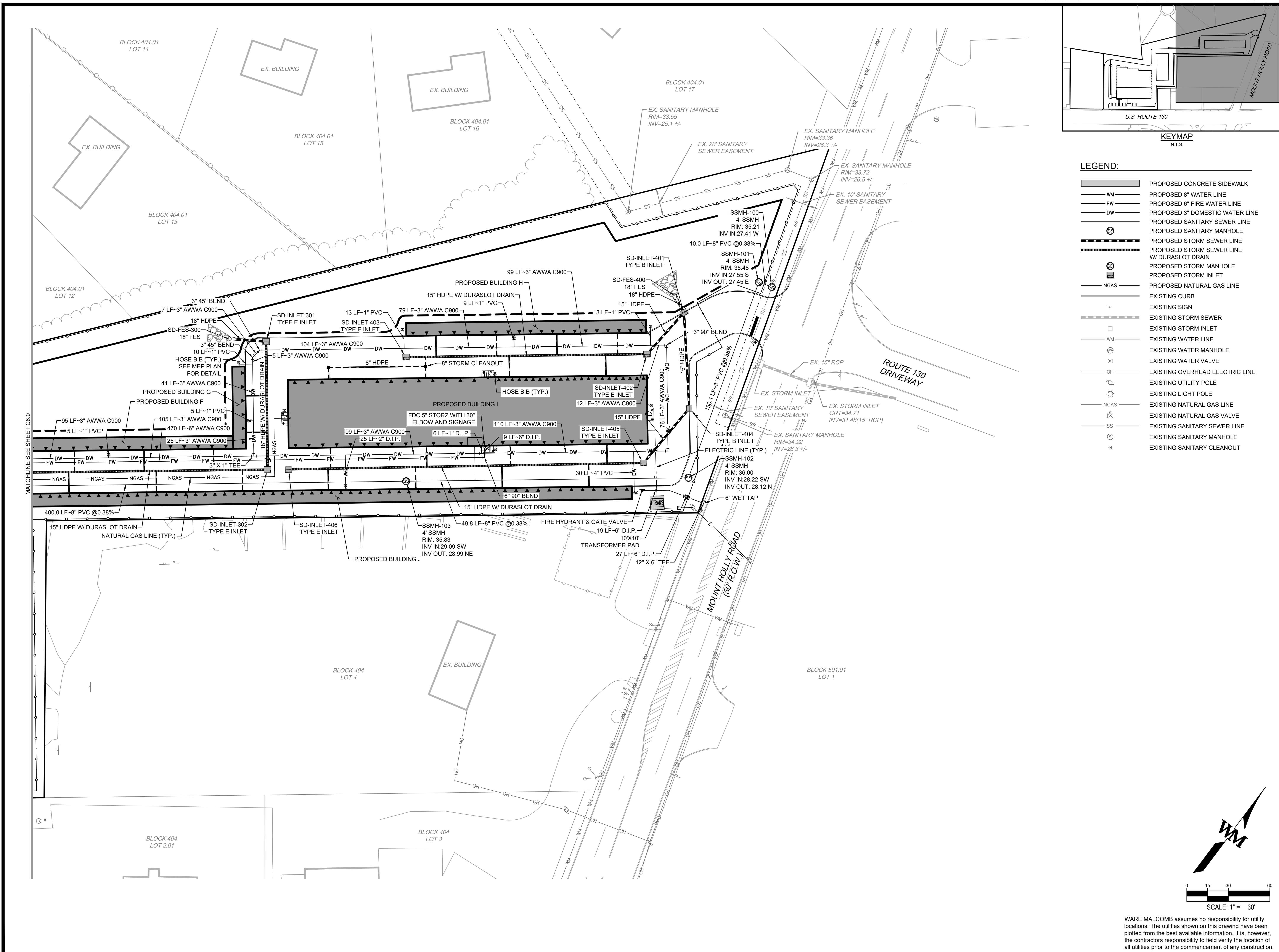
EDGEWATER PARK - SELF STORAGE DEVELOPMENT
PRELIMINARY SITE PLAN APPLICATION
UTILITY PLAN
4201 ROUTE 130, BURLINGTON COUNTY, EDGWATER PARK, NEW JERSEY

Table with columns: NO., DATE, REMARKS

Table with fields: JOB NO.: NYC19-0005, PA / PM: EW, DRAWN BY: IH, DATE: 07/21/2020

SHEET C6.1
Sheet 10 of 25

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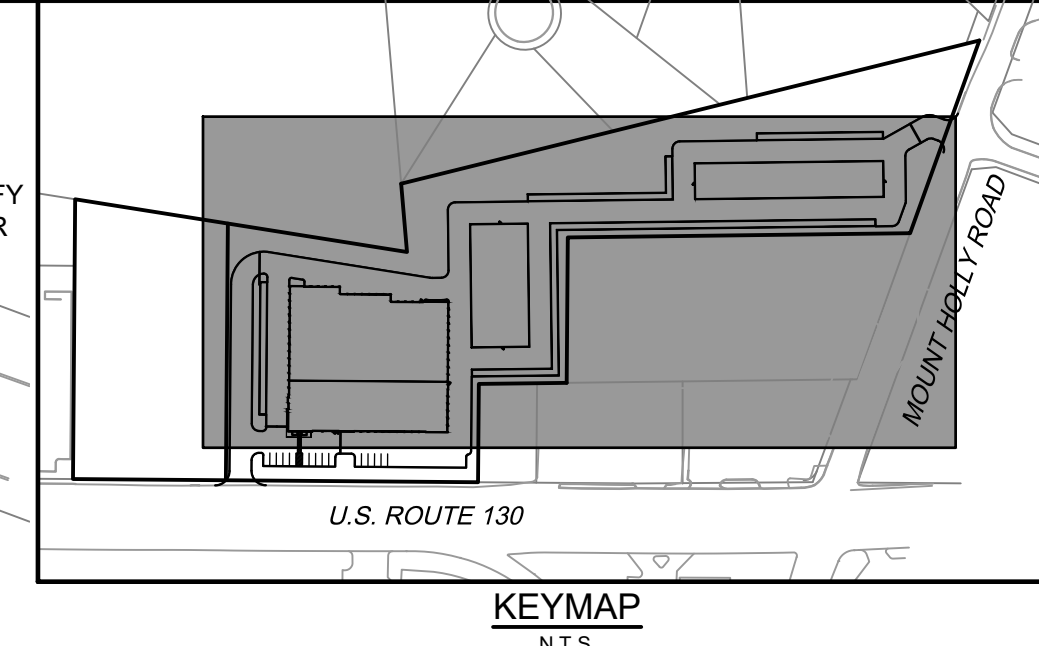
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NO.	DATE	REMARKS

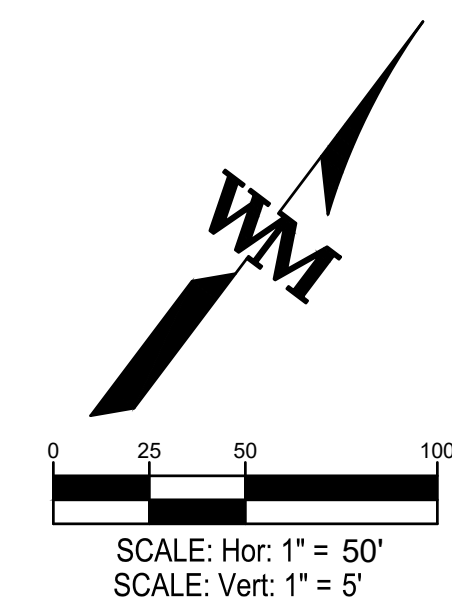
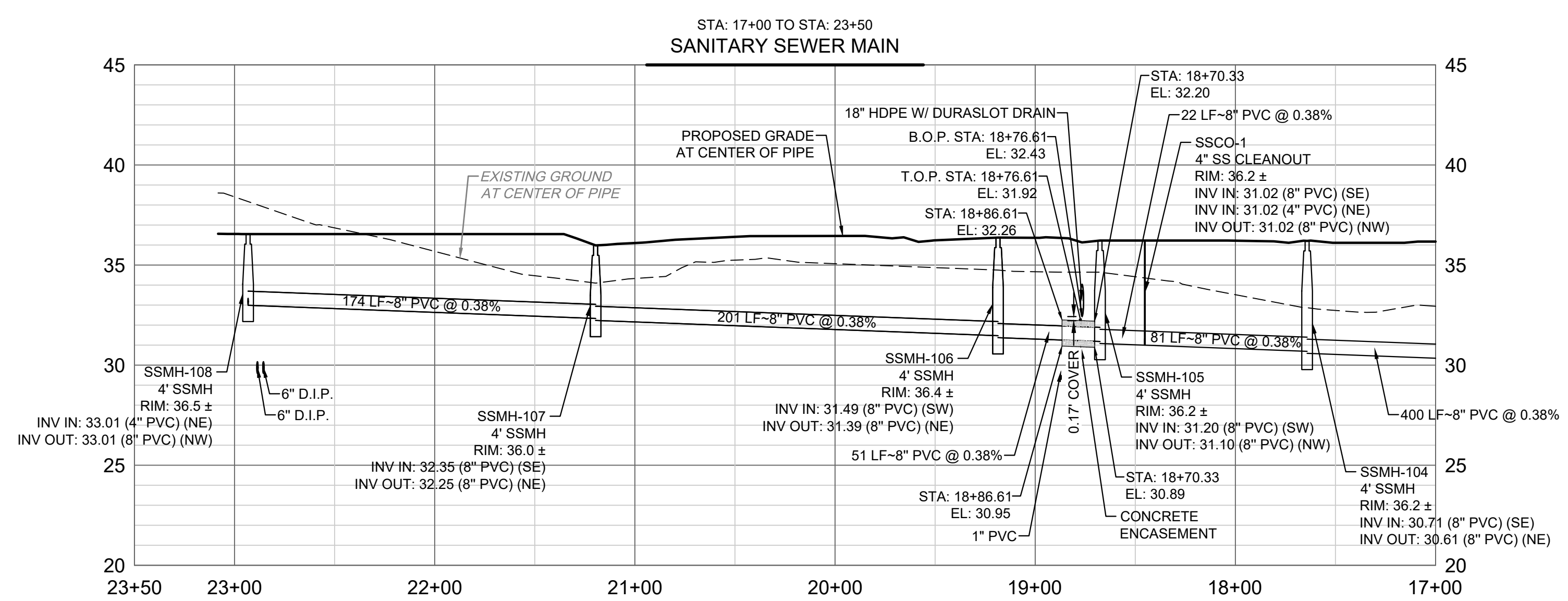
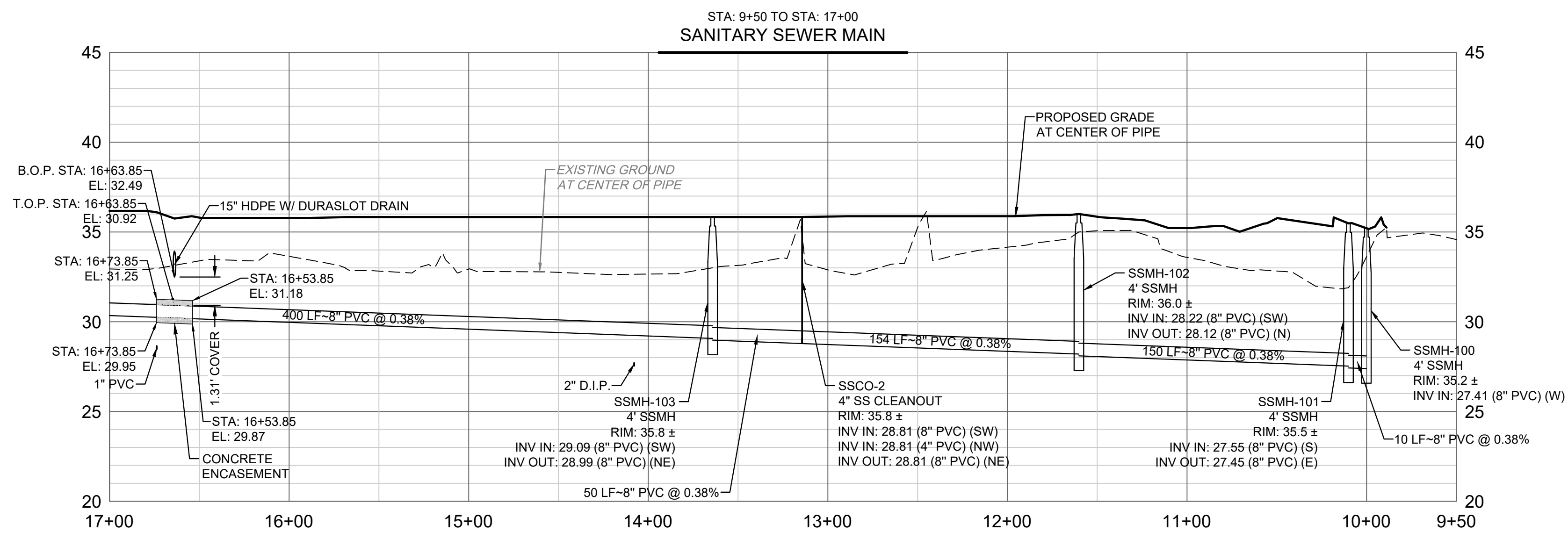
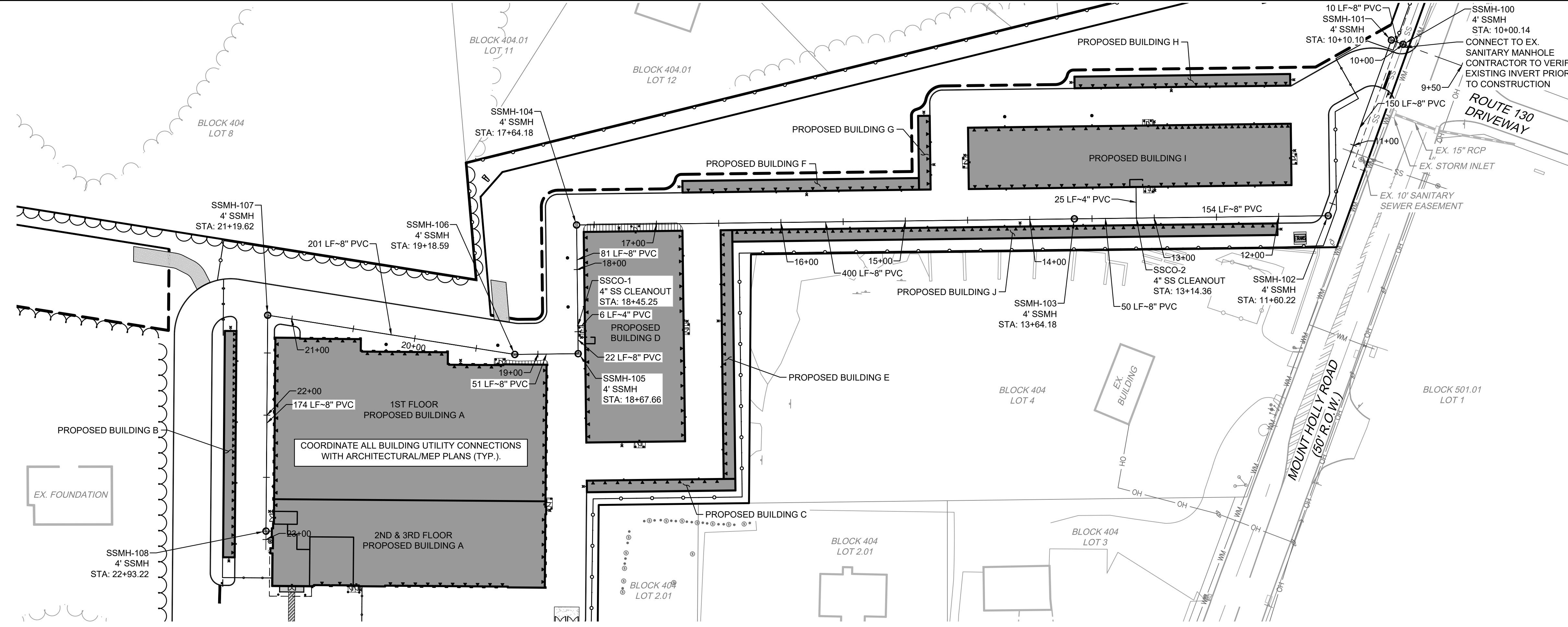
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PA / PM:	EW
DRAWN BY:	IH
DATE:	07/21/2020
	23.07.2020

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Sheet	11 of 25

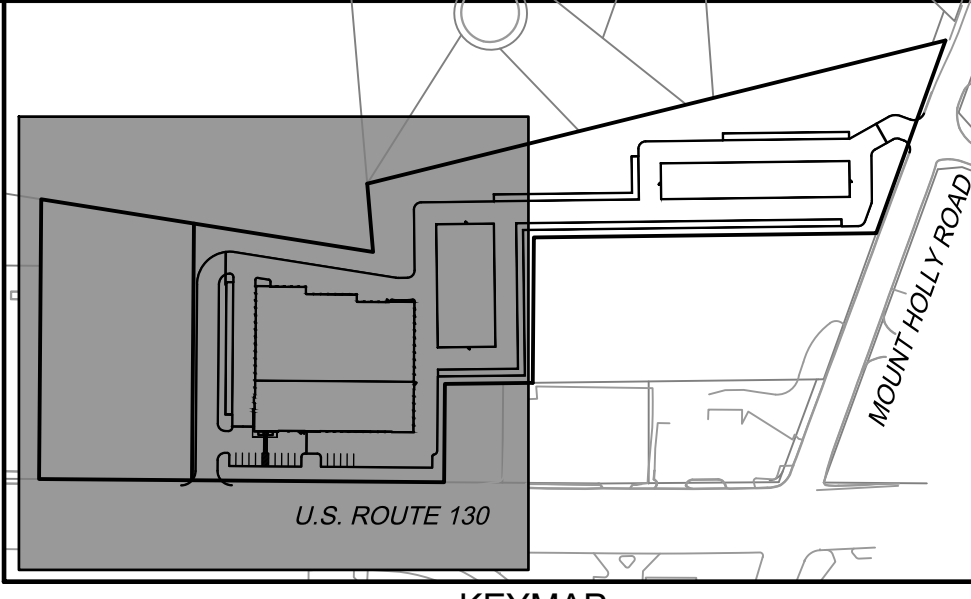


**LEGEND:**

- PROPOSED CONCRETE SIDEWALK
- PROPOSED 8" WATER LINE
- PROPOSED 6" FIRE WATER LINE
- PROPOSED 3" DOMESTIC WATER LINE
- PROPOSED SANITARY SEWER LINE
- PROPOSED SANITARY MANHOLE
- PROPOSED STORM SEWER LINE
- PROPOSED STORM SEWER LINE W/ DURASLOT DRAIN
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
- PROPOSED NATURAL GAS LINE
- EXISTING CURB
- EXISTING SIGN
- EXISTING STORM SEWER
- EXISTING STORM INLET
- EXISTING WATER LINE
- EXISTING WATER MANHOLE
- EXISTING WATER VALVE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING UTILITY POLE
- EXISTING LIGHT POLE
- EXISTING NATURAL GAS LINE
- EXISTING NATURAL GAS VALVE
- EXISTING SANITARY SEWER LINE
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY CLEANOUT



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- LEGEND:**
- PROPERTY BOUNDARY
  - ▬ PROPOSED CONCRETE SIDEWALK
  - ▬ PROPOSED CURB
  - ▲ PROPOSED SIGN
  - ▬ EXISTING CURB
  - ▬ EXISTING SIGN
  - ◀ PROPOSED DOOR
  - PROPOSED SETBACK LINE

**WARE MALCOMB**  
LEADING DESIGN FOR COMMERCIAL REAL ESTATE

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newark, nj 07102  
p 732.986.9000  
waremalcomb.com

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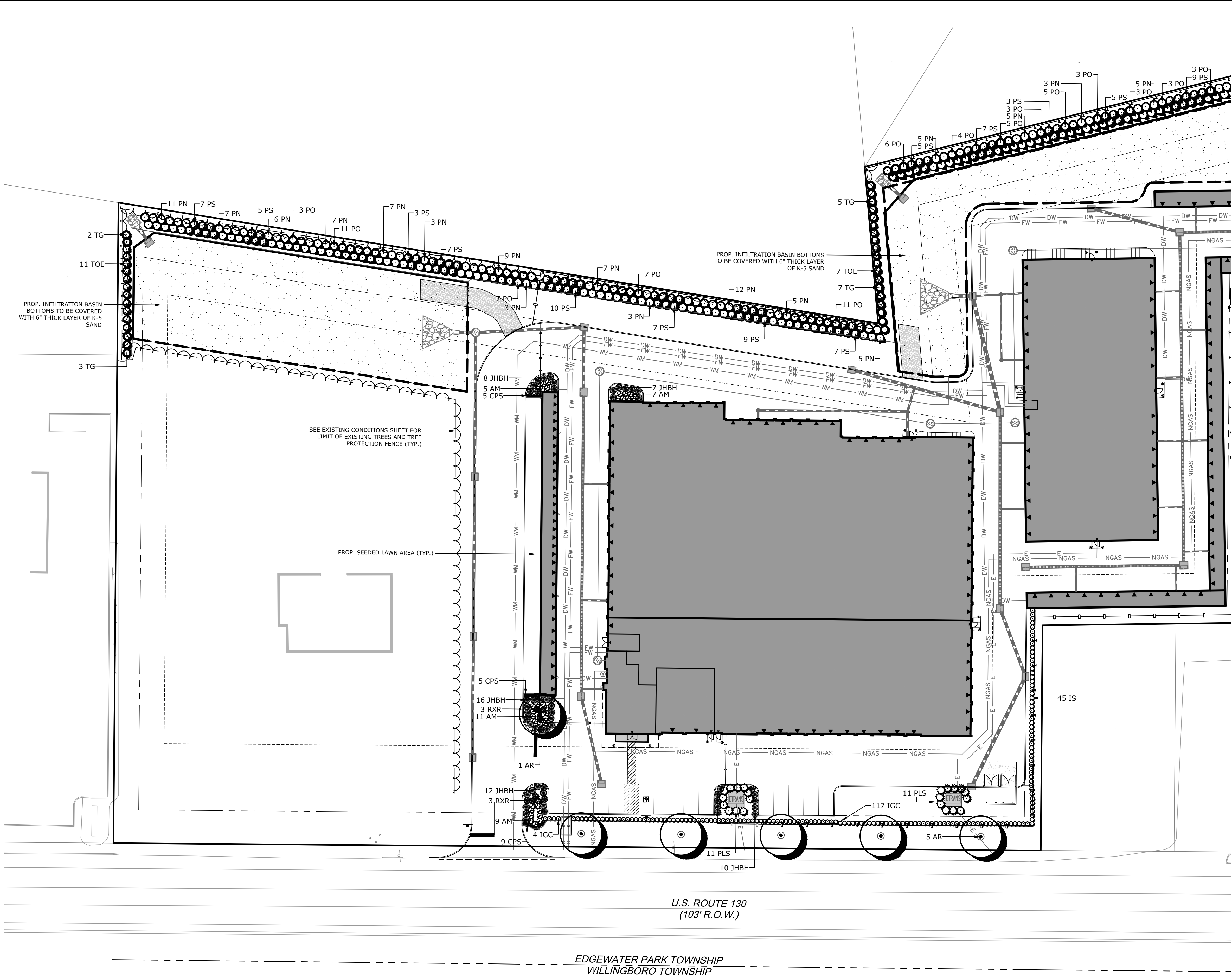
**EDGEWATER PARK - SELF STORAGE DEVELOPMENT**  
PRELIMINARY SITE PLAN APPLICATION  
LANDSCAPE PLAN  
4201 ROUTE 130, BURLINGTON COUNTY, EDGWATER PARK, NEW JERSEY

NO.	DATE	REMARKS

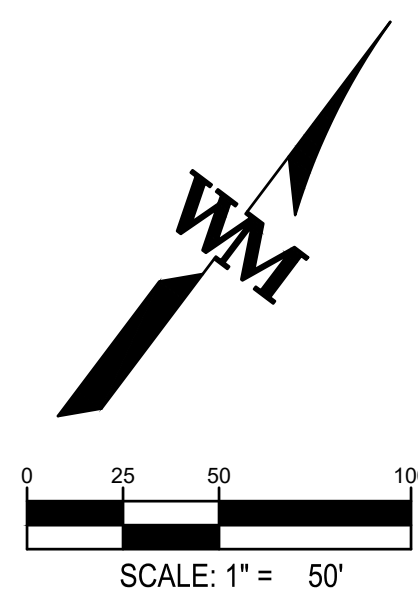
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DATE:	07/21/2020

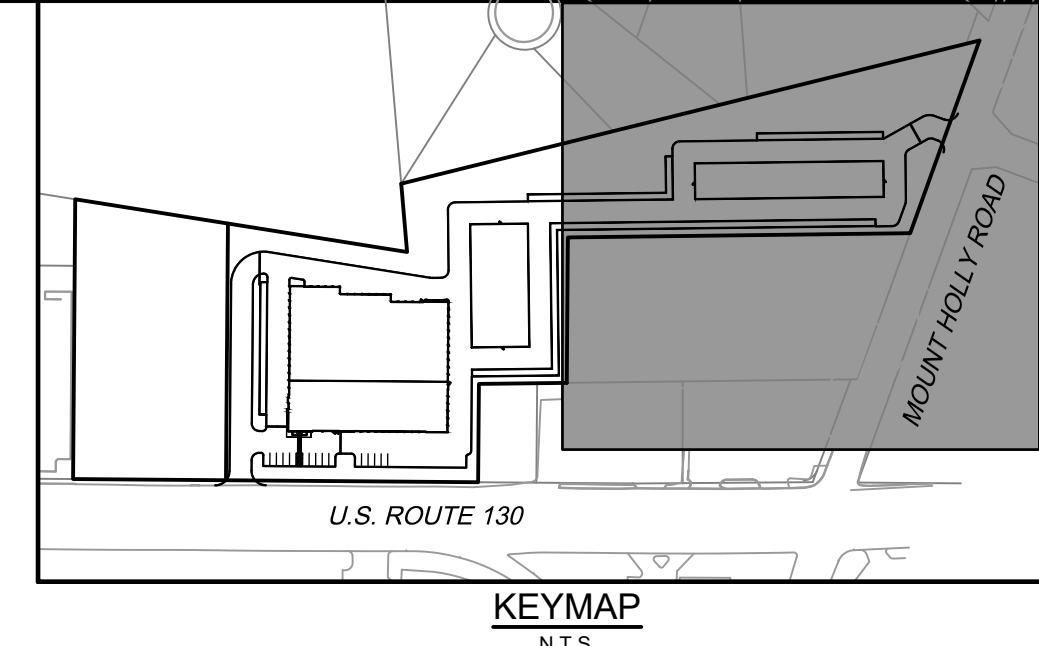
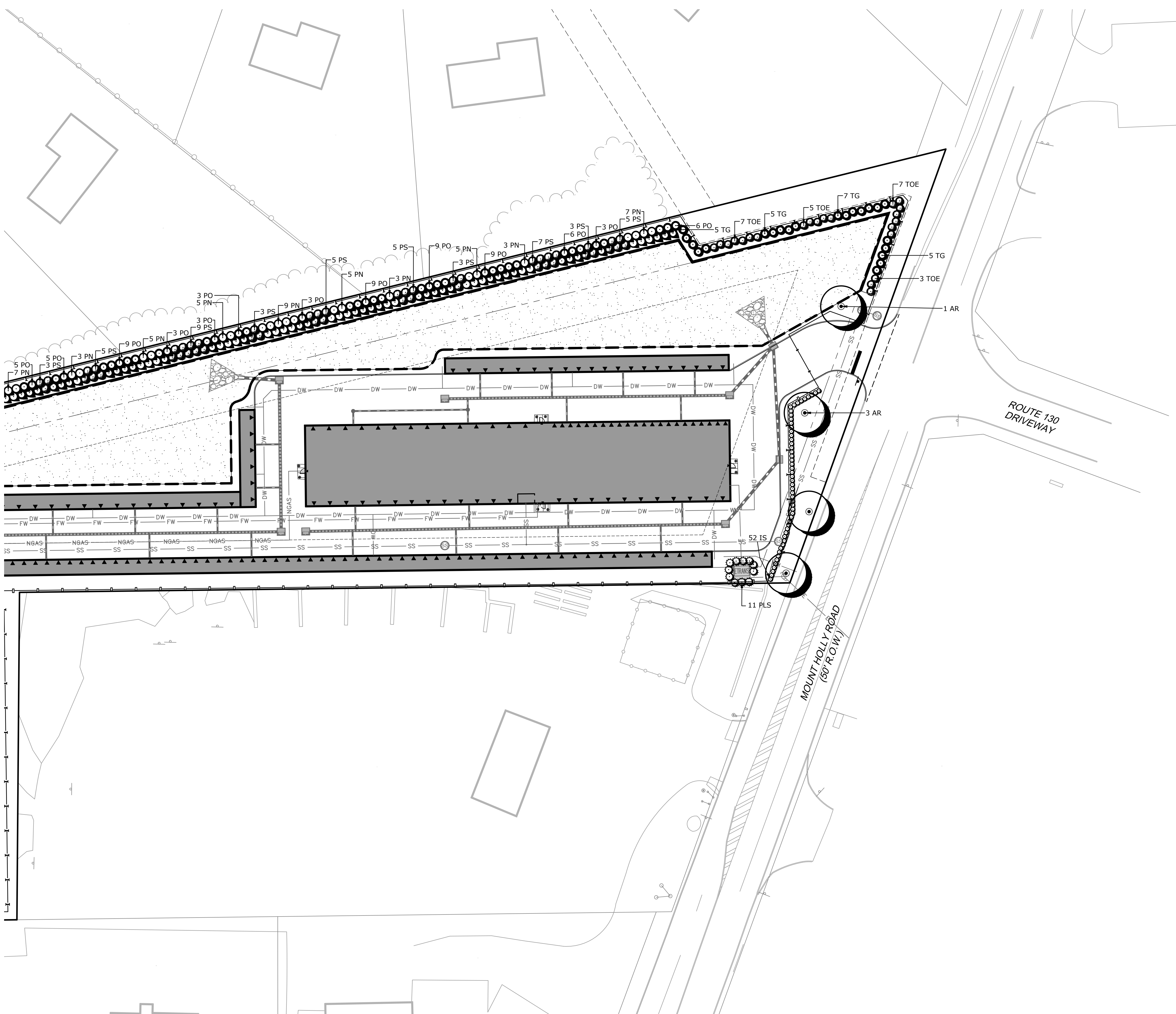
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**C8.0**  
Sheet 12 of 25

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- LEGEND:**
- PROPERTY BOUNDARY
  - PROPOSED CONCRETE SIDEWALK
  - PROPOSED CURB
  - PROPOSED SIGN
  - EXISTING CURB
  - EXISTING SIGN
  - PROPOSED DOOR
  - PROPOSED SETBACK LINE

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LEADING DESIGN FOR COMMERCIAL REAL ESTATE

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suite 303  
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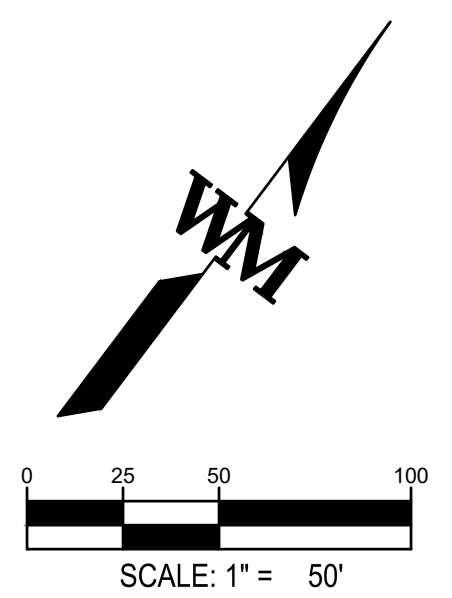
FOR AND ON BEHALF  
OF WARE MALCOMB

**EDGEWATER PARK - SELF STORAGE DEVELOPMENT**  
PRELIMINARY SITE PLAN APPLICATION  
LANDSCAPE PLAN  
4201 ROUTE 130, BURLINGTON COUNTY, EDGWATER PARK, NEW JERSEY

NO.	DATE	REMARKS

JOB NO.:	NYC19-0005
PA / PM:	EW
DRAWN BY:	IH
DATE:	07/21/2020

SHEET  
**C8.1**  
Sheet 13 of 25



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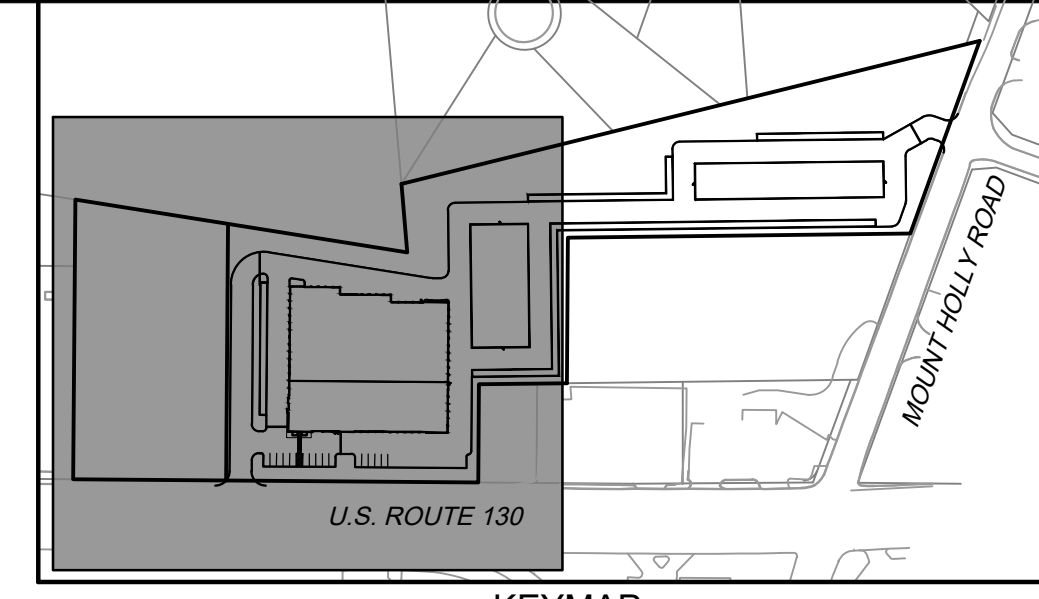
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at 534 HORT STREET  
0 908.739.0424 / 0 908.721.0489  
GREGG A. SPADARO, LLA  
NJ LICENSE #21AS00095100  
CERT. OF AUTH. 21MH000005

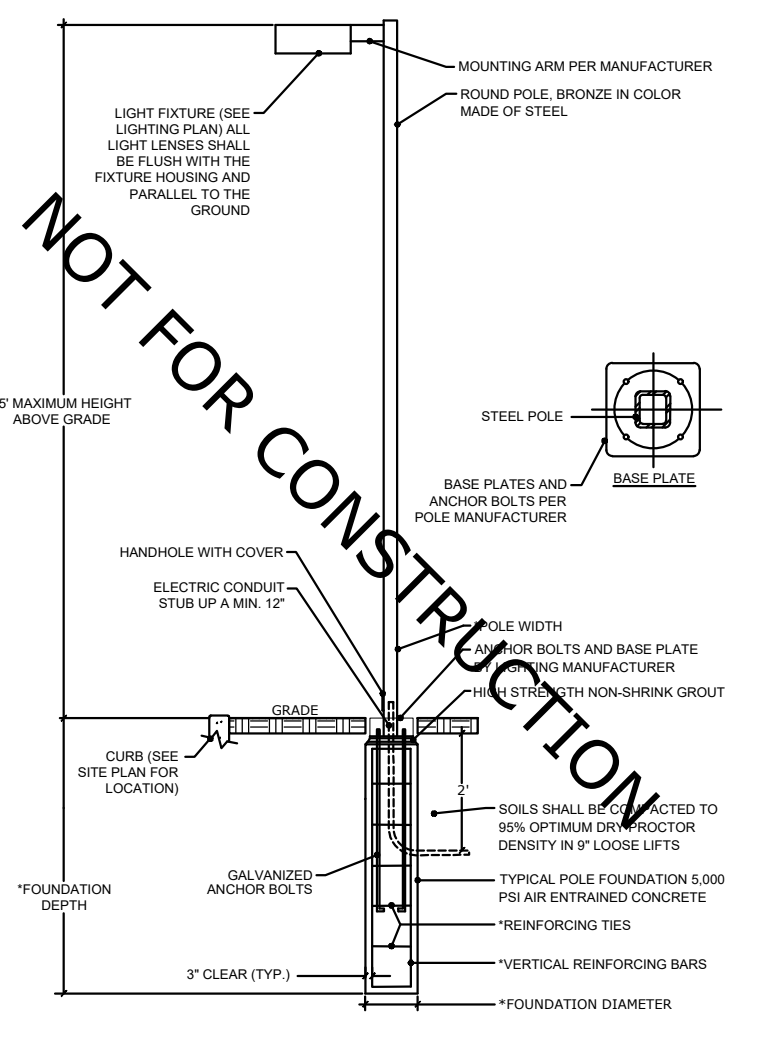


**LEGEND:**

	PROPERTY BOUNDARY
	PROPOSED CONCRETE SIDEWALK
	PROPOSED CURB
	PROPOSED SIGN
	EXISTING CURB
	EXISTING SIGN
	PROPOSED DOOR
	PROPOSED SETBACK LINE

**LIGHTING COMPLIANCE CHART**

SECTION	REQUIRED	PROPOSED	COMPLIANCE
\$16.66 LIGHTING	THE HEIGHT OF LIGHT POLES SHALL BE LIMITED TO THE MAXIMUM HEIGHT OF STRUCTURES PERMITTED IN THE PARTICULAR ZONING DISTRICT WHERE THEY ARE LOCATED OR 25' WHICHEVER IS LESS	AREA LIGHTS: 25' WALLPACK LIGHTS: 9'-6" / 12'	COMPLIES
	-1.0 AVERAGE FOOTCANDLE IN PARKING AREA RECOMMENDED -2.0 AVERAGE FOOTCANDLE AT INTERSECTIONS RECOMMENDED	PROPOSED FC AVERAGES ARE AS FOLLOWS: PARKING LOT: 1.4 FC INTERSECTIONS: 3.0 FC	COMPLIES



**SEE SHEET #17 FOR ISO-RING DETAILS AND LIGHTING MANUFACTURER CUT SHEETS**

**WALLPACK LIGHTS MOUNTED AT 9'-6" ON BUILDING A, D AND I**

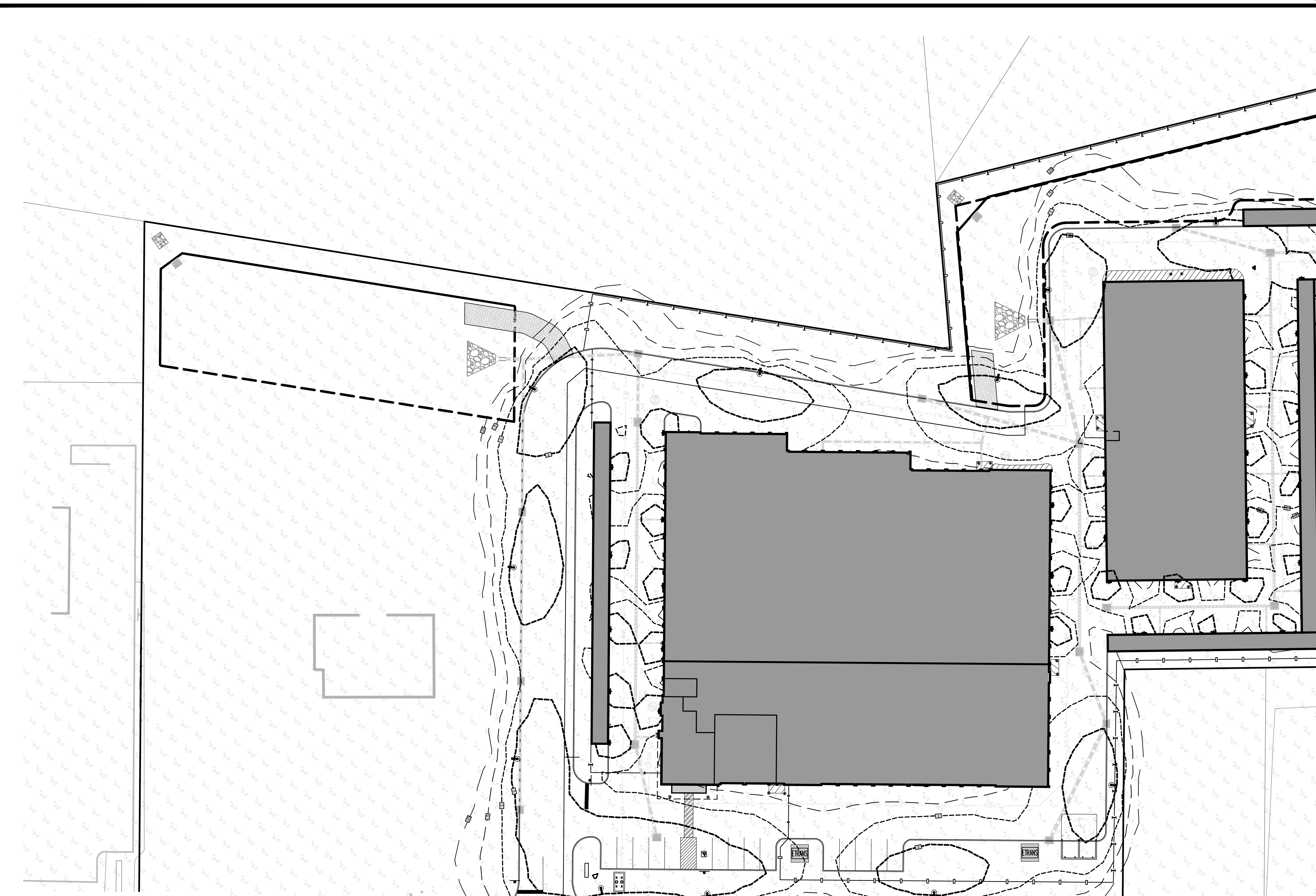
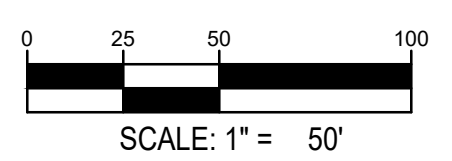
**AREA LIGHTS TO BE CONTROLLED VIA A PHOTOCELL TIMER TO TURN ON AT DUSK AND OFF AT DAWN**

BEFORE YOU BREAK GROUND FOR A PROJECT AROUND YOUR PROPERTY, SUCH AS A FENCE, IN-GROUND POOL, OR ADDITION, YOU MUST CALL NEW JERSEY ONE CALL AT (800) 272-1000 TO REQUEST A MARK OUT OF THE UTILITY SERVICES THAT ARE UNDERGROUND. IT IS RECOMMENDED THAT YOU CALL 3 DAYS BEFORE YOU DIG. THE STATE OF NEW JERSEY REQUIRES THAT YOU CALL "BEFORE YOU DIG" TO IDENTIFY THE LOCATION OF ALL UTILITIES THAT YOU CAN DIG. WHERE THE UNDERGROUND UTILITIES ARE LOCATED (SUCH AS WATER, GAS, ELECTRIC, CABLE, ETC.) UNDER "MARKED OUT" YOU CAN DIG WITHOUT THE RISK OF DAMAGING PROPERTY OR THE SERVICES ARE IDENTIFYING SERVICE FROM ONE OF THESE UTILITIES.

**ONE CALL**

IF YOU ARE HAVING A PROJECT FOR YOU, THEY ARE CONTRACTORS CALL UTILITY SERVICES TO MARK OUT WITH PAINT OR A FLAG. THE HELP YOU IDENTIFY WHAT UTILITY IS UNDERGROUND.

COMMUNICATION TYPICALLY ORANGE, WATER SURVEY MARKINGS MAGENTA, PROPOSED ELECTRIC-RED, GASOL-YELLOW, BLUE, SEWER-GREEN, TEMPORARY EXCAVATION-WHITE.



**LIGHTING NOTES:**

- THE CONTRACTOR SHALL COMPLY WITH THE REQUIREMENTS OF THE BUILDING CODE OF THE PROJECT'S STATE, LATEST EDITION AND ALL APPLICABLE FEDERAL AND STATE CODES, STANDARDS, REGULATIONS, AND LAWS.
- IF APPLICABLE, STRUCTURAL CONCRETE AND CONCRETING PRACTICES SHALL CONFORM WITH ACI-318, "BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE". DETAILS SHALL BE IN ACCORDANCE WITH ACI 318, "PRACTICE OF STANDARD PRACTICES". DETAILS AND DETAILING OF CONCRETE REINFORCEMENT. FORMWORK SHALL CONFORM WITH ACI-347 "GUIDE TO FORMWORK FOR CONCRETE". UNLESS OTHERWISE NOTED ON THE CONTRACT DOCUMENTS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS, AND COORDINATE WITH ALL CONTRACT DRAWINGS, PROJECT SHOP DRAWINGS AND FIELD CONDITIONS. CONTRACTOR SHALL ENSURE NO CONFLICTS BETWEEN LIGHT POLE FOUNDATIONS AND STRUCTURES OR PILES.
- THE CONTRACTOR SHALL PROTECT EXISTING FACILITIES, STRUCTURES AND UTILITY LINES FROM ALL DAMAGE.
- JOB SAFETY AND CONSTRUCTION PROCEDURES ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- IF APPLICABLE, CONCRETE SHALL BE NOT CLASS "W" CONCRETE AND COMPLY WITH ALL REQUIREMENTS OUTLINED BY ACI 308.
- ALL CONCRETE SHALL HAVE A SLUMP NO GREATER THAN 4" TO WITHIN A TOLERANCE OF 1".
- ALL EXPOSED CONCRETE SHALL BE AIR ENTRAINED, 4% (WITHIN 1% TOLERANCE), CONFORMING TO ASTM C266.
- REINFORCING STEEL BARS SHALL BE MINIMUM ASTM A615, GRADE 60. ALL REINFORCEMENT SHALL BE SECURELY HELD IN PLACE WHILE PLACING CONCRETE. IF REQUIRED, ADDITIONAL BARS OR STIRRUPS SHALL BE PROVIDED BY THE CONTRACTOR TO FURNISH SUPPORT FOR ALL BARS.
- CONTRACTOR SHALL HAVE A GEOTECHNICAL ENGINEER ON SITE TO INSPECT AND APPROVE FILL AND SURFACE CONDITIONS PRIOR TO PLACING CONCRETE.
- CONTRACTOR IS RESPONSIBLE TO COORDINATE WITH LIGHT POLE MANUFACTURER AND TO VERIFY APPLICABILITY OF AREA LIGHT POLE FOUNDATION DETAIL. IF SOIL CONDITIONS IN THE FIELD OR DESIGN ASSUMPTIONS ARE DIFFERENT THAN THOSE INDICATED ON THE CONTRACT DOCUMENTS OR DESIGN CALCULATIONS, ALL CONSTRUCTION ACTIVITIES ARE TO CEASE AND THE PROJECT LANDSCAPE ARCHITECT, CIVIL ENGINEER, AND OWNER SHALL BE NOTIFIED IMMEDIATELY.

**CALCULATION SUMMARY**

AREA	REQUIRED		PROPOSED				COMPLIANCE
	AVG	AVG	MIN	MAX	MAX/MIN	AVG/MIN	
PARKING LOT	AVG 1.0 FC	1.7 FC	3 FC	4.8 FC	16:1	5.7:1	COMPLIES
INTERSECTIONS	AVG 2.0 FC	3.1 FC	1.2 FC	5.6 FC	3.5:1	2.3:1	COMPLIES

**LUMINAIRE SCHEDULE**

SYMBOL	QTY	MANUFACTURER	MODEL NO.	TEMPERATURE	LUMENS	WATTS	ARRANGEMENT	THROW	LLF	HEIGHT	FILENAME
	59	WALLPACK BY RAB	WPLED10	5,000K	1,208	12.4	WALL MOUNTED	CONSTANT CURRENT	1.0	9'-6" / 12'	rab02318mod50.ies
	15	AREA LIGHT BY RAB	ALED3T105N	4,000K	12,042	107.0	AREA	TYPE III	1.0	25'	rab02256mod40.ies

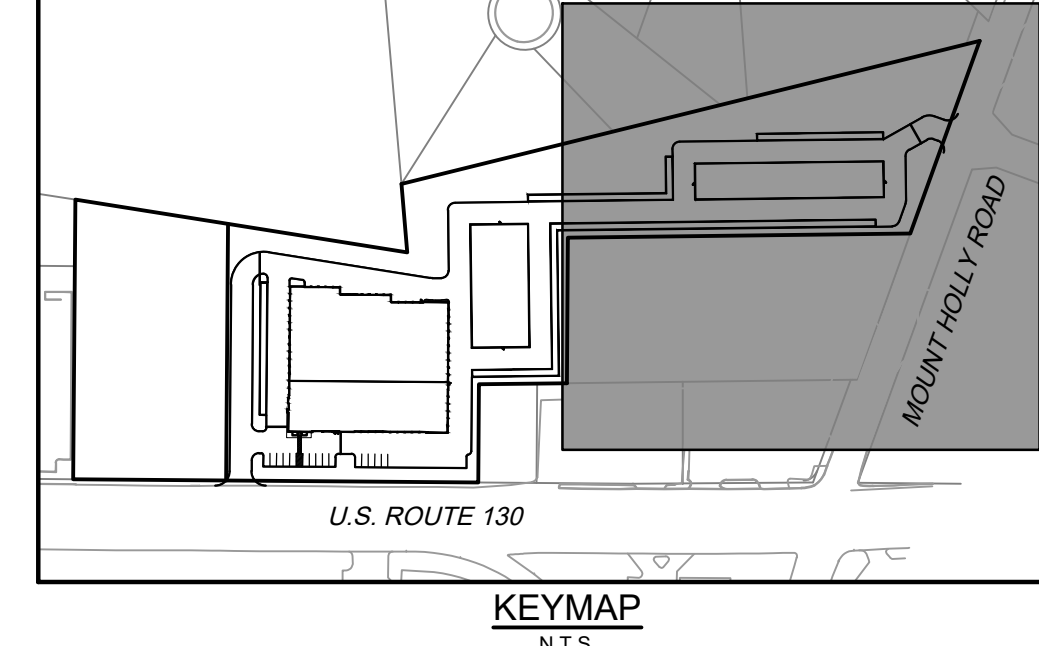
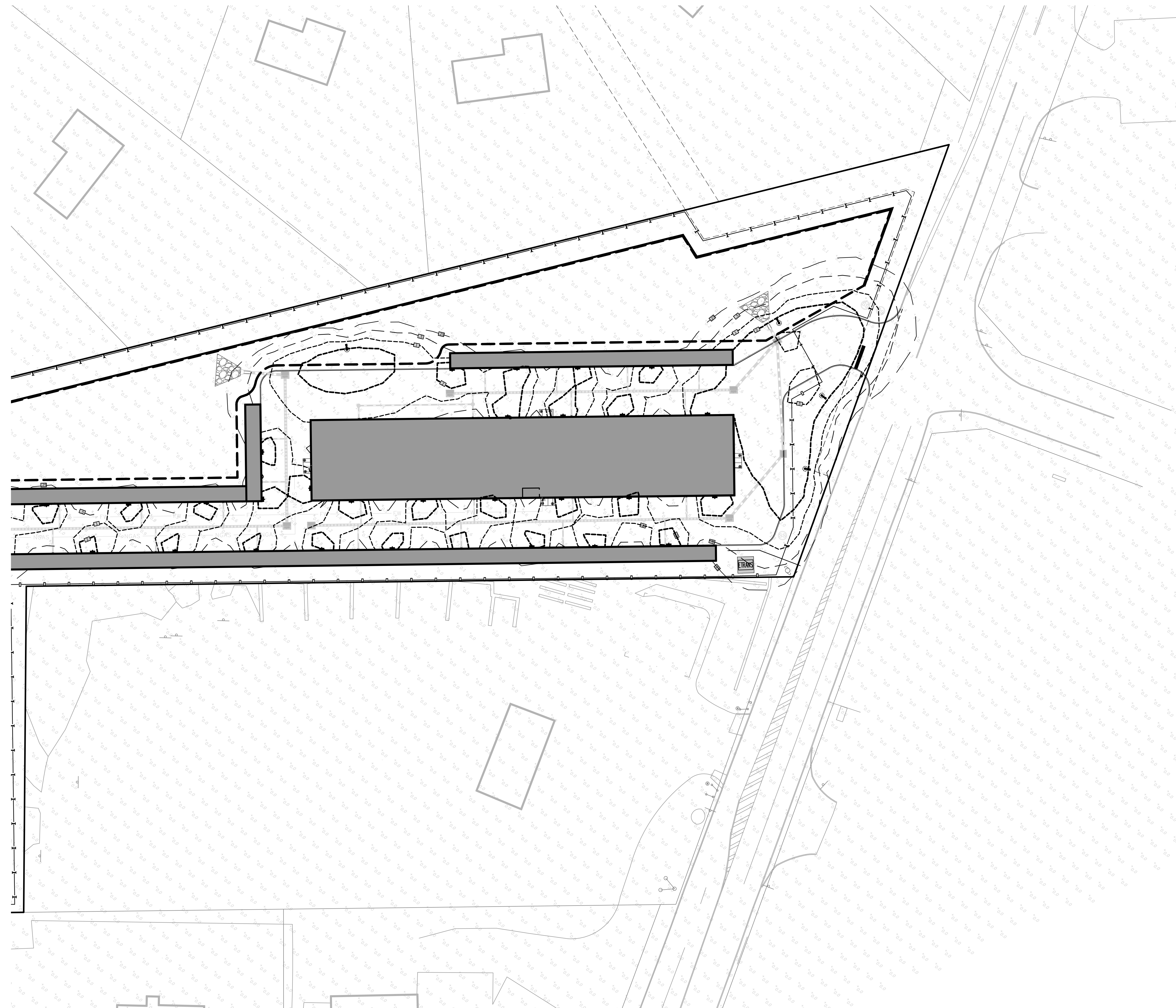
**EDGEWATER PARK - SELF STORAGE DEVELOPMENT**  
PRELIMINARY SITE PLAN APPLICATION  
LIGHTING PLAN  
4201 ROUTE 130, BURLINGTON COUNTY, EDGWATER PARK, NEW JERSEY

NO.	DATE	REMARKS

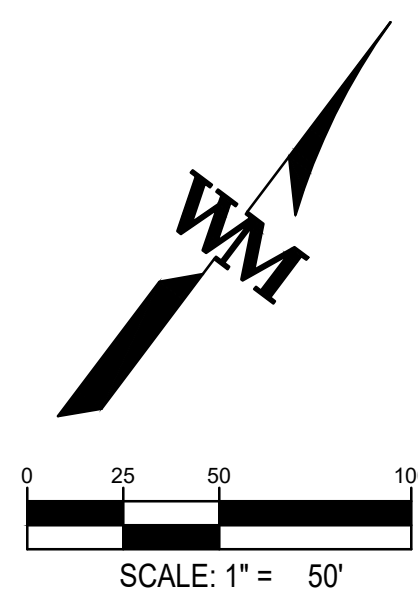
JOB NO.:	NYC19-0005
PA / PM:	EW
DRAWN BY:	IH
DATE:	07/21/2020
PLOT DATE:	23.07.2020

SHEET  
**C9.0**  
Sheet 15 of 25

L:\Dropbox (LAND Identity)\Projects\2020\J20099-Edgewater Park-Ware Malcomb\Drawings\2020-07-23 - From Ware Malcomb\NYC19-0005\_C4-D-C4\_1\_Lighting Plan.dwg  
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- LEGEND:**
- PROPERTY BOUNDARY
  - ▬ PROPOSED CONCRETE SIDEWALK
  - PROPOSED CURB
  - ↑ PROPOSED SIGN
  - EXISTING CURB
  - ↓ EXISTING SIGN
  - ▲ PROPOSED DOOR
  - - - PROPOSED SETBACK LINE



**WARE MALCOMB**  
LEADING DESIGN FOR COMMERCIAL REAL ESTATE

110 edison place  
suite 303  
newark, nj 07102  
p 732.986.9000  
waremalcomb.com

**LAND Identity**  
A Professional Landscape Architecture & Design Company

124 HORSE CREEK  
WESTFIELD, NJ 07090  
F: 908.721.2489  
www.LANDidentity.com

GREGG A. SPADARO, L.L.A.  
NJ LICENSE #21A500095100  
CERT. OF AUTH. 21MH000005

**EDGEWATER PARK - SELF STORAGE DEVELOPMENT**  
PRELIMINARY SITE PLAN APPLICATION  
LIGHTING PLAN  
4201 ROUTE 130, BURLINGTON COUNTY, EDgewater PARK, NEW JERSEY

NO.	DATE	REMARKS

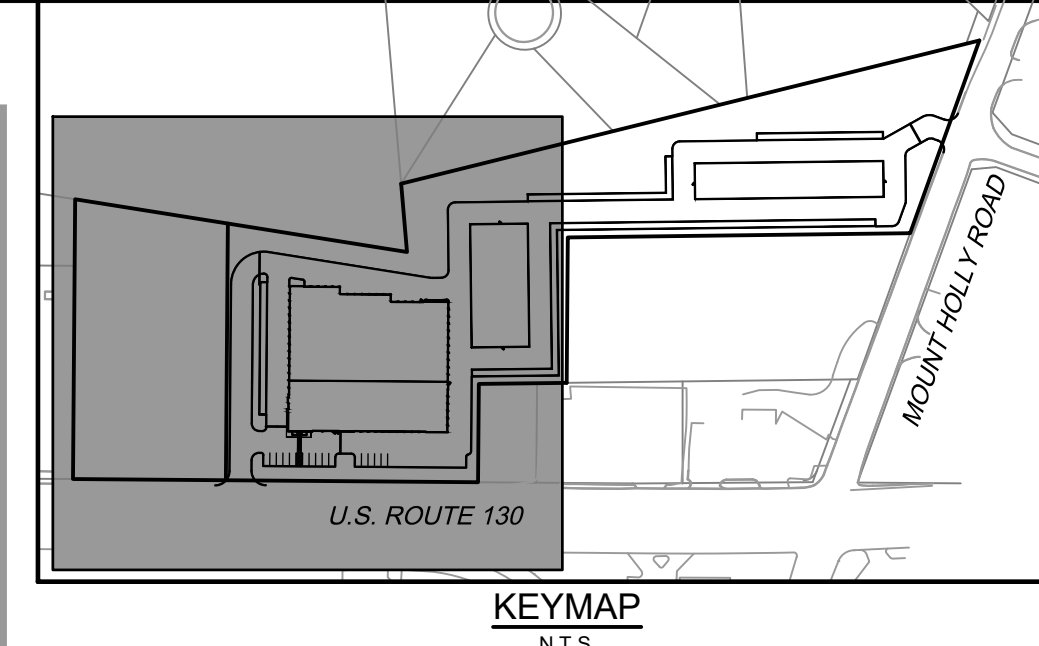
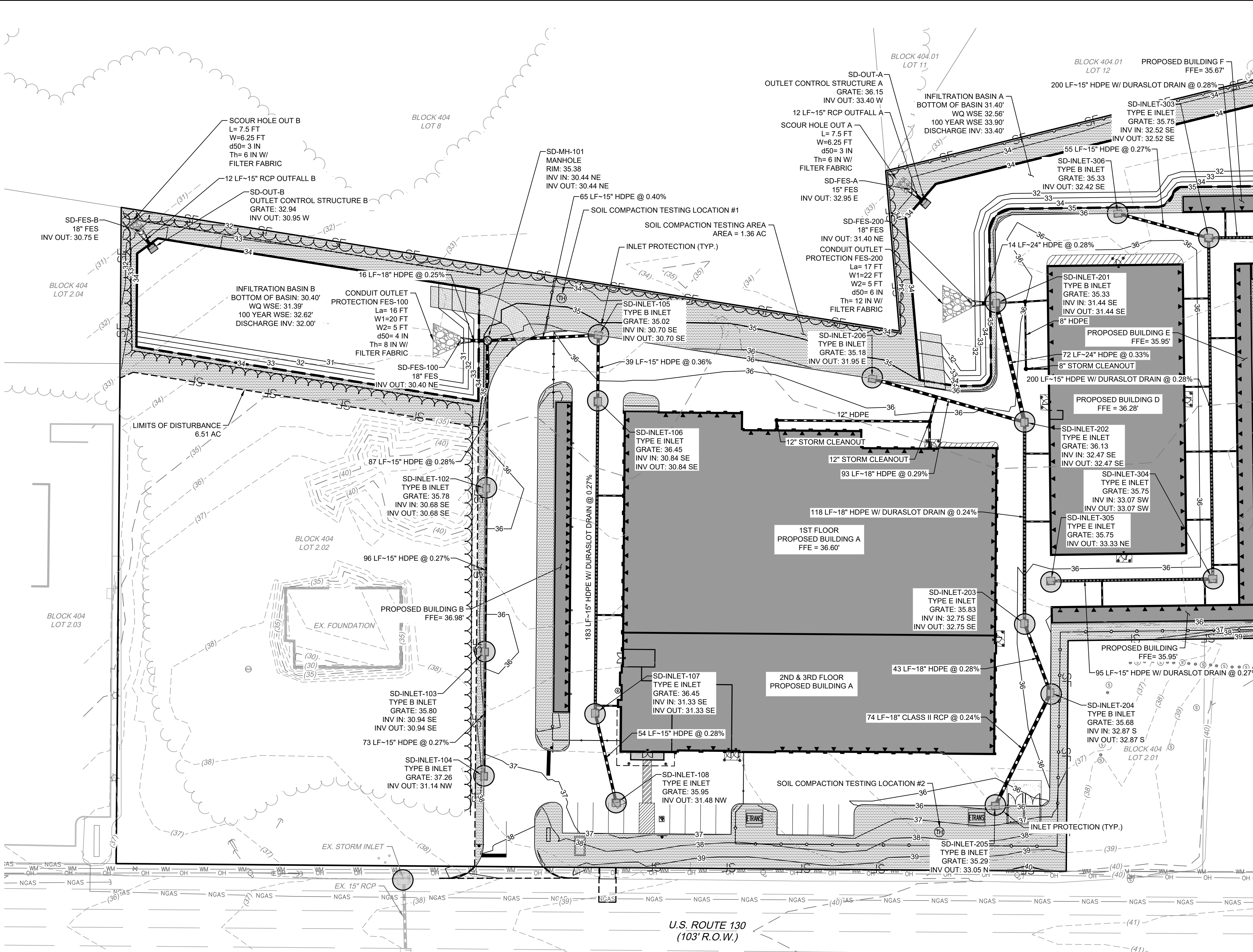
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SHEET  
**C9.1**  
Sheet 16 of 25

NOT FOR CONSTRUCTION







**LEGEND:**

- PROPOSED LIMITS OF DEVELOPMENT
- SF --- PROPOSED SILT FENCE
- CF --- PROPOSED CONSTRUCTION FENCE
- 35 --- PROPOSED 5' CONTOUR
- 34 --- PROPOSED 1' CONTOUR
- (35) --- EXISTING 5' CONTOUR
- (34) --- EXISTING 1' CONTOUR
- PROPOSED CONCRETE SIDEWALK
- PROPOSED STORM SEWER LINE
- PROPOSED STORM SEWER LINE W/ DURASLOT DRAIN
- PROPOSED STORM MANHOLE
- PROPOSED STORM INLET
- NGAS --- PROPOSED NATURAL GAS LINE
- EXISTING CURB
- EXISTING SIGN
- EXISTING STORM SEWER
- EXISTING STORM INLET
- WM --- EXISTING WATER LINE
- EXISTING WATER MANHOLE
- EXISTING WATER VALVE
- OH --- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING UTILITY POLE
- NGAS --- EXISTING NATURAL GAS LINE
- EXISTING NATURAL GAS VALVE
- SS --- EXISTING SANITARY SEWER LINE
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY CLEANOUT
- INLET PROTECTION
- SOIL COMPACTION TESTING AREA
- SOIL COMPACTION TESTING LOCATION

- SOIL COMPACTION TESTING REQUIREMENTS**
- SUBGRADE SOILS PRIOR TO THE APPLICATION OF TOPSOIL (SEE PERMANENT SEEDING AND STABILIZATION NOTES FOR TOPSOIL REQUIREMENTS) SHALL BE FREE OF EXCESSIVE COMPACTION TO A DEPTH OF 6.0 INCHES TO ENHANCE THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
  - AREAS OF THE SITE WHICH ARE SUBJECT TO COMPACTION TESTING AND/OR MITIGATION ARE GRAPHICALLY DENOTED ON THE CERTIFIED SOIL EROSION CONTROL PLAN.
  - COMPACTION TESTING LOCATIONS ARE DENOTED ON THE PLAN. A COPY OF THE PLAN OR PORTION OF THE PLAN SHALL BE USED TO MARK LOCATIONS OF TESTS, AND ATTACHED TO THE COMPACTION REMEDIATION FORM, AVAILABLE FROM THE LOCAL SOIL CONSERVATION DISTRICT. THIS FORM MUST BE FILLED OUT AND SUBMITTED PRIOR TO RECEIVING A CERTIFICATE OF COMPLIANCE FROM THE DISTRICT.
  - IN THE EVENT THAT TESTING INDICATES COMPACTION IN EXCESS OF THE MAXIMUM THRESHOLDS INDICATED FOR THE SIMPLIFIED TESTING METHODS (SEE DETAILS BELOW), THE CONTRACTOR/OWNER SHALL HAVE THE OPTION TO PERFORM EITHER (1) COMPACTION MITIGATION OVER THE ENTIRE MITIGATION AREA DENOTED ON THE PLAN (EXCLUDING EXEMPT AREAS), OR (2) PERFORM ADDITIONAL, MORE DETAILED TESTING TO ESTABLISH THE LIMITS OF EXCESSIVE COMPACTION WHEREUPON ONLY THE EXCESSIVELY COMPACTED AREAS WOULD REQUIRE COMPACTION MITIGATION. ADDITIONAL DETAILED TESTING SHALL BE PERFORMED BY A TRAINED, LICENSED PROFESSIONAL ENGINEER.

- COMPACTION TESTING METHODS**
- PROBING WIRE TEST (SEE DETAIL ON SHEET C10.1)
  - HAND-HELD PENETROMETER TEST (SEE DETAIL ON SHEET C10.1)
  - TUBE BULK DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
  - NUCLEAR DENSITY TEST (LICENSED PROFESSIONAL ENGINEER REQUIRED)
- NOTE: ADDITIONAL TESTING METHODS WHICH CONFORM TO ASTM STANDARDS AND SPECIFICATIONS, AND WHICH PRODUCE A DRY WEIGHT, SOIL BULK DENSITY MEASUREMENT MAY BE ALLOWED SUBJECT TO DISTRICT APPROVAL.
- SOIL COMPACTION TESTING IS NOT REQUIRED IF WHEN SUBSOIL COMPACTION REMEDIATION (SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) OR SIMILAR) IS PROPOSED AS PART OF THE SEQUENCE OF CONSTRUCTION.
- PROCEDURES FOR SOIL COMPACTION MITIGATION**
- PROCEDURES SHALL BE USED TO MITIGATE EXCESSIVE SOIL COMPACTION PRIOR TO PLACEMENT OF TOPSOIL AND ESTABLISHMENT OF PERMANENT VEGETATIVE COVER.
- RESTORATION OF COMPACTED SOILS SHALL BE THROUGH DEEP SCARIFICATION/TILLAGE (6" MINIMUM DEPTH) WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.) IN THE ALTERNATIVE, ANOTHER METHOD AS SPECIFIED BY A NEW JERSEY LICENSED PROFESSIONAL ENGINEER MAY BE SUBSTITUTED SUBJECT TO DISTRICT APPROVAL.

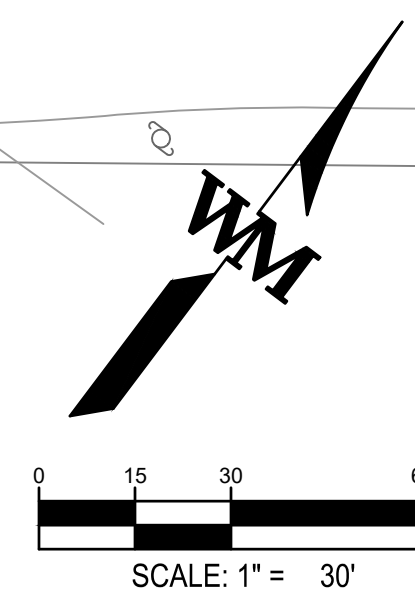
NO.	DATE	REMARKS

JOB NO.:	NYC19-0005
PA / PM:	EW
DRAWN BY:	IH
DATE:	07/21/2020

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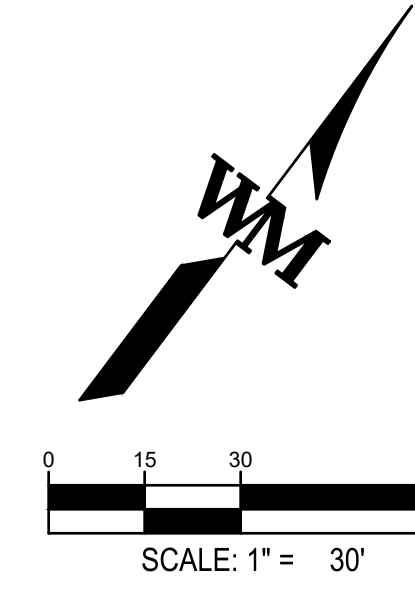
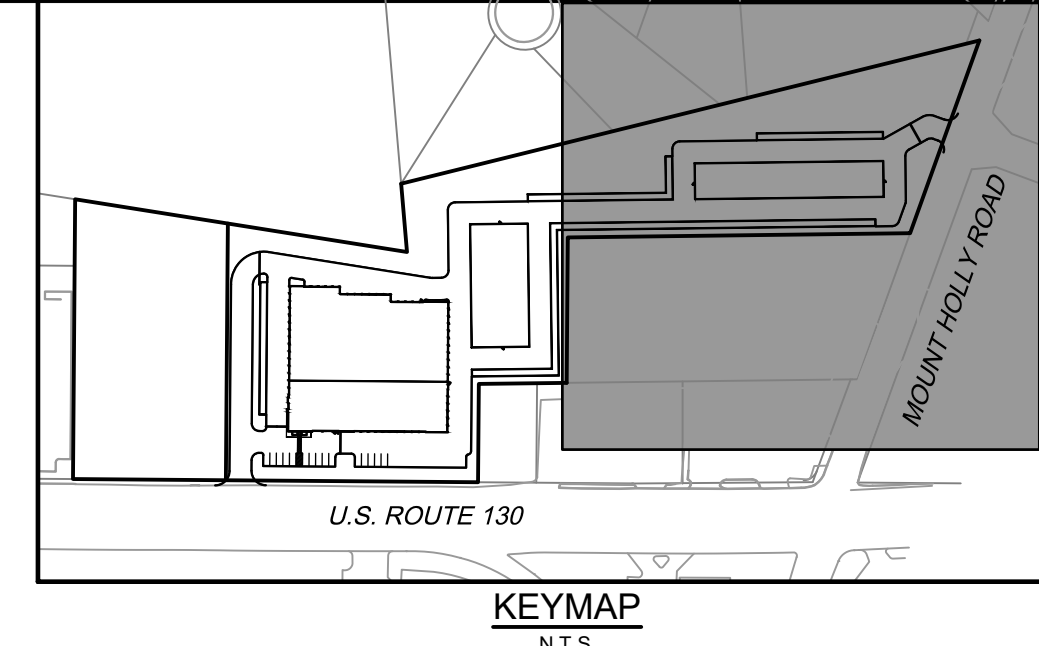
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- NOTES:**
- SEE SHEET C10.1 FOR SOIL COMPACTION TESTING REQUIREMENT DETAILS.
  - PROVIDE FILTER FABRIC BENEATH ALL TRENCH DRAINS FOR INLET PROTECTION.



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**Soil De-compaction and Testing Requirements**

**Soil Compaction Testing Requirements**

- Subgrade soils **prior to the application of topsoil** (see permanent seeding and stabilization notes for topsoil requirements) shall be free of excessive compaction to a depth of 6.0 inches to enhance the establishment of permanent vegetative cover.
- Areas of the site which are subject to compaction testing and/or mitigation are **graphically denoted** on the certified soil erosion control plan.
- Compaction testing locations** are denoted on the plan. A copy of the plan or portion of the plan shall be used to mark locations of tests, and attached to the compaction mitigation verification form, available from the local soil conservation district. This form must be filled out and submitted prior to receiving a certificate of compliance from the district.
- In the event that testing indicates compaction in excess of the maximum thresholds indicated for the simplified testing methods (see details below), the contractor/owner shall have the option to perform either (1) compaction mitigation over the entire mitigation area denoted on the plan (excluding exempt areas), or (2) perform additional, more detailed testing to establish the limits of excessive compaction whereupon only the excessively compacted areas would require compaction mitigation. Additional detailed testing shall be performed by a trained, licensed professional.

**Compaction Testing Methods**

- A. Probing Wire Test (see detail)
- B. Hand-held Penetrometer Test (see detail)
- C. Tube Bulk Density Test (licensed professional engineer required)
- D. Nuclear Density Test (licensed professional engineer required)

Note: Additional testing methods which conform to ASTM standards and specifications, and which produce a dry weight, soil bulk density measurement may be allowed subject to District approval.

Soil compaction testing is not required if/when subsoil compaction remediation (scarification/tillage (6" minimum depth) or similar) is proposed as part of the sequence of construction.

**Procedures for Soil Compaction Mitigation**

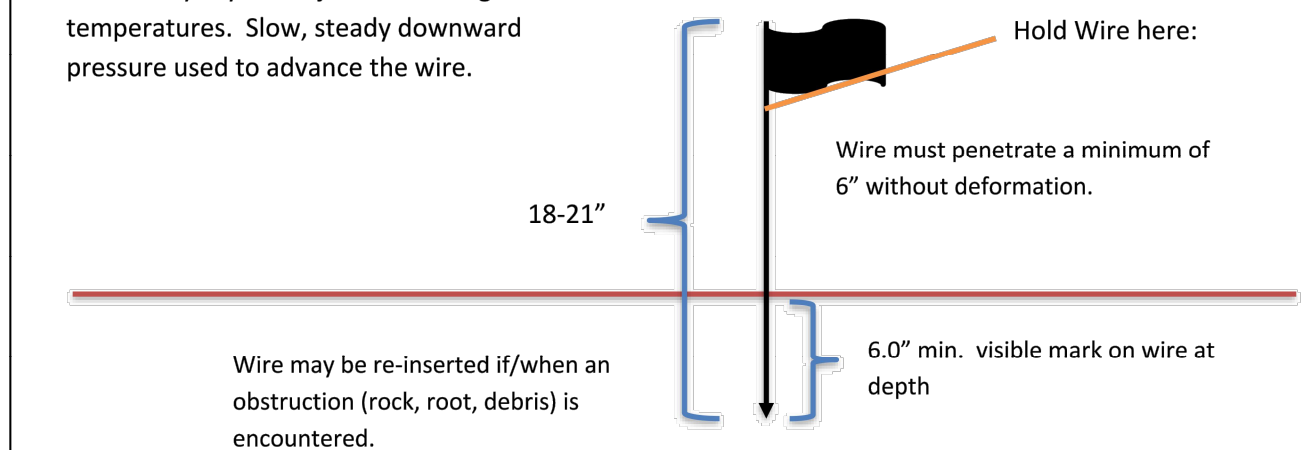
Procedures shall be used to mitigate excessive soil compaction **prior to placement of topsoil** and establishment of permanent vegetative cover.

Restoration of compacted soils shall be through deep scarification/tillage (6" minimum depth) where there is no danger to underground utilities (cables, irrigation systems, etc.). In the alternative, another method as specified by a New Jersey Licensed Professional Engineer maybe substituted subject to District Approval.

**Simplified Testing Methods**

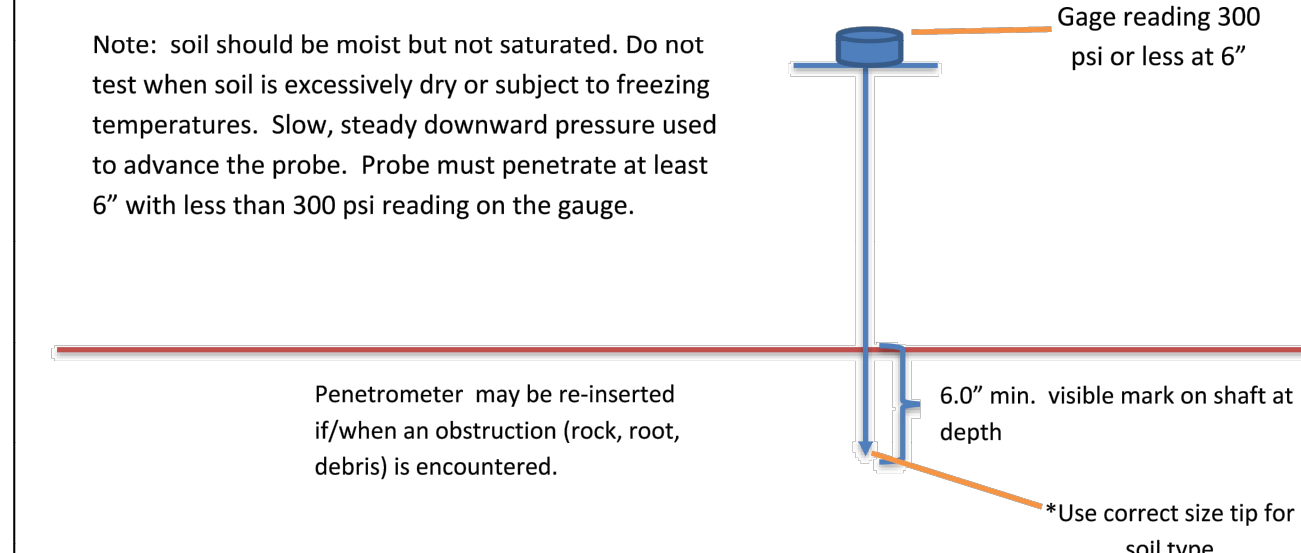
**Probing Wire Test- 15.5 ga steel wire (survey flag)**

Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the wire.



**Handheld Soil Penetrometer Test**

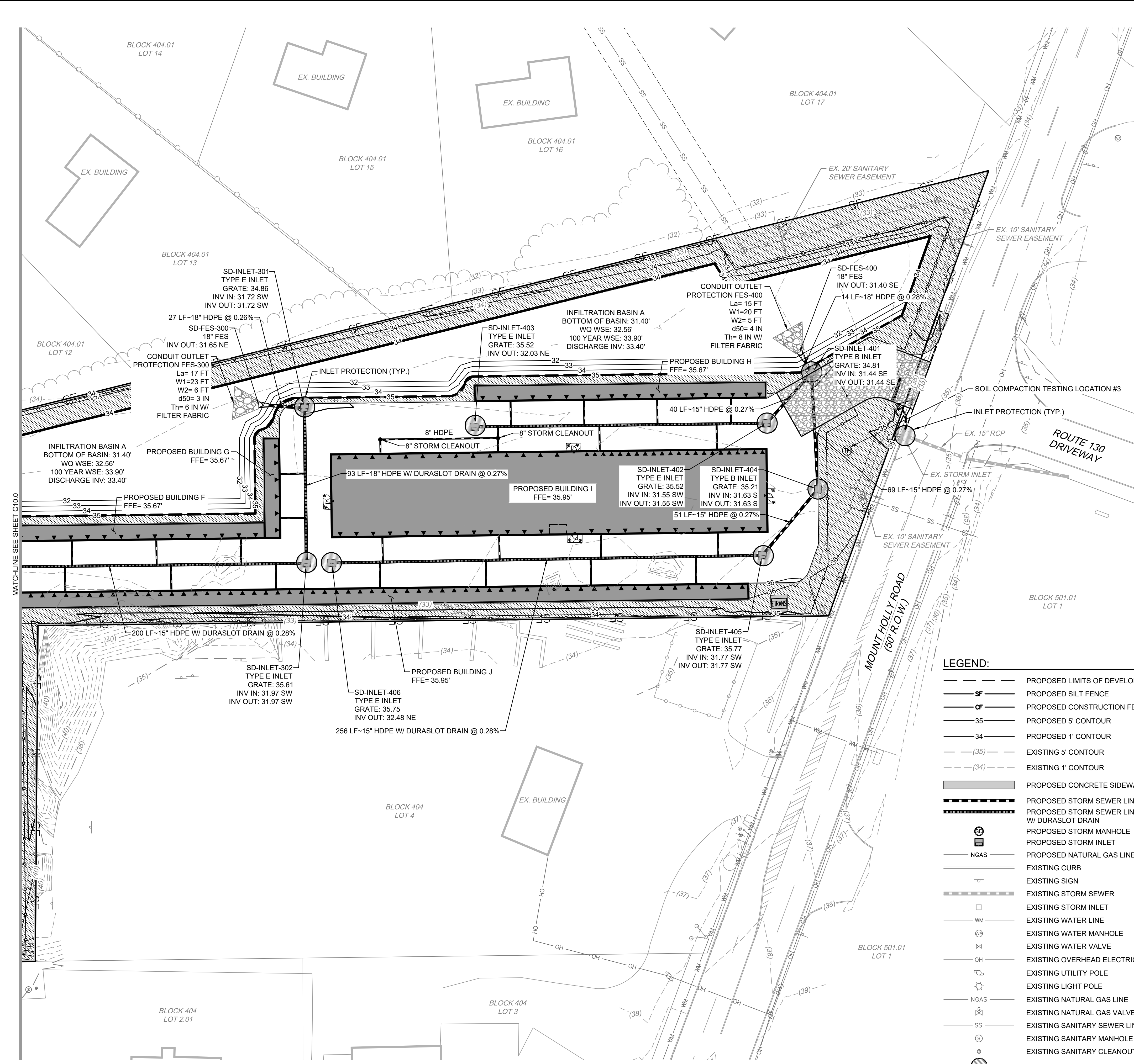
Note: soil should be moist but not saturated. Do not test when soil is excessively dry or subject to freezing temperatures. Slow, steady downward pressure used to advance the probe. Probe must penetrate at least 6" with less than 300 psi reading on the gauge.



**LEGEND:**

- PROPOSED LIMITS OF DEVELOPMENT
- SF- PROPOSED SILT FENCE
- CF- PROPOSED CONSTRUCTION FENCE
- 35- PROPOSED 5' CONTOUR
- 34- PROPOSED 1' CONTOUR
- (35)- EXISTING 5' CONTOUR
- (34)- EXISTING 1' CONTOUR
- PROPOSED CONCRETE SIDEWALK
- PROPOSED STORM SEWER LINE
- PROPOSED STORM SEWER LINE W/ DURASLOT DRAIN
- ⊙ PROPOSED STORM MANHOLE
- ⊙ PROPOSED STORM INLET
- NGAS PROPOSED NATURAL GAS LINE
- EXISTING CURB
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- EXISTING STORM SEWER
- ⊙ EXISTING STORM INLET
- ⊙ EXISTING WATER LINE
- ⊙ EXISTING WATER MANHOLE
- ⊙ EXISTING WATER VALVE
- OH EXISTING OVERHEAD ELECTRIC LINE
- ⊙ EXISTING UTILITY POLE
- ⊙ EXISTING LIGHT POLE
- NGAS EXISTING NATURAL GAS LINE
- ⊙ EXISTING NATURAL GAS VALVE
- EXISTING SANITARY SEWER LINE
- ⊙ EXISTING SANITARY MANHOLE
- ⊙ EXISTING SANITARY CLEANOUT
- ⊙ INLET PROTECTION
- ⊙ SOIL COMPACTION TESTING AREA
- ⊙ SOIL COMPACTION TESTING LOCATION

- NOTES:**
- SEE SHEET C10.0 FOR SOIL COMPACTION TESTING REQUIREMENT NOTES.
  - PROVIDE FILTER FABRIC BENEATH ALL TRENCH DRAINS FOR INLET PROTECTION.



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HUDSON-ESSEX-PASSAIC COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES:

- 1. ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED STRUCTURES OR UTILITIES.
2. SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THE PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY.
...
37. ANY HAZARDOUS SUBSTANCE RELEASES IN EXCESS OF REPORTABLE QUANTITIES (RQ) ESTABLISHED UNDER 40 C.F.R 110.117 AND 302 THAT OCCUR WITHIN A 24-HOUR PERIOD MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER (800 424-8802).

TEMPORARY STABILIZATION NOTES:

TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION
DISTURBED AREAS SHALL BE MAINTAINED IN A ROUGH GRADED CONDITION AND TEMPORARILY SEEDED AND HAY MULCHED

(OR HYDROSEEDED) UNTIL PROPER WEATHER EXISTS FOR THE ESTABLISHMENT OF PERMANENT VEGETATIVE COVER. THE FOLLOWING SEEDING SCHEDULE SHALL BE USED FOR TEMPORARILY SEEDING:

- A. LIME - 90 LBS/1,000 SF GROUND LIMESTONE
B. FERTILIZER - 14 LBS/1,000 SF; 10-20-10 OR EQUIVALENT, WITH 50% WATER INSOLUBLE NITROGEN WORKED INTO SOIL TO A DEPTH OF 4 INCHES.
C. SEED - PERENNIAL RYEGRASS - 100 LBS/ACRE; PLANT BETWEEN MARCH 1 AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
D. MULCH - SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 TO 90 LBS/1,000 SF; TO BE APPLIED ACCORDING TO NEW JERSEY STANDARDS...

STABILIZATION WITH MULCH ONLY

NON-GROWING STABILIZATION MEASURES SHALL BE USED WHERE THE SEASON AND OTHER CONDITIONS MAY NOT BE SUITABLE FOR GROWING AN EROSION RESISTANT COVER OR WHERE STABILIZATION IS NEEDED FOR A SHORT PERIOD UNTIL MORE SUITABLE PROTECTION CAN BE APPLIED.

SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 90 TO 115 LBS/1,000 SF TO BE APPLIED ACCORDING TO THE NEW JERSEY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. PEG AND TWINE, LIQUID MULCH BINDER, OR MULCH NETTING).

DUST CONTROL NOTES:

THE FOLLOWING METHODS SHOULD BE CONSIDERED FOR CONTROLLING DUST:
MULCHES - SEE STANDARD OF STABILIZATION WITH MULCHES ONLY, PG. 5-1
VEGETATIVE COVER - SEE STANDARD FOR; TEMPORARY VEGETATIVE COVER, PG. 7-1, PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION PG. 4-1 AND PERMANENT STABILIZATION WITH SOD, PG. 6-1

SPRAY-ON ADHESIVES - ON MINERAL SOILS (NOT EFFECTIVE ON MUCK SOILS). KEEP TRAFFIC OFF THESE AREAS.
DUST CONTROL MATERIALS
MATERIAL WATER DILUTION TYPE OF NOZZLE APPLY GALLONS/ACRE

Table with columns: MATERIAL, WATER DILUTION, TYPE OF NOZZLE, APPLY GALLONS/ACRE. Includes entries for ANIONIC ASPHALT EMULSION, LATEX EMULSION, RESIN IN WATER, and ACIDULATED SOY BEAN SOAP STICK.

POLYACRYLAMIDE (PAM) - SPRAY ON
POLYACRYLAMIDE (PAM) - DRY SPREAD
APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOCCULATE AND PRECIPITATE SUSPENDED COLLOIDS. SEE SEDIMENT BASIN STANDARD, P. 26-1

TILLAGE - TO ROUGHEN SURFACE AND BRING CLODS TO THE SURFACE. THIS IS A TEMPORARY EMERGENCY MEASURE WHICH SHOULD BE USED BEFORE SOIL BLOWING STARTS. BEGIN PLOWING ON WINDWARD SIDE OF SITE. CHISEL-TYPE PLOWS SPACED ABOUT 12 INCHES APART AND SPRING-TOOTHED HARROW AREA EXAMPLES OF EQUIPMENT WHICH MAY PRODUCE THE DESIRED EFFECT.

SPRINKLING - SITE IS SPRINKLED UNTIL THE SURFACE IS WET.

BARRIERS - SOLID BOARD FENCES, SNOW FENCES, BURLAP FENCES, CRATE WALLS, BALES OF HAY AND SIMILAR MATERIAL CAN BE USED TO CONTROL AIR CURRENTS AND SOIL BLOWING.

CALCIUM CHLORIDE - SHALL BE IN THE FORM OF LOOSE, DRY GRANULES OR FLAKES FINE ENOUGH TO FEED THROUGH COMMONLY USED SPREADERS AT A RATE THAT WILL KEEP SURFACE MOIST BUT NOT CAUSE POLLUTION OR PLAN DAMAGE. IF USED ON STEEPER SLOPES, THEN USE OTHER PRACTICES TO PREVENT WASHING INTO STREAM OR ACCUMULATION AROUND PLANTS.

STONE - COVER SURFACE WITH CRUSHED STONE OR COARSE GRAVEL.

SEQUENCE OF CONSTRUCTION:

- 1. NOTIFY IN WRITING THE BURLINGTON COUNTY SOIL CONSERVATION DISTRICT AT LEAST 48 HOURS PRIOR TO ANY PROJECT PRE-CONSTRUCTION MEETING OR SITE DISTURBANCE.
2. INSTALL A CRUSHED STONE, VEHICLE WHEEL-CLEANING BLANKET OF 1 IN. TO 2 1/2 IN. WASHED STONE 6 IN. DEEP AT THE CONSTRUCTION ENTRANCE(S) IMMEDIATELY AFTER INITIAL DISTURBANCES AS PER STANDARDS ON DRAWINGS. SITE TRAFFIC SHOULD USE ONLY THESE AREAS FOR INGRESS AND EGRESS.
...
12. NOTIFY THE BURLINGTON COUNTY SOIL CONSERVATION DISTRICT AT COMPLETE OF CONSTRUCTION.

DURATION:

1 WEEK
4 WEEKS
4 WEEKS
2 MONTHS
IMMEDIATELY
6 MONTHS
3 MONTHS
CONTINUOUSLY
2 WEEKS
1 WEEK
1 DAY

PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION:

PERMANENT SEEDING SHALL BE IN ACCORDANCE WITH "STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY" THE FOLLOWING SEEDING SCHEDULE SHOULD BE USED FOR PERMANENT SEEDING (UNLESS OTHERWISE NOTED):

- A. APPLY TOPSOIL TO A DEPTH OF 4".
B. LIME - 90 LBS/1,000 SF OF GROUND LIMESTONE.
C. FERTILIZER - 14 LBS/1,000 SF; 10-20-10 OR EQUIVALENT, WITH 50% WATER INSOLUBLE NITROGEN, WORKED INTO SOIL TO A DEPTH OF 4 INCHES.
D. LAWN AREAS - AREAS DESIGNATED AS LAWN, OR DISTURBED AREAS NOT DESIGNATED FOR ANY OTHER PLANTING SHALL BE PERMANENTLY STABILIZED BY SEEDING WITH THE FOLLOWING SEE MIXTURE AT A RATE OF 200 LBS / ACRE.

10% KENTUCKY BLUEGRASS - BARON MIX
20% PERMANENT RYEGRASS
70% TURF TYPE TALL FESCUE
OPTIMAL PLANTING PERIOD BETWEEN MARCH 1 AND MAY 31 OR BETWEEN AUGUST 15 AND NOVEMBER 15.
ACCEPTABLE PLANTING PERIOD BETWEEN MAY 1 AND AUGUST 14.
E. MEADOW SEED MIX A ENNST SEED MIX ERNMX - 168 "NORTHEAST PERENNIAL & ANNUAL WILDFLOWER MIX"

GENERAL SEEDING NOTES:

- 1. FINAL SEED MIXTURES, RATES & SPECIES TO BE DETERMINED BASED ON SCD REVIEW.
2. SEEDING SHALL TAKE PLACE IN THE SPRING (APRIL 1 TO JUNE 1) OR THE FALL (SEPTEMBER 1 TO OCTOBER 1).
3. ELIMINATE UNWANTED VEGETATION PRIOR TO SEEDING USING A BROAD-SPECTRUM NON-SELECTIVE HERBICIDE PER MANUFACTURER'S SPECIFICATIONS.
4. IT IS RECOMMENDED THAT CONTRACTOR INSTALL SEED MIXTURE USING A NO-TILL TRUAX-TYPE DRILL WHERE APPLICABLE.
5. CONTINUOUS MOISTURE FOR 4-6 WEEKS MUST BE INSURED TO ALLOW PROPER GERMINATION. SOIL WILL REMAIN CONTINUOUSLY MOIST FOR THE TOP 4 INCHES OF TOPSOIL. DO NOT SATURATE.

H. MULCH - SALT HAY OR SMALL GRAIN STRAW AT A RATE OF 70 - 90 LBS/1,000 SF; TO BE APPLIED ACCORDING TO NEW JERSEY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (I.E. LIQUID MULCH BINDER, CRIMPING PEG AND TWINE).

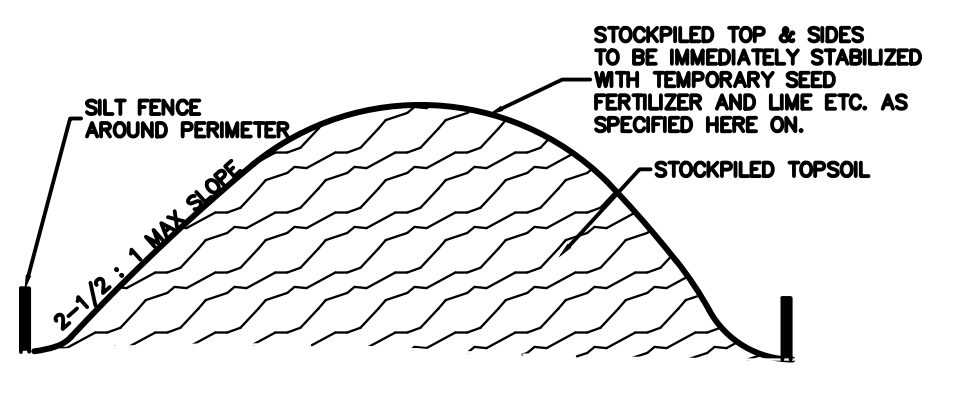


Table with columns: MATERIAL, WATER DILUTION, TYPE OF NOZZLE, APPLY GALLONS/ACRE. Includes entries for ANIONIC ASPHALT EMULSION, LATEX EMULSION, RESIN IN WATER, POLYACRYLAMIDE (PAM) - SPRAY ON, POLYACRYLAMIDE (PAM) - DRY SPREAD, and ACIDULATED SOY BEAN SOAP STICK.

STOCKPILE AREA

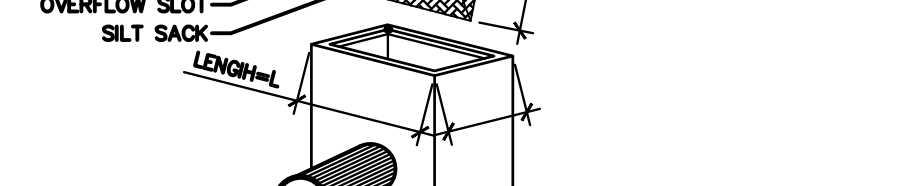
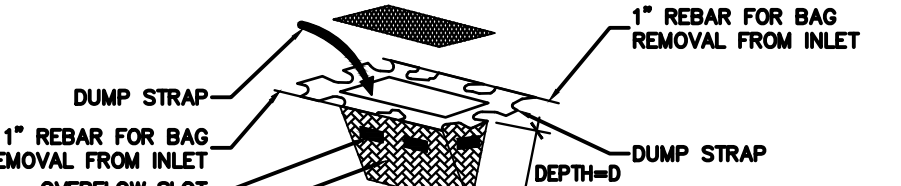
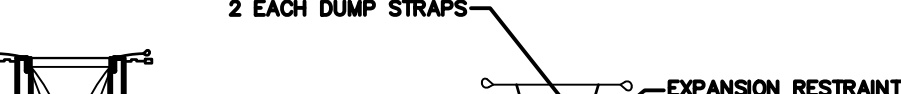
SCALE: N.T.S.



- 1. CONTRACTOR TO DIG 6" MIN. TRENCH AND LINE TRENCH WITH FILTER FABRIC PRIOR TO BACK FILL.
2. EXCEPT FOR THE END POST, DRIVE ALL POSTS INTO THE GROUND AT BACK SIDE OF TRENCH SPACED A MAXIMUM OF 8 FT. O.C.
3. ATTACH FILTER FABRIC TO POST AND STRETCH BETWEEN POST WITH METAL FASTENER AND REINFORCEMENT MATERIAL PLACED BETWEEN THE FASTENER AND THE GEOTEXTILE FABRIC.
4. POST SHALL BE CONSTRUCTED OF HARDWOOD WITH A MINIMUM DIAMETER THICKNESS OF 1-1/2 INCHES.

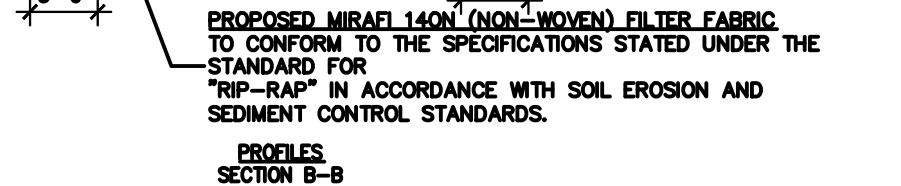
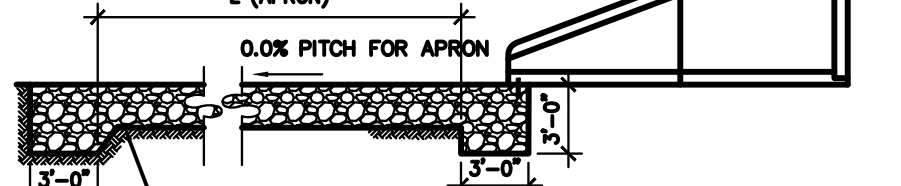
SILT FENCE

SCALE: N.T.S.



INLET PROTECTION - SILT BANG

SCALE: N.T.S.



NOTES
1) RIPRAP DESIGNED FOR 25-YR STORM.
2) REFER TO SHEET C101 FOR RIP RAP DIMENSIONS.

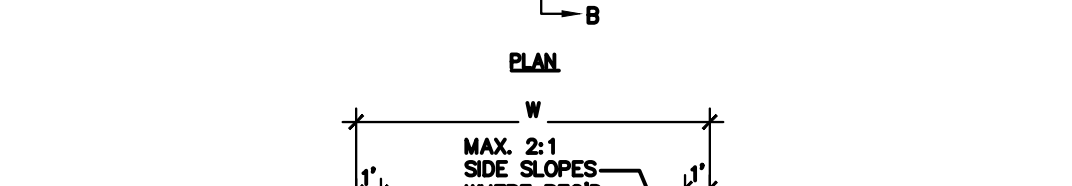
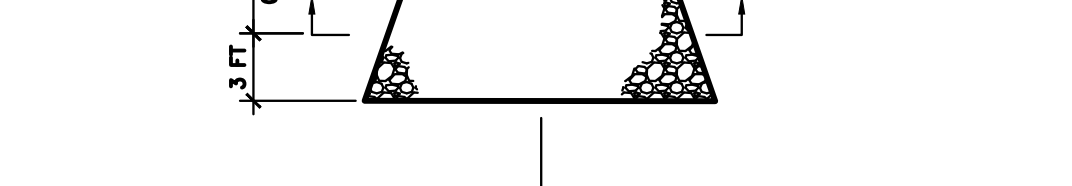
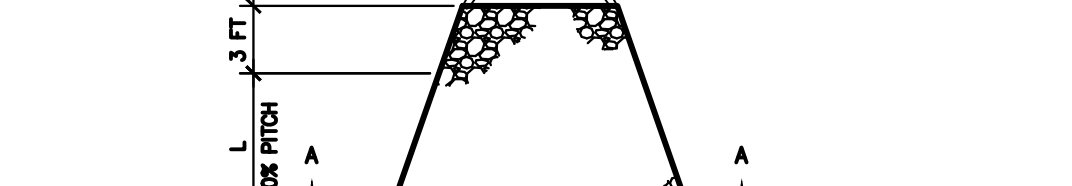
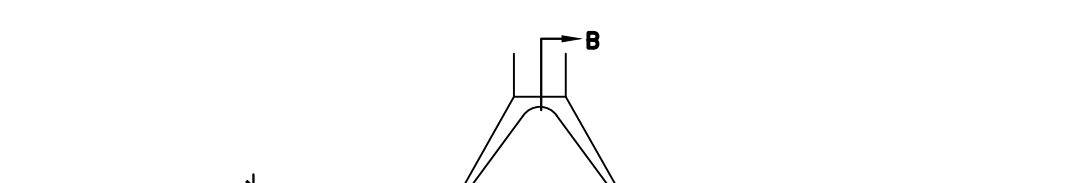
CONDUIT OUTLET PROTECTION

SCALE: N.T.S.



CONSTRUCTION ENTRANCE

SCALE: N.T.S.



Rip Rap Design Summary (Adapted from design calculations) table with columns: Description, Pipe Width (ft), Pipe Depth (ft), Pipe Discharge (cfs), Tailwater (ft), Apron Length (ft), Apron Width (ft), Median Riprap Diameter (in), Apron Thickness (in). Rows include SD-FES-100, SD-FES-200, SD-FES-300, and SD-FES-400.

WARE MALCOMB
LEADING DESIGN FOR COMMERCIAL REAL ESTATE
110 edison place
suite 303
newark, nj 07102
p 732.986.9000
waremalcomb.com

EDWARD F. WILKES, JR.
PROFESSIONAL ENGINEER
N.J.C. NO. 24604937200
FOR AND ON BEHALF OF WARE MALCOMB

EDGEWATER PARK - SELF STORAGE DEVELOPMENT
PRELIMINARY SITE PLAN APPLICATION
EROSION CONTROL DETAILS
4201 ROUTE 130, BURLINGTON COUNTY, EDgewater PARK, NEW JERSEY

Table with columns: NO., DATE, REMARKS.

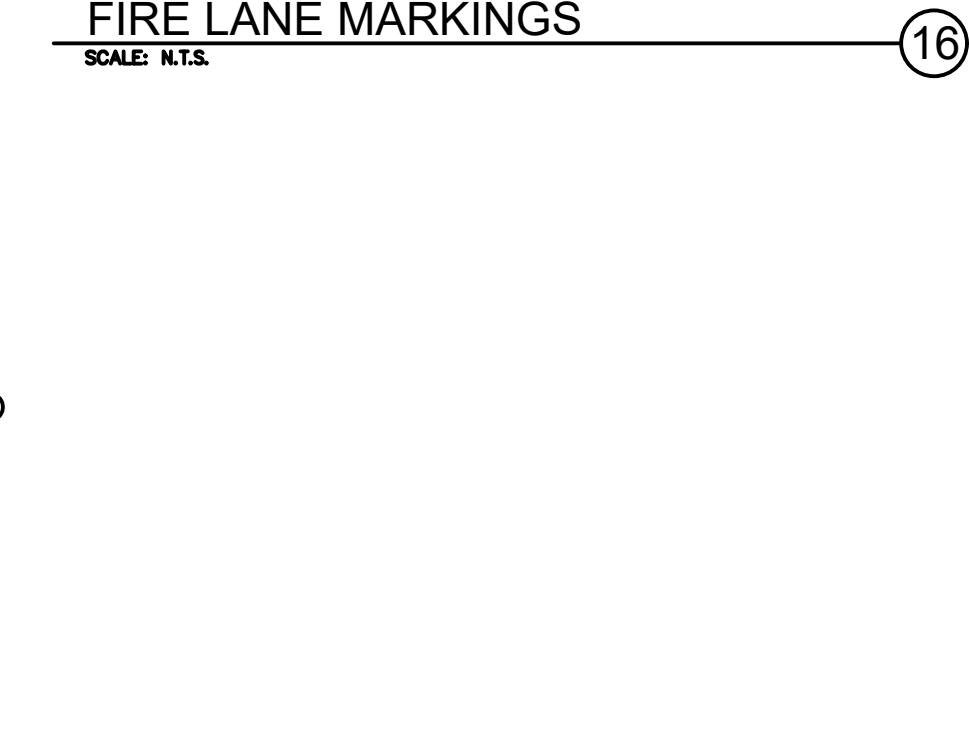
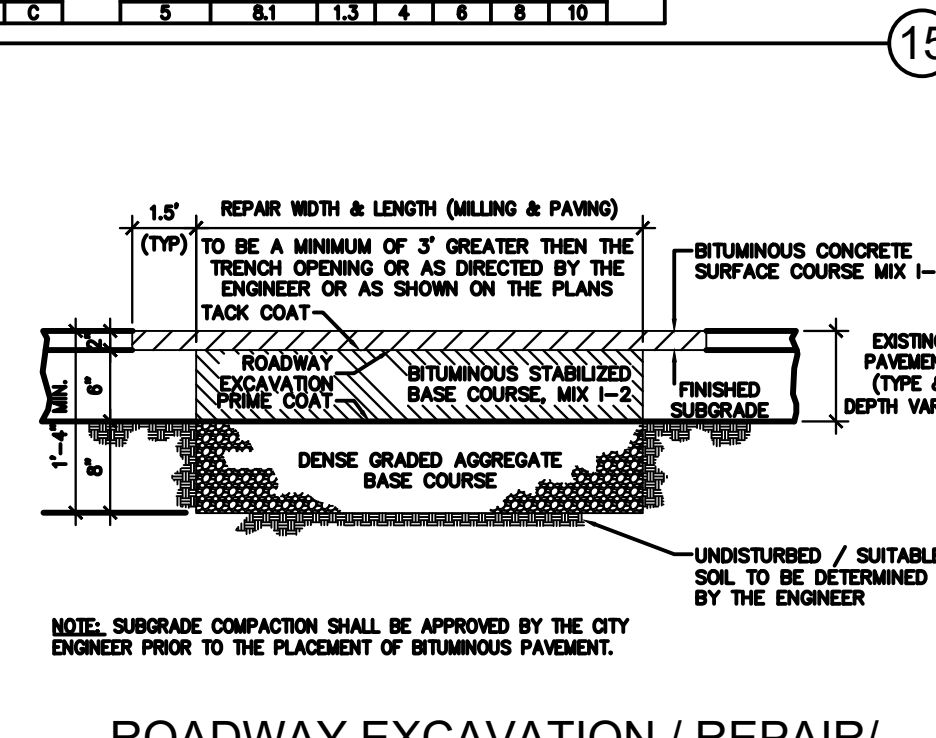
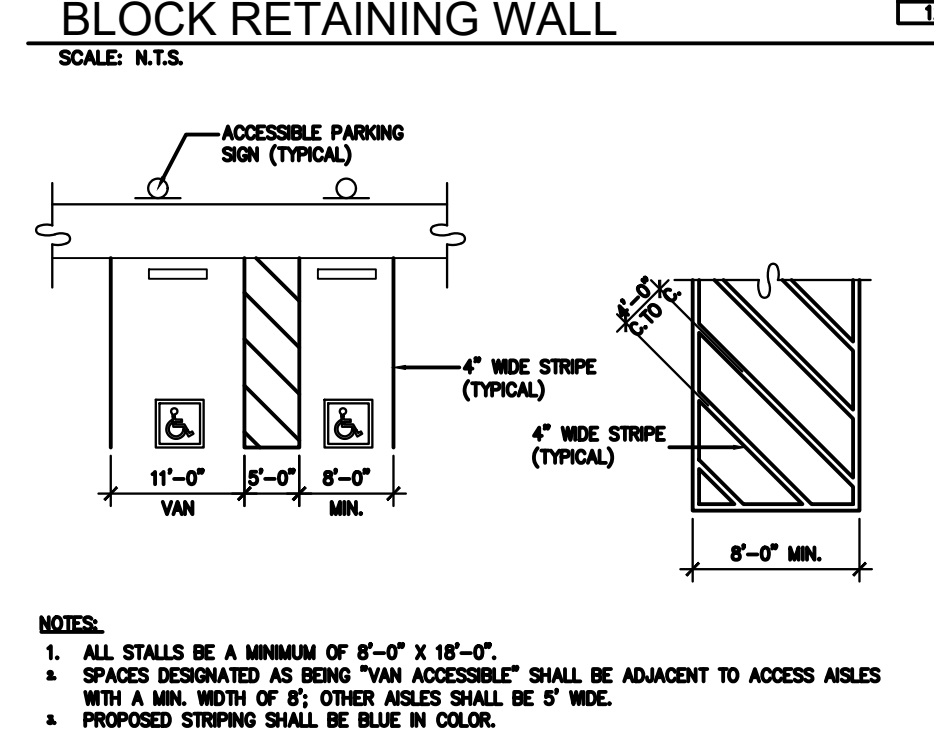
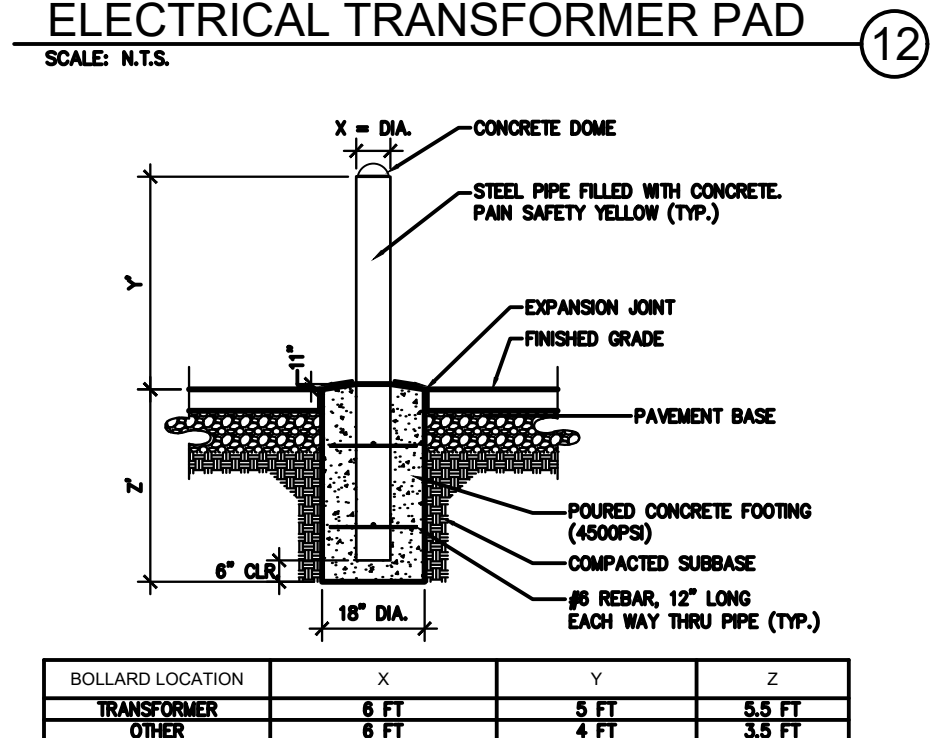
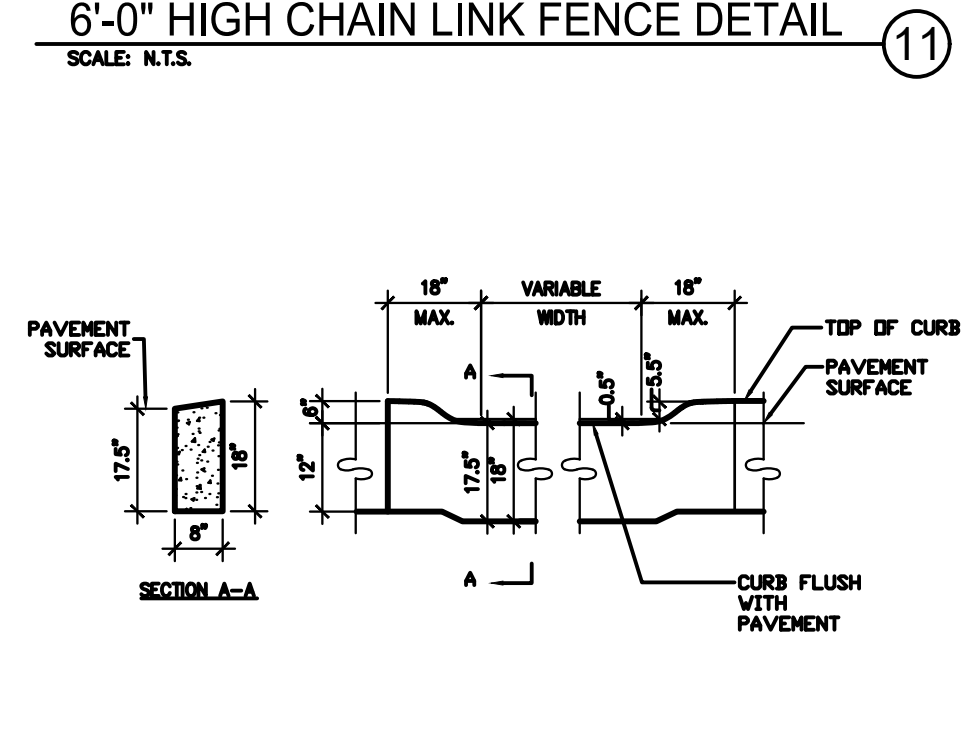
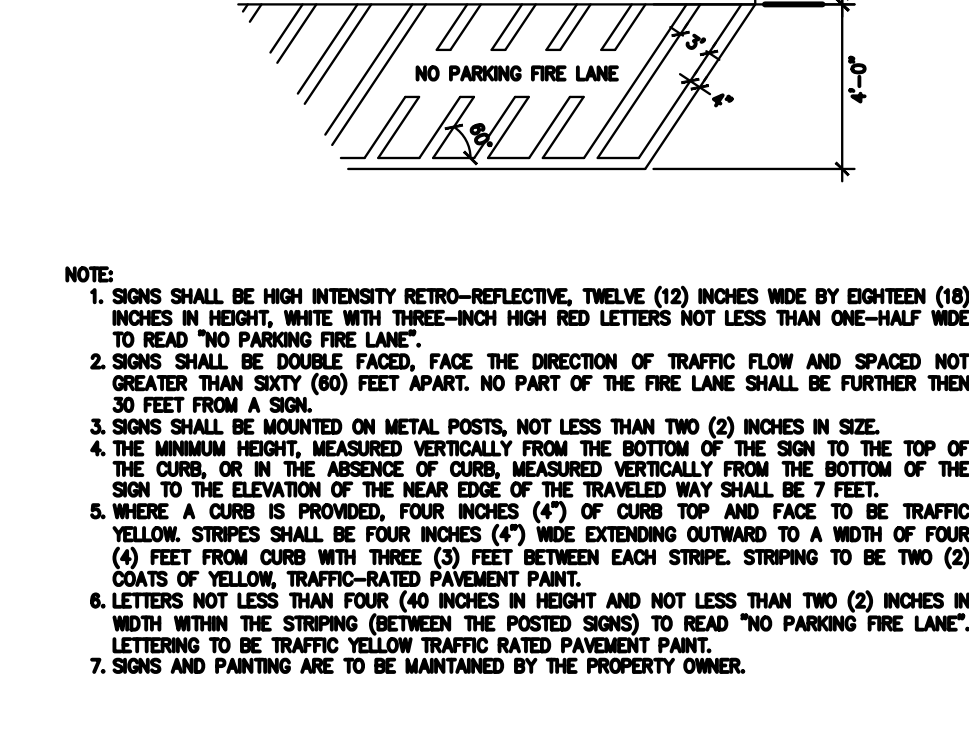
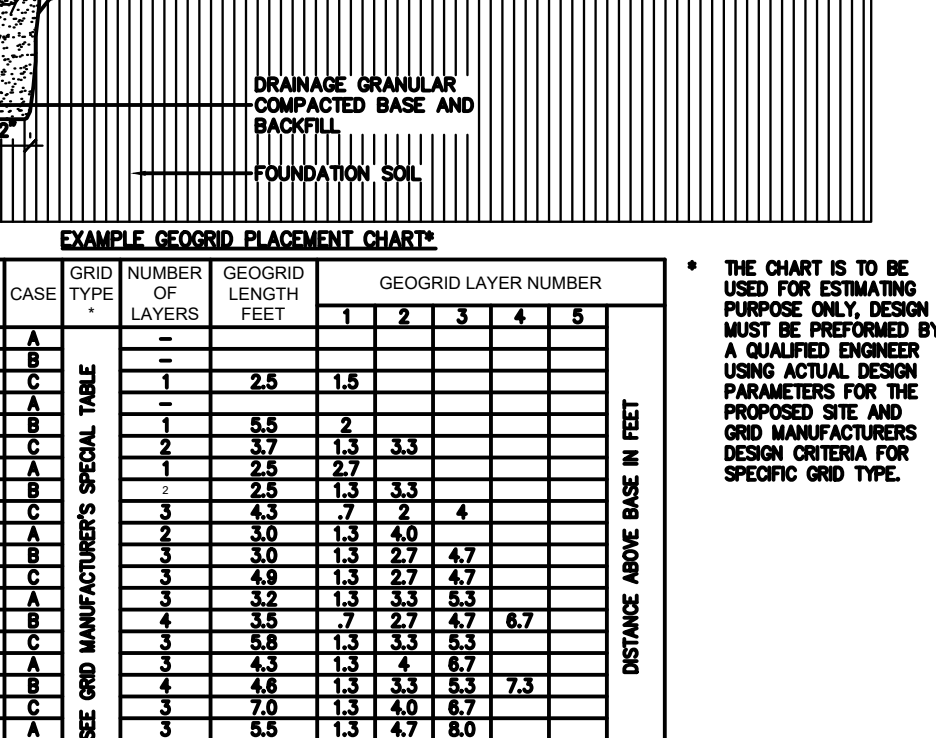
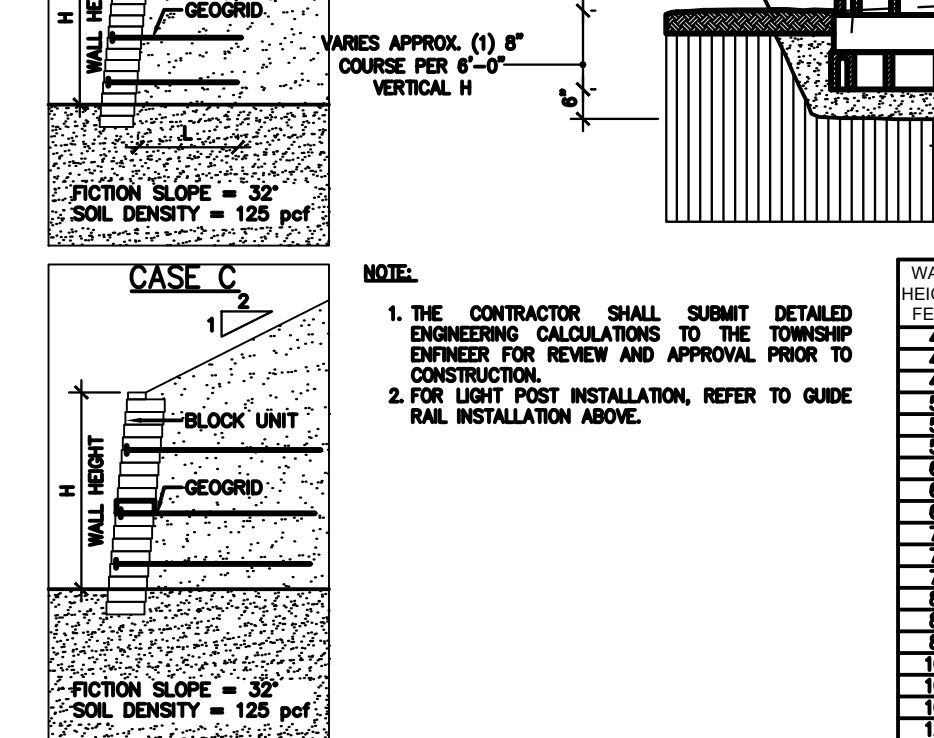
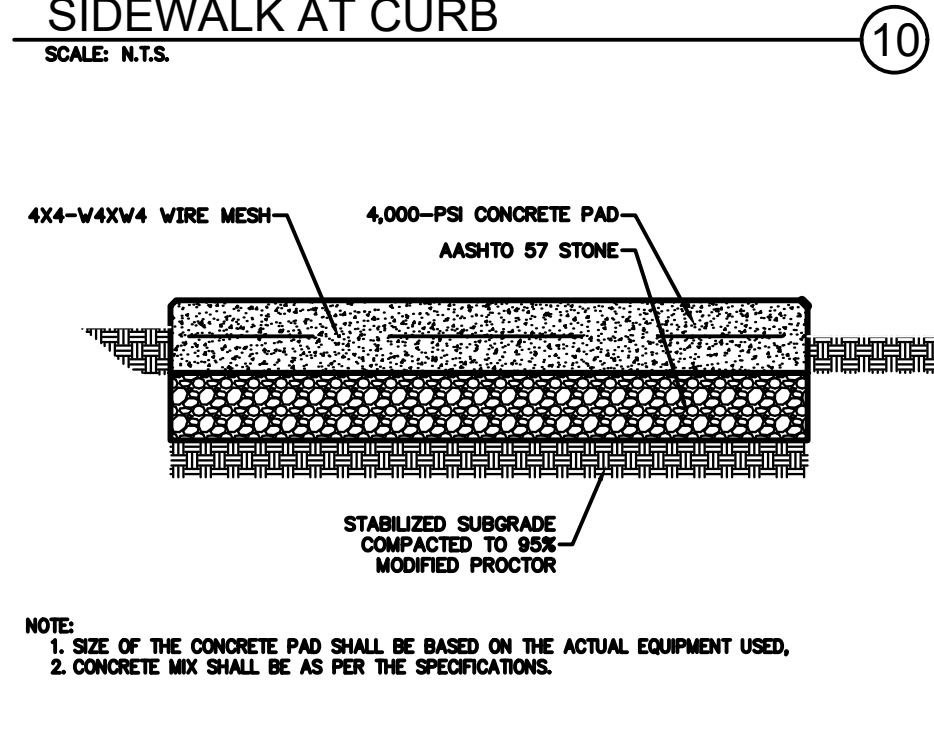
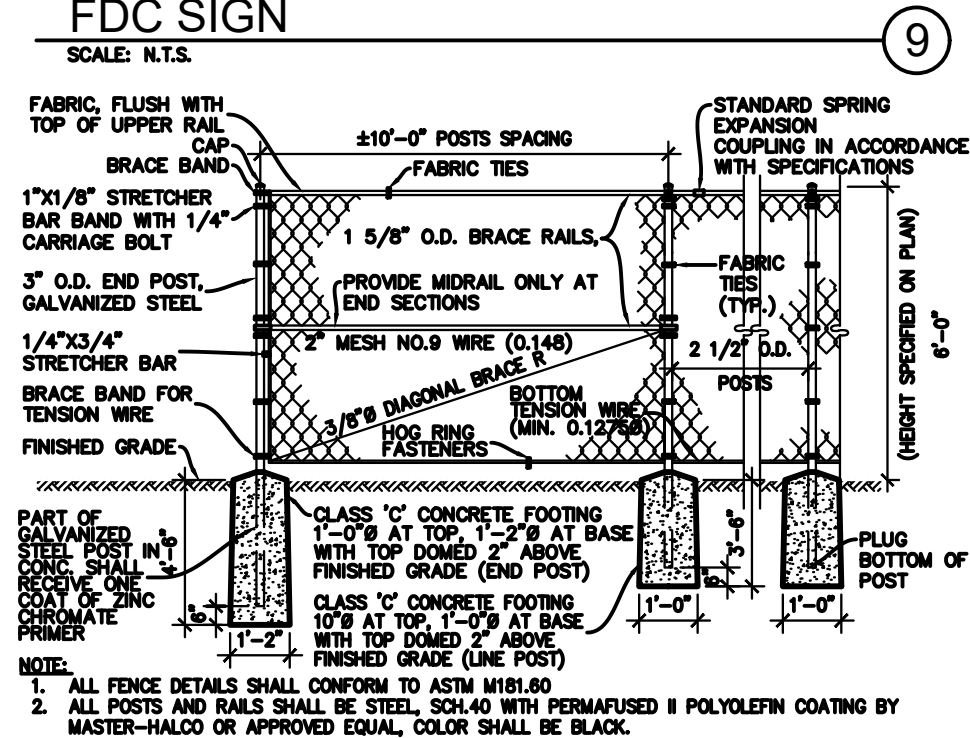
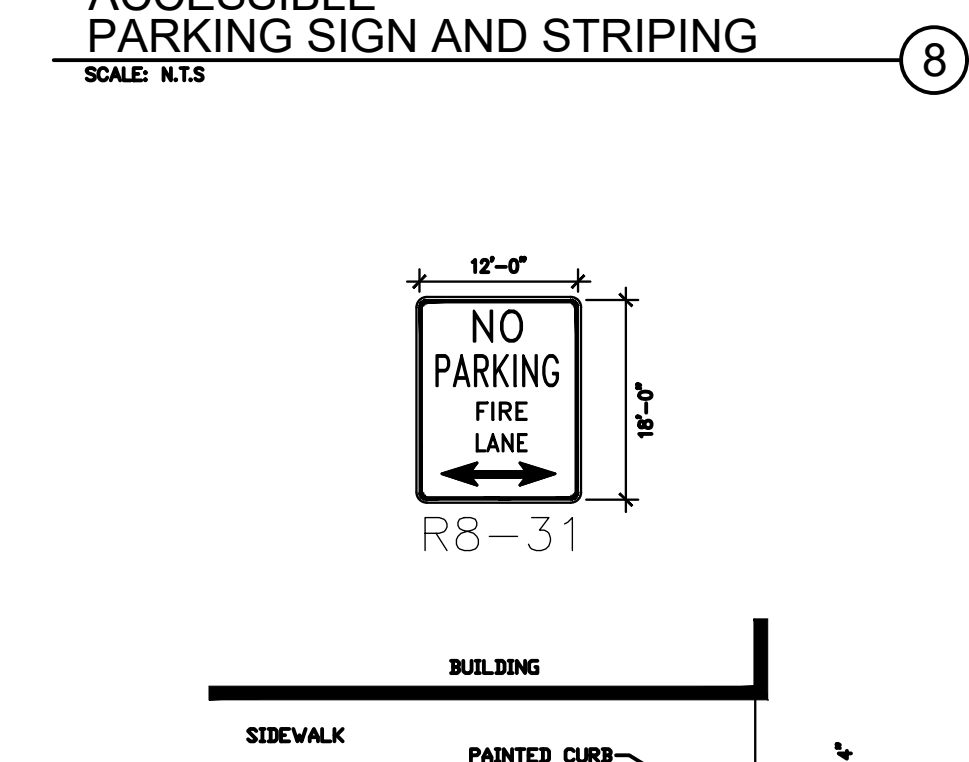
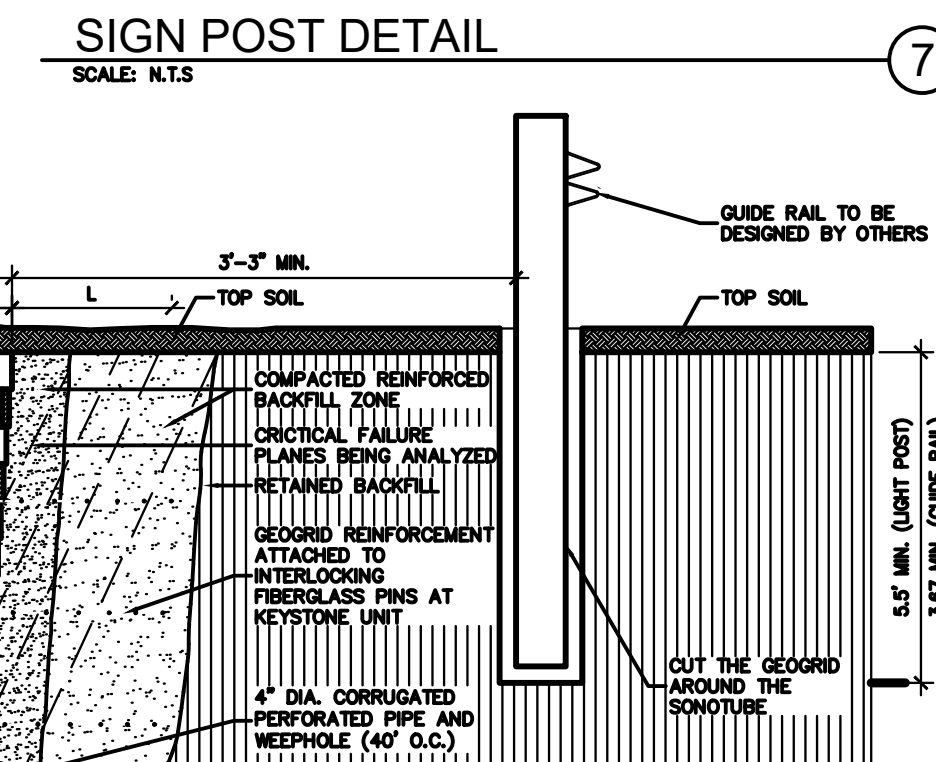
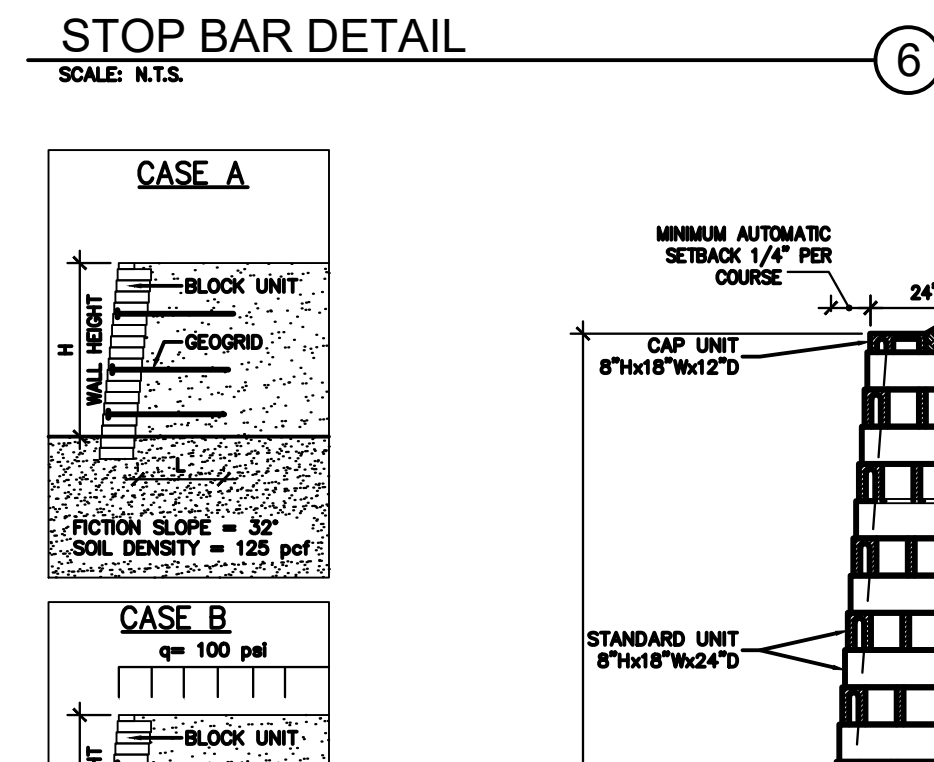
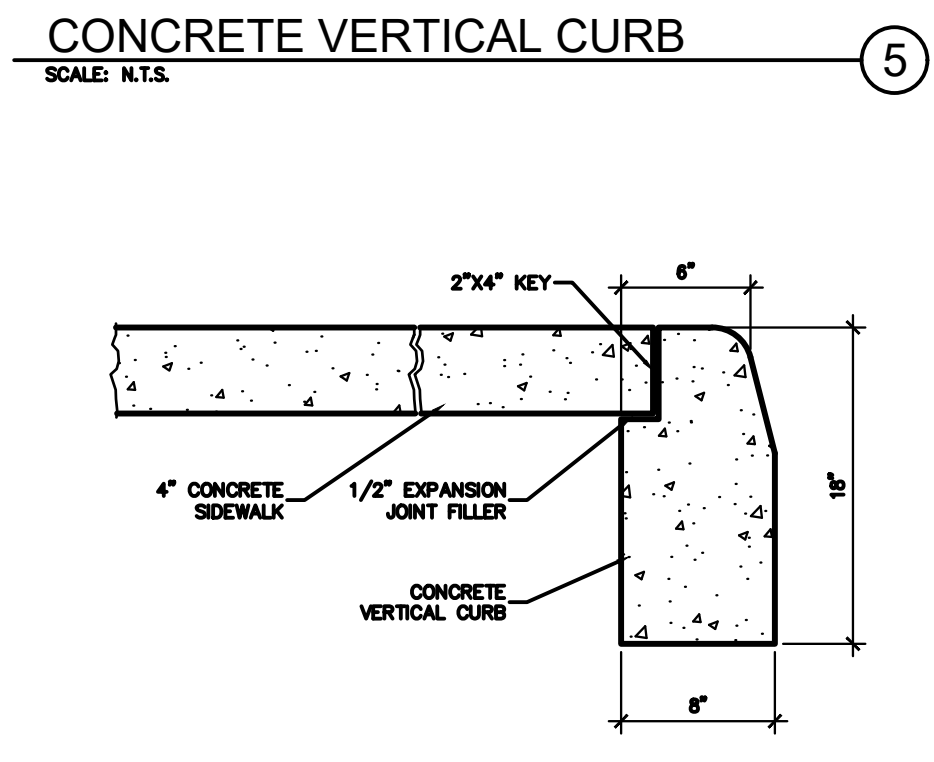
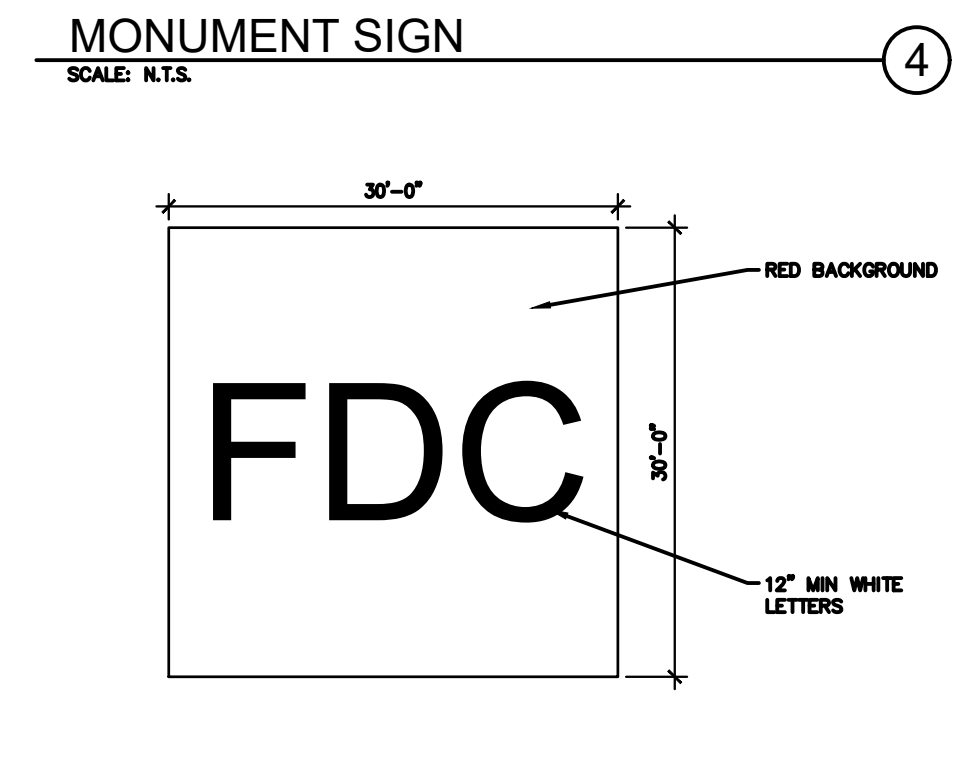
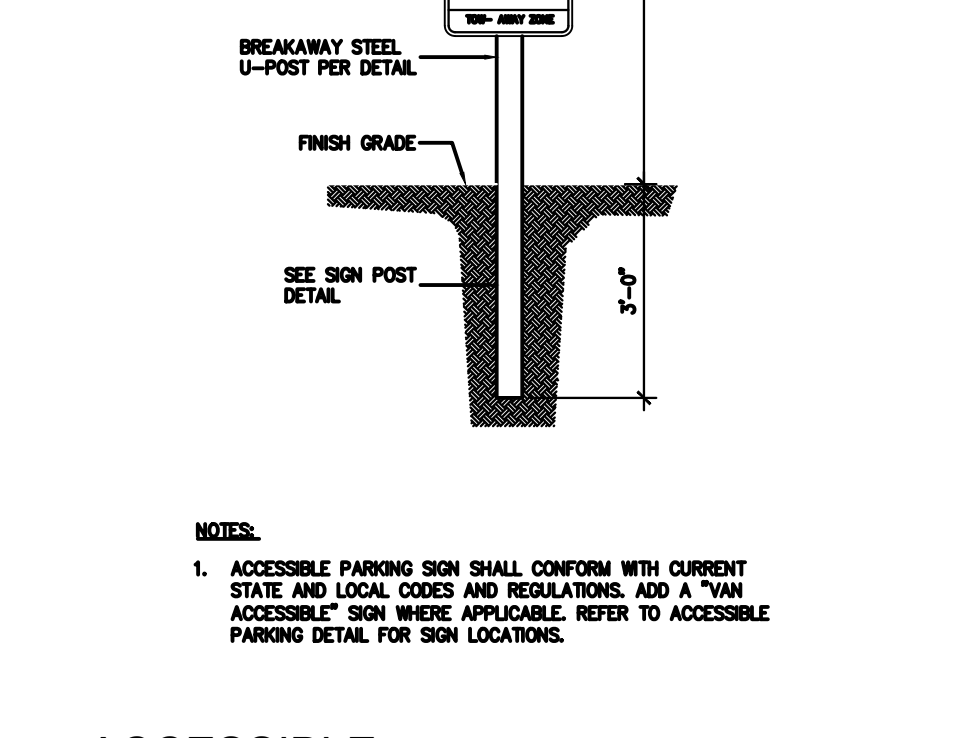
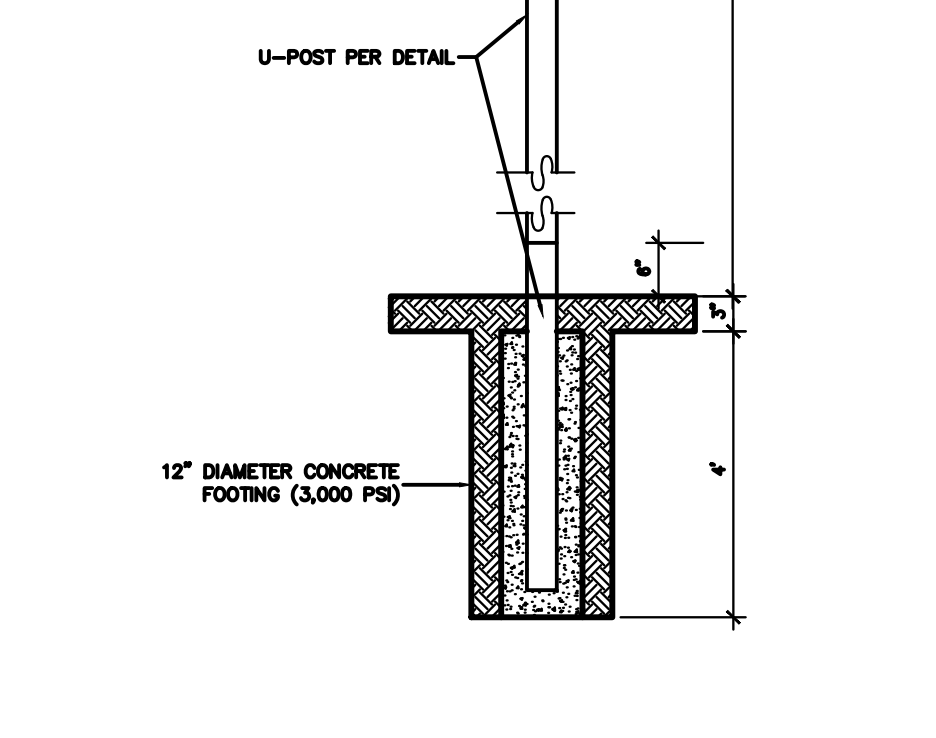
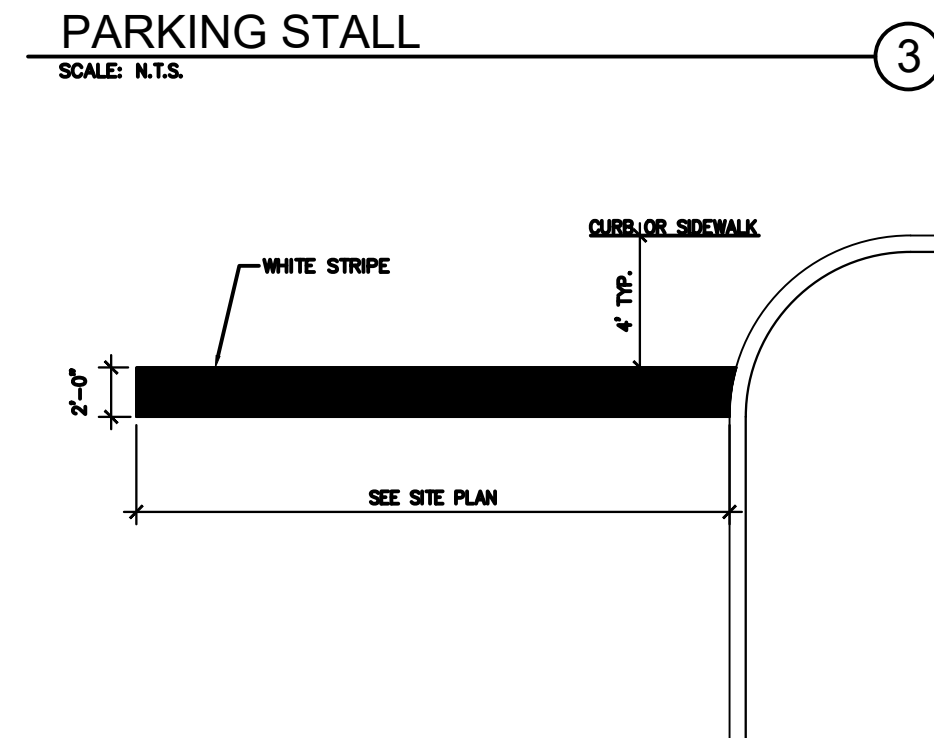
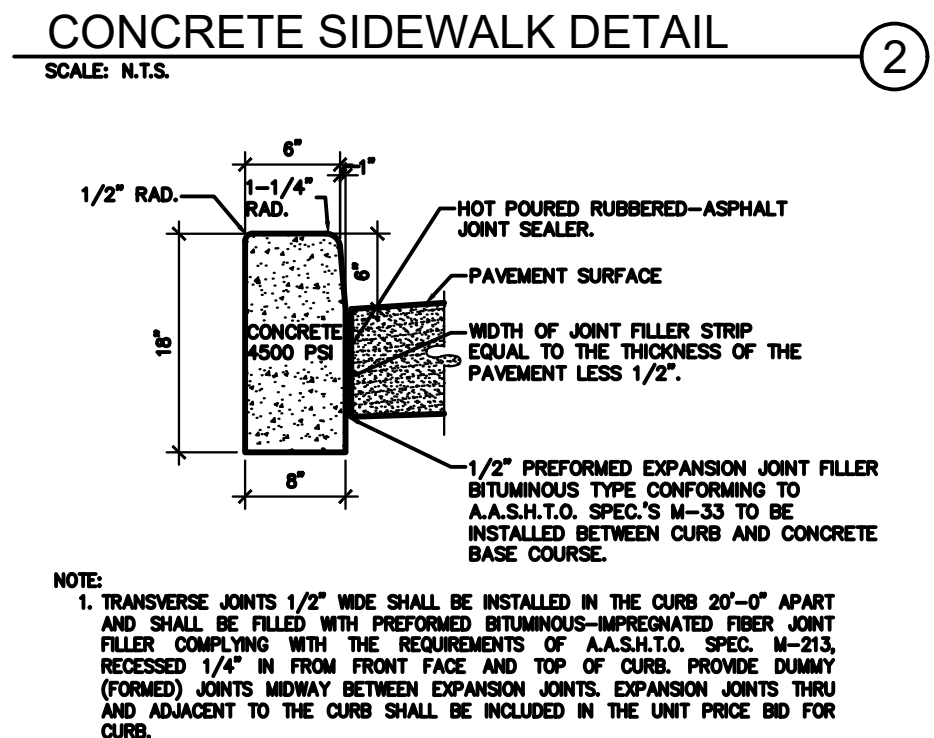
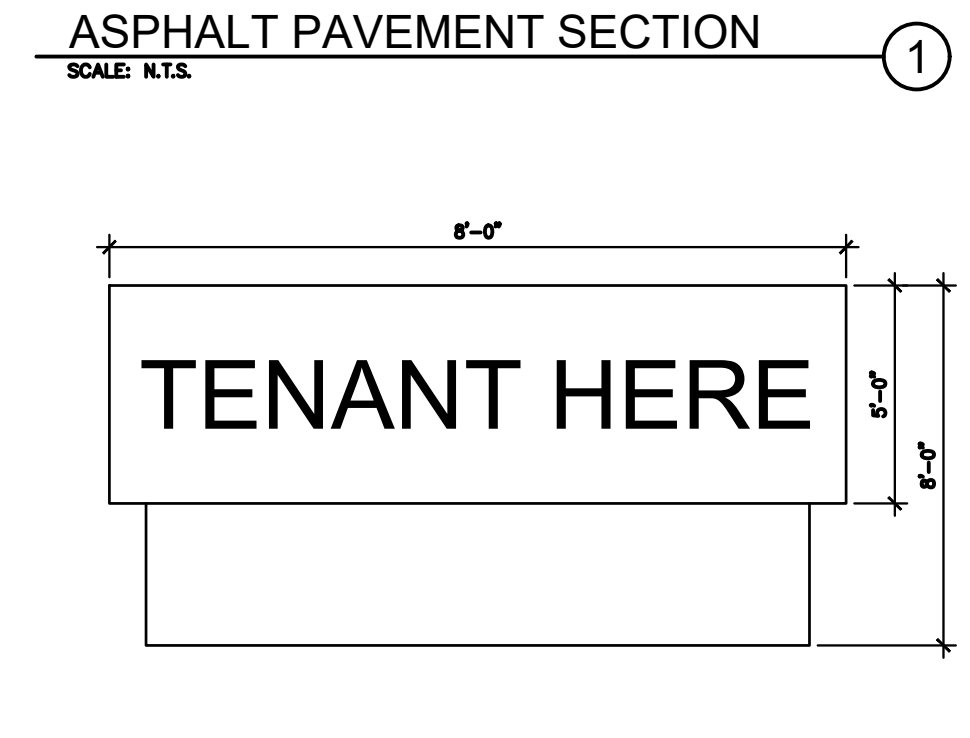
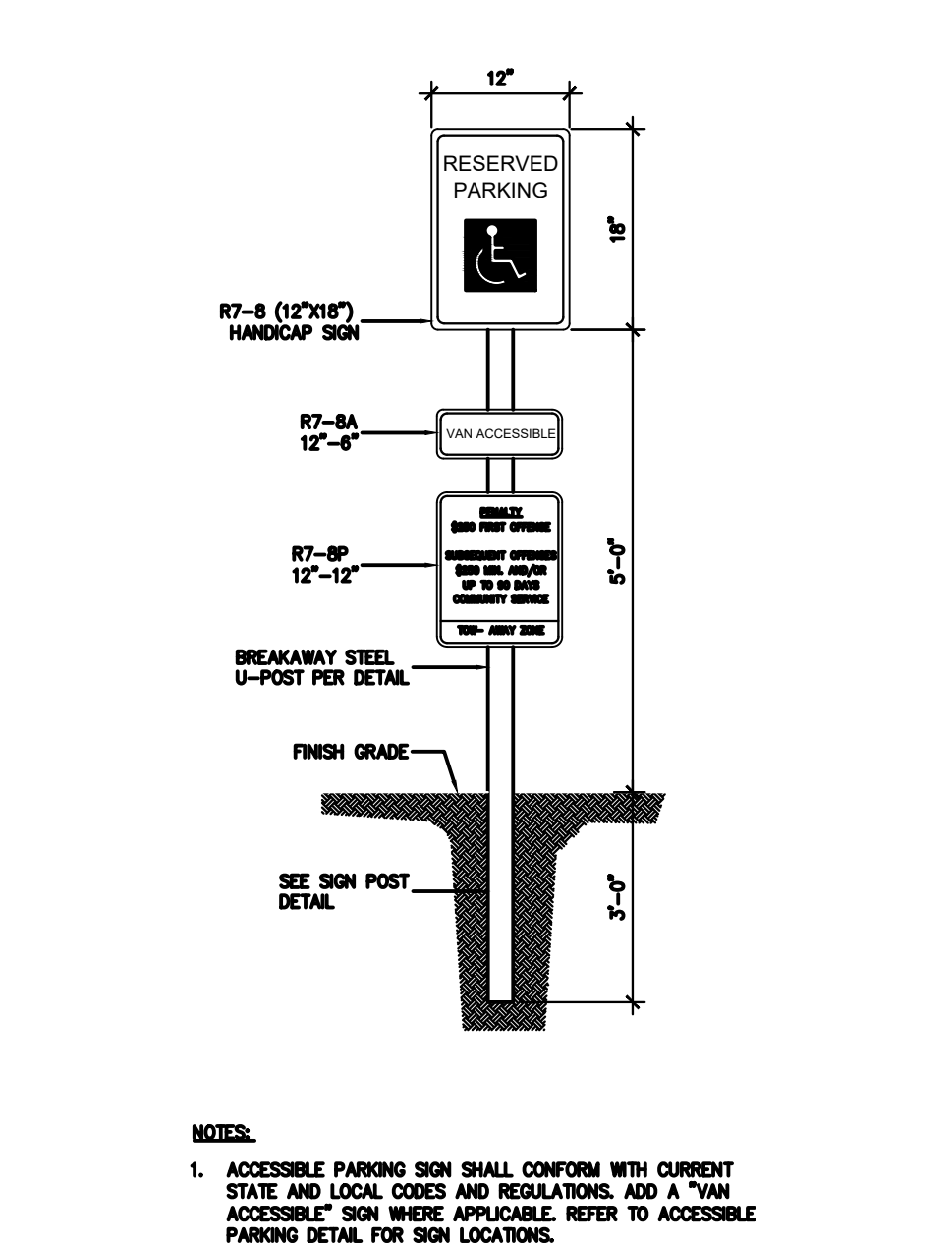
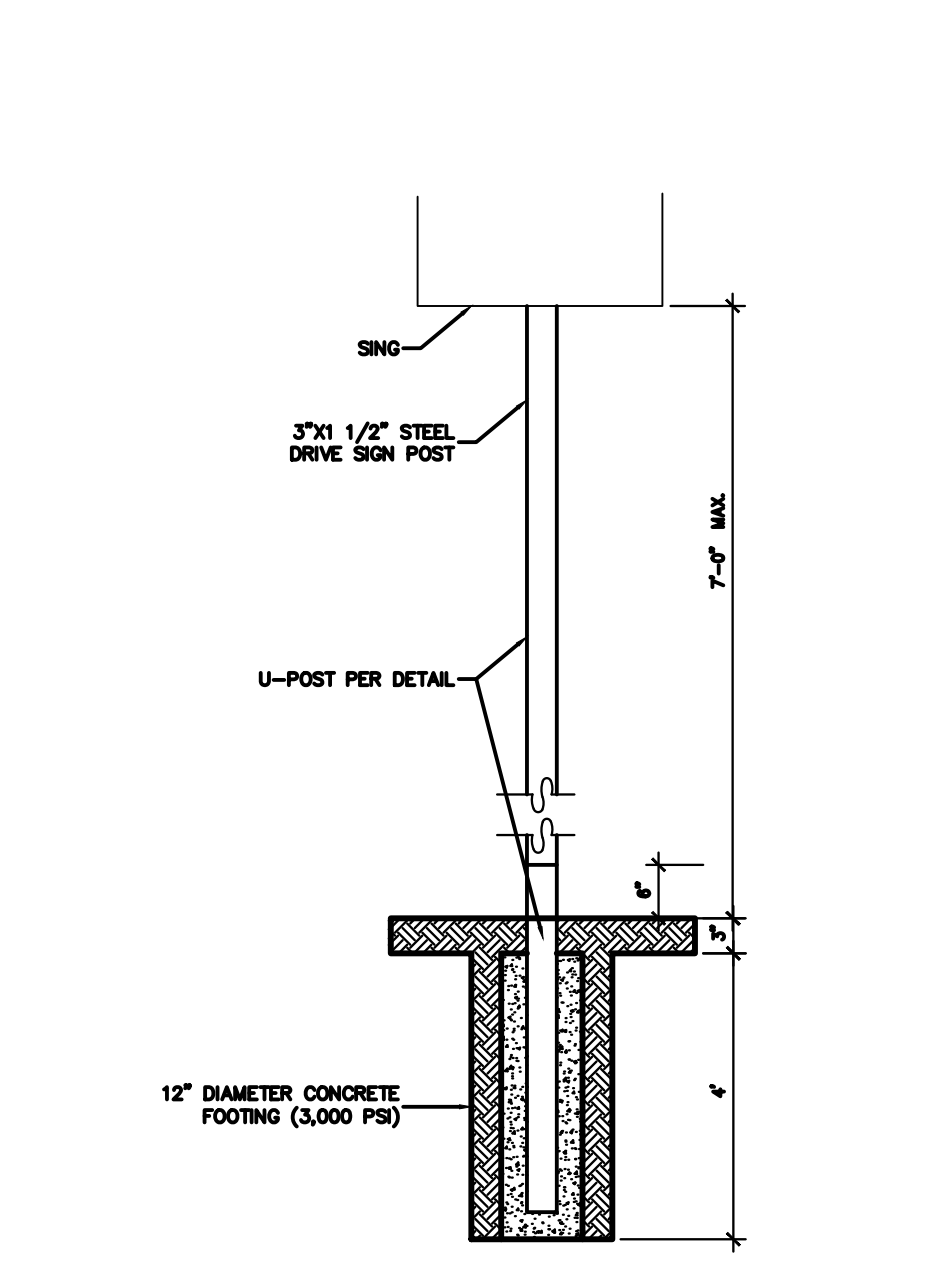
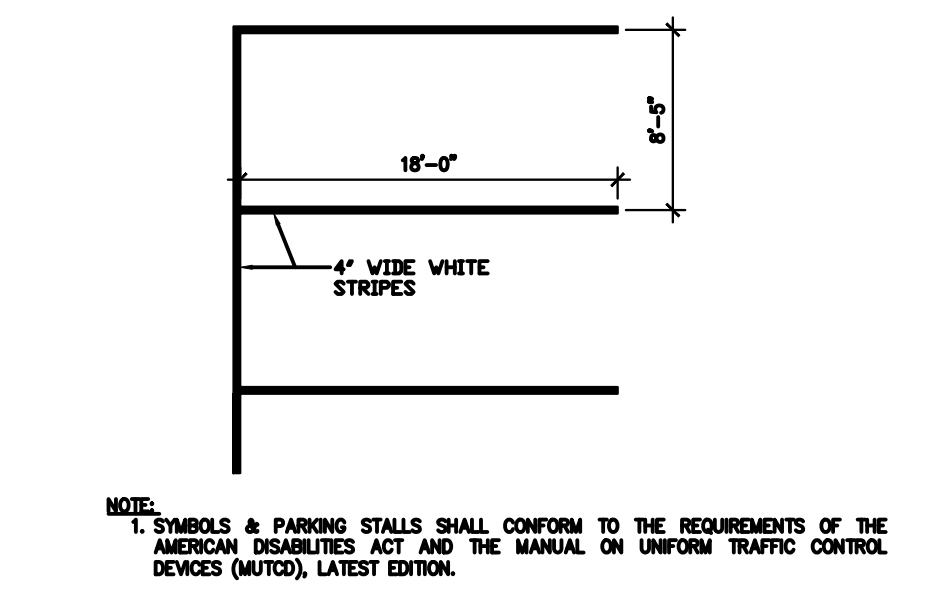
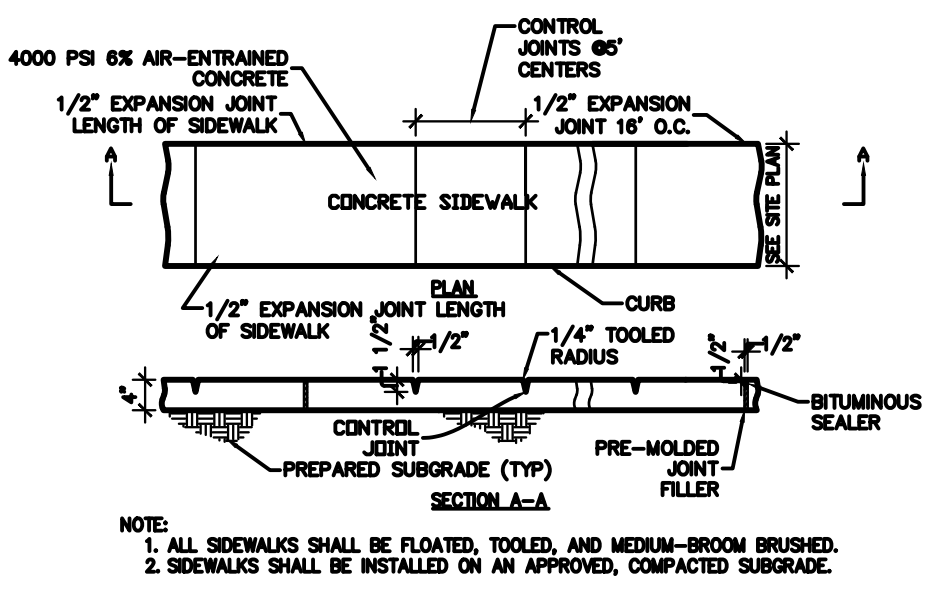
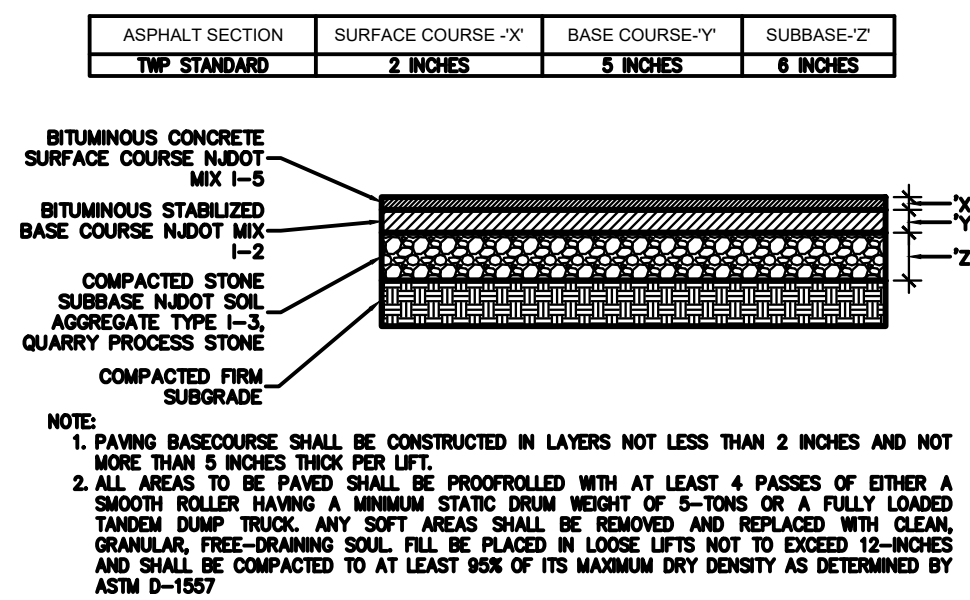
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C10.2
Sheet 20 of 25

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**WARE MALCOLM**  
LEADING DESIGN FOR COMMERCIAL REAL ESTATE

110 edison place  
suite 303  
newark, nj 07102  
p 732.986.9000  
waremalcomb.com

EDWARD F. WILKES, JR.  
PROFESSIONAL ENGINEER  
N.J. LIC. NO. 24604937200

FOR AND ON BEHALF  
OF WARE MALCOLM

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PRELIMINARY SITE PLAN APPLICATION  
CONSTRUCTION DETAILS  
4201 ROUTE 130, BURLINGTON COUNTY, EDgewater PARK, NEW JERSEY

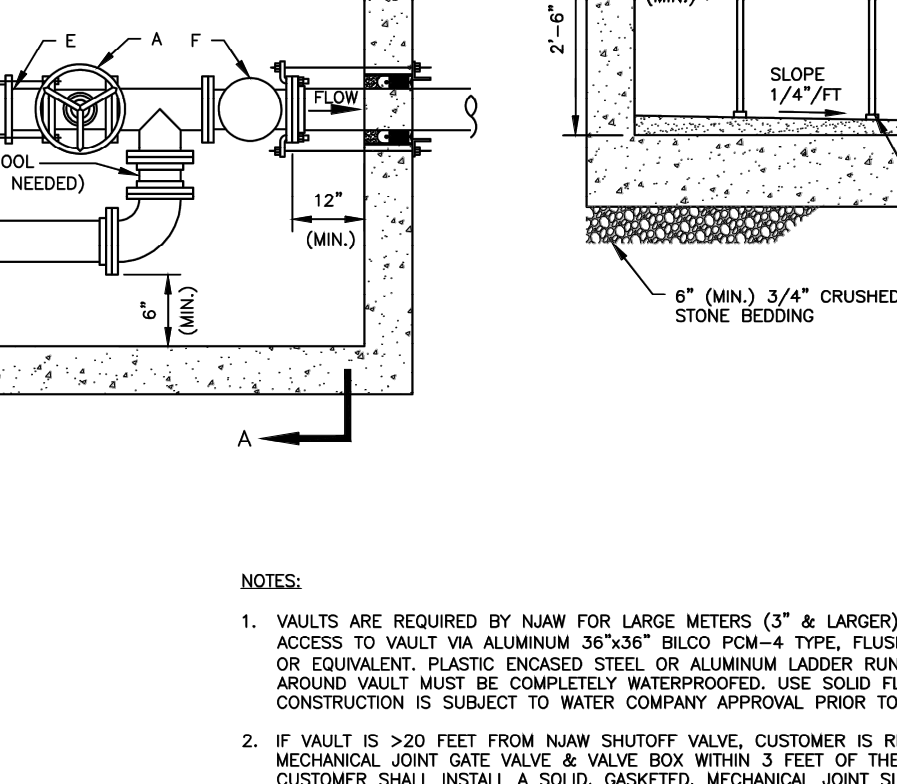
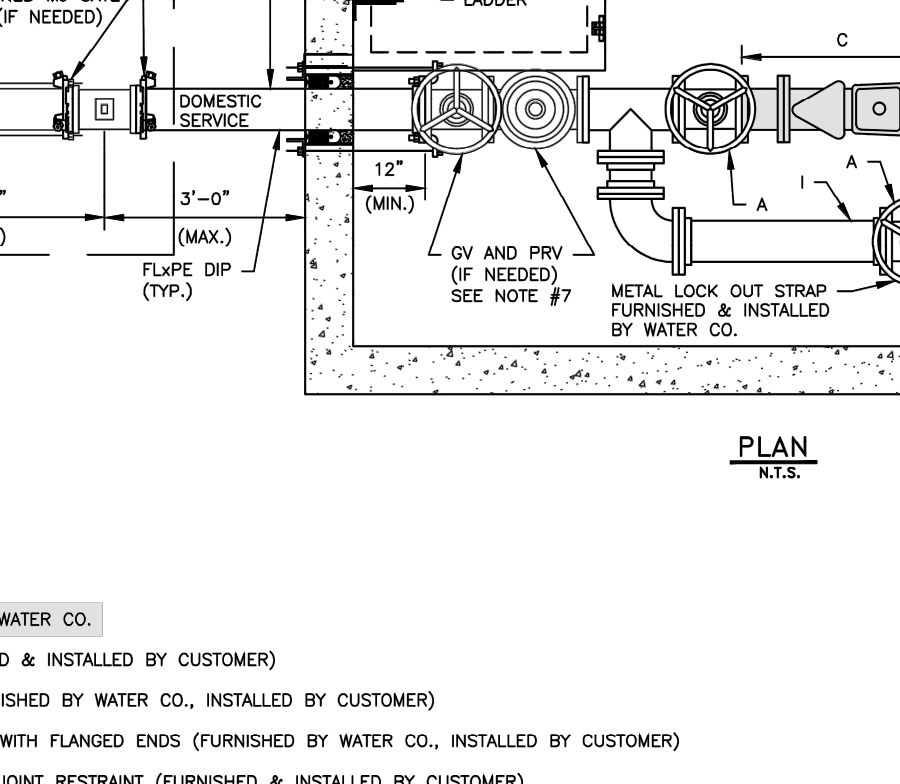
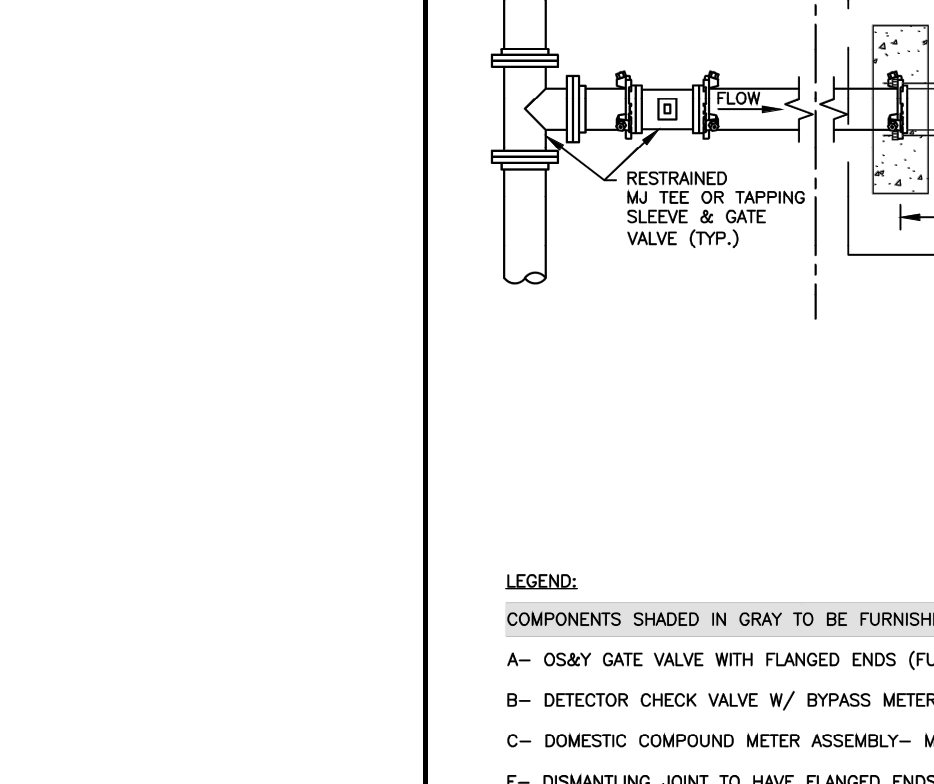
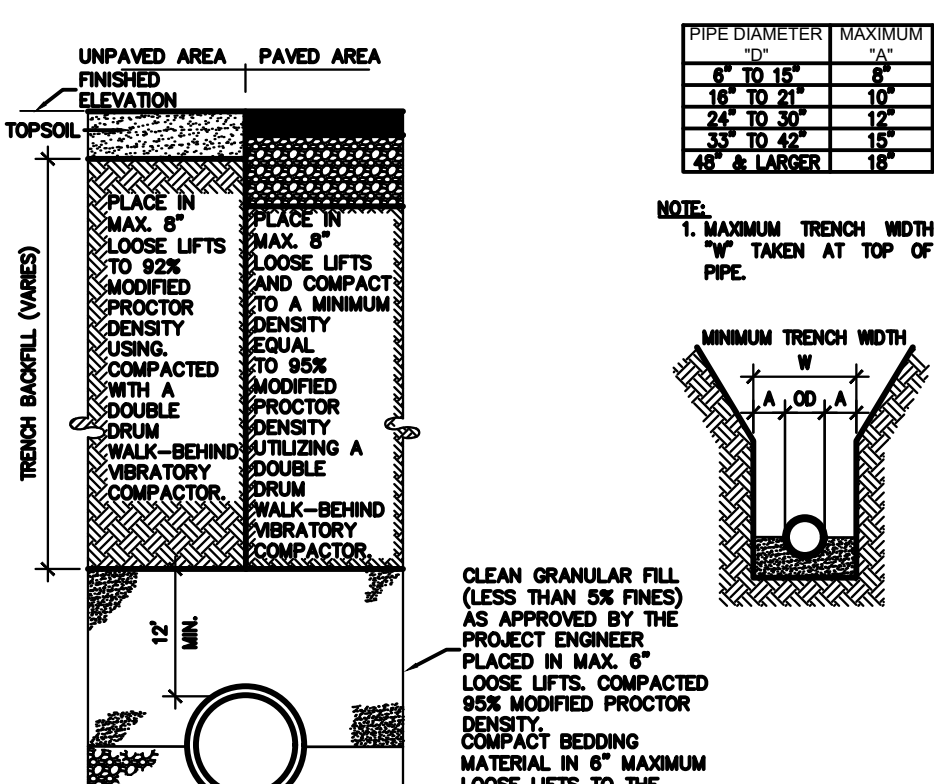
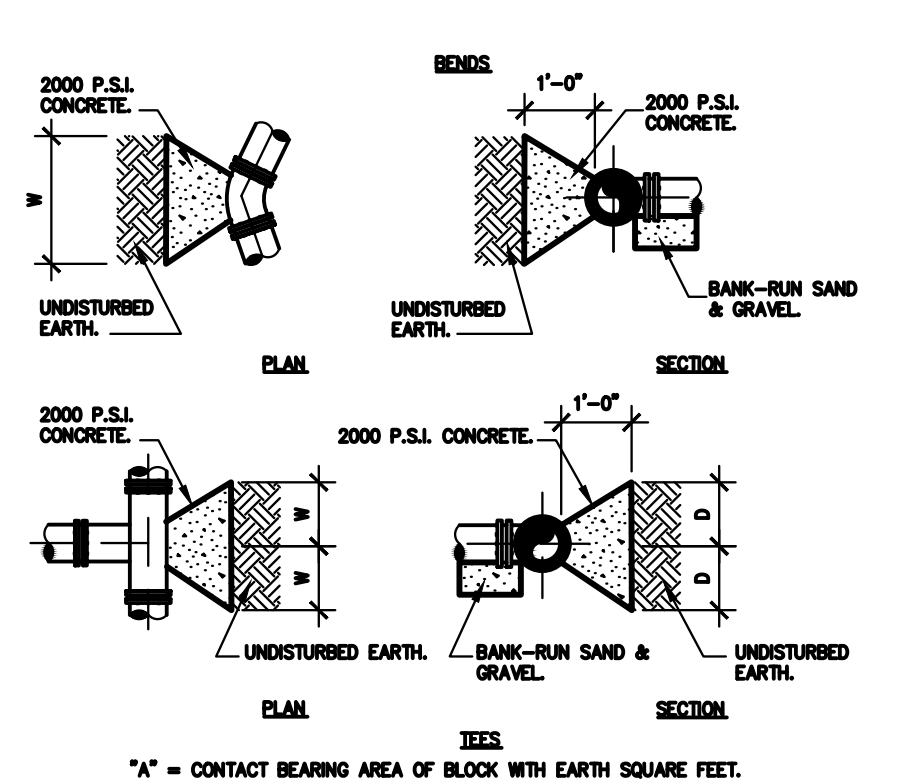
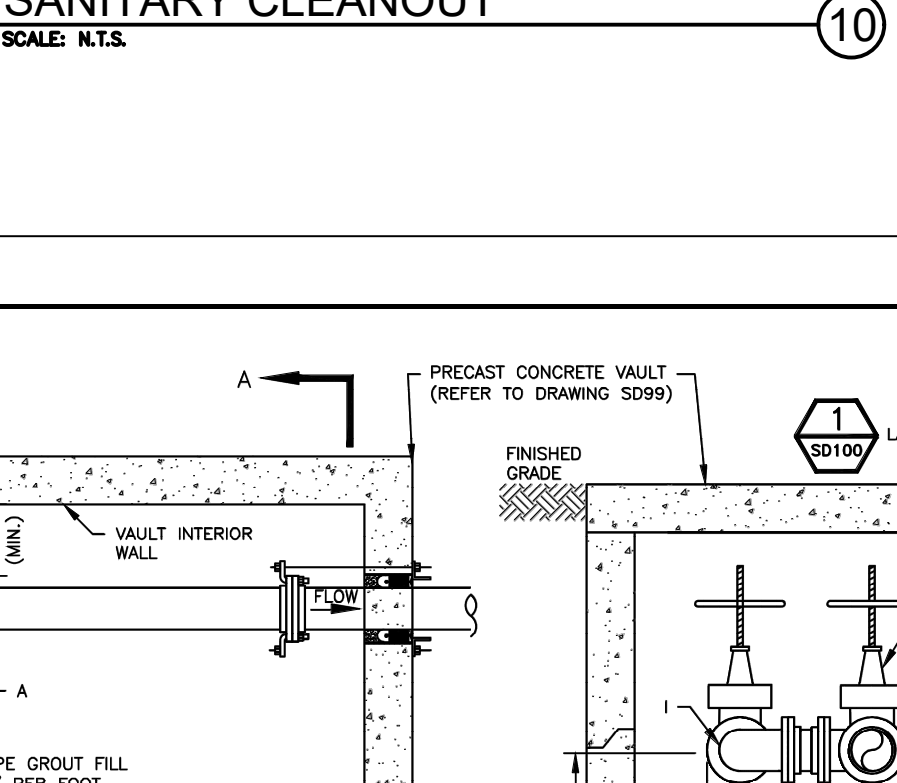
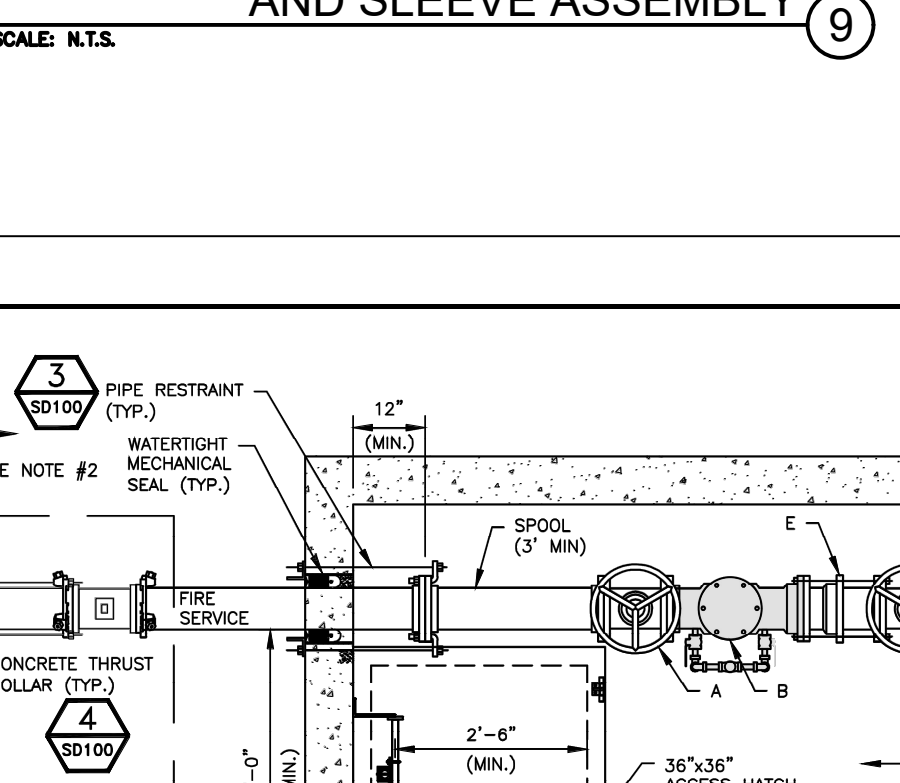
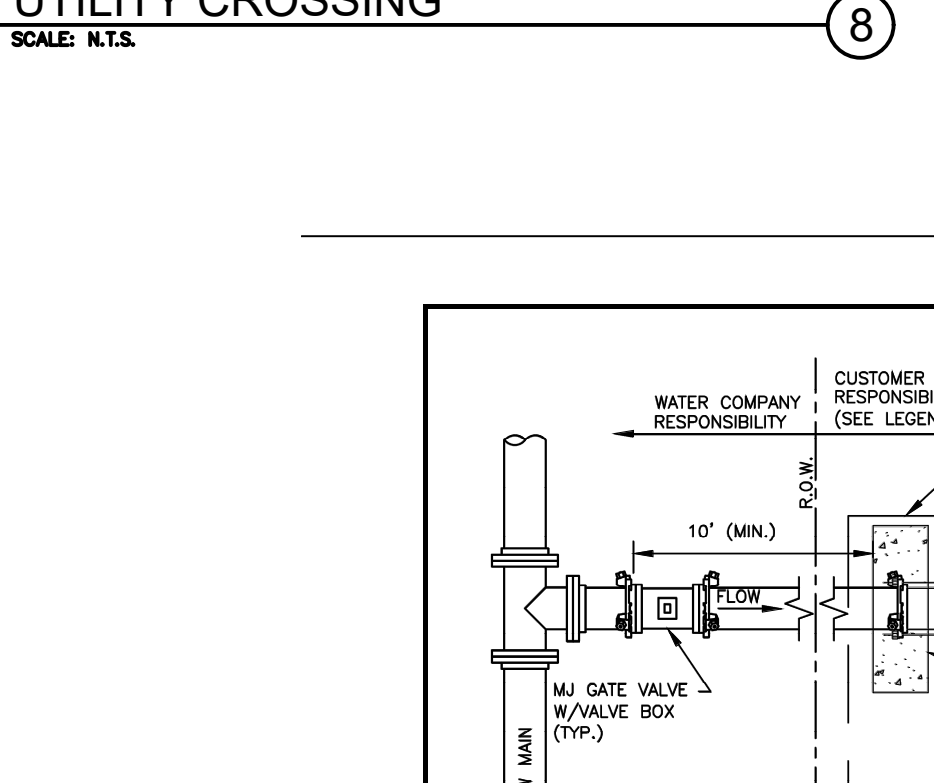
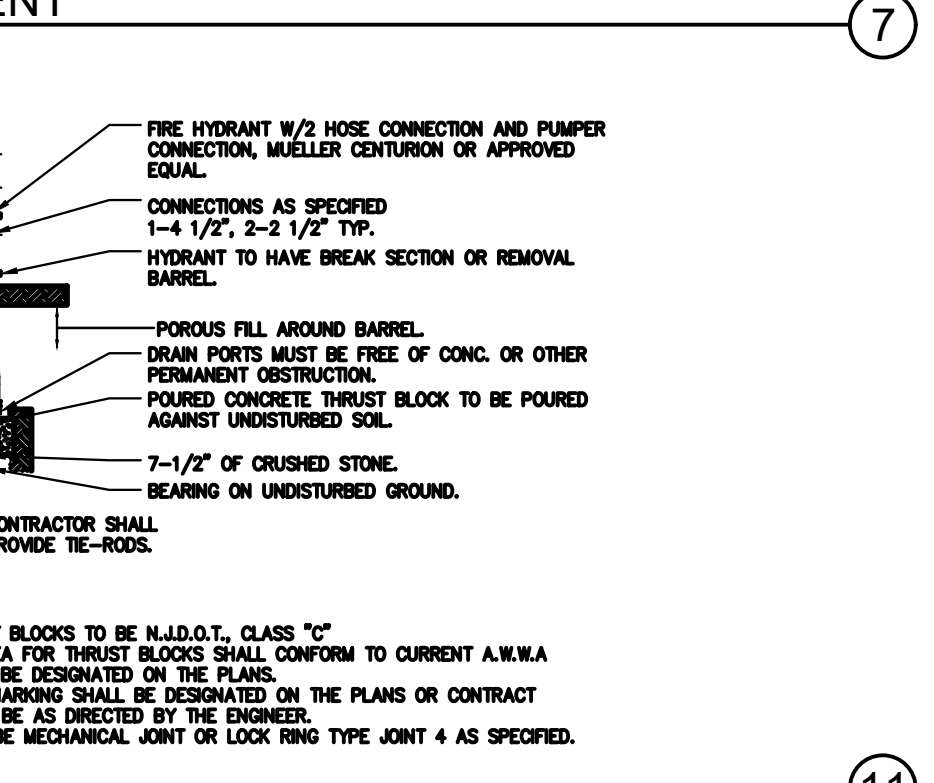
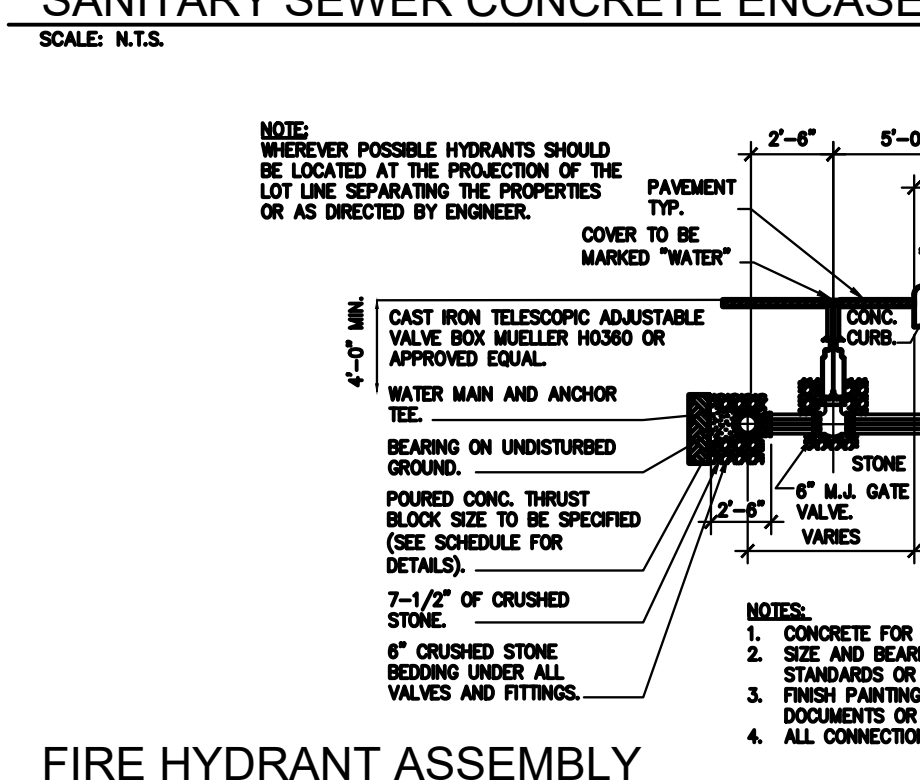
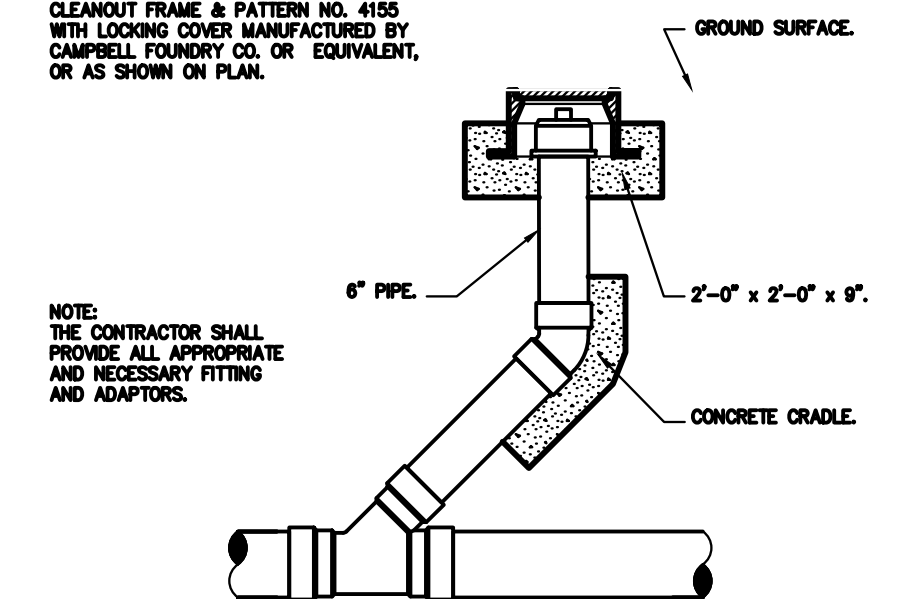
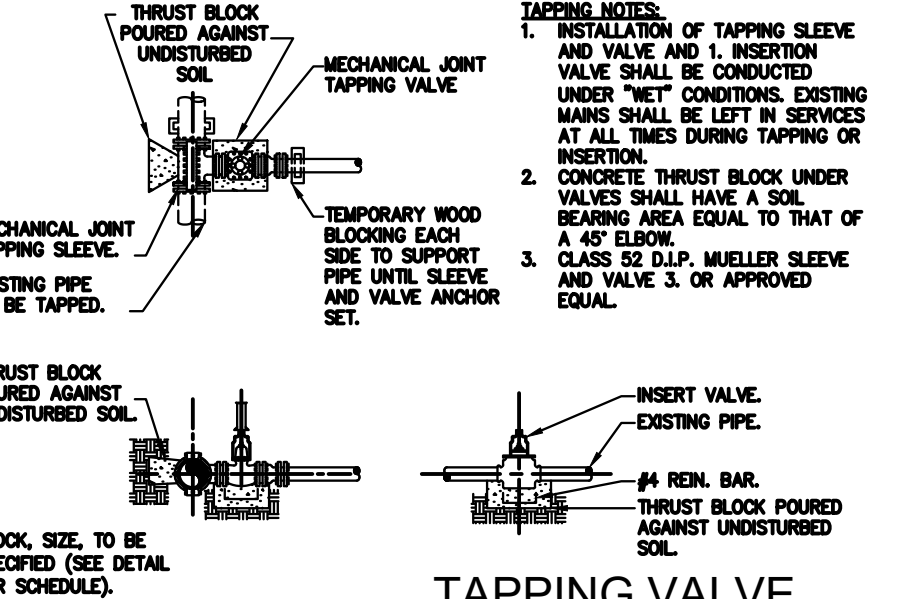
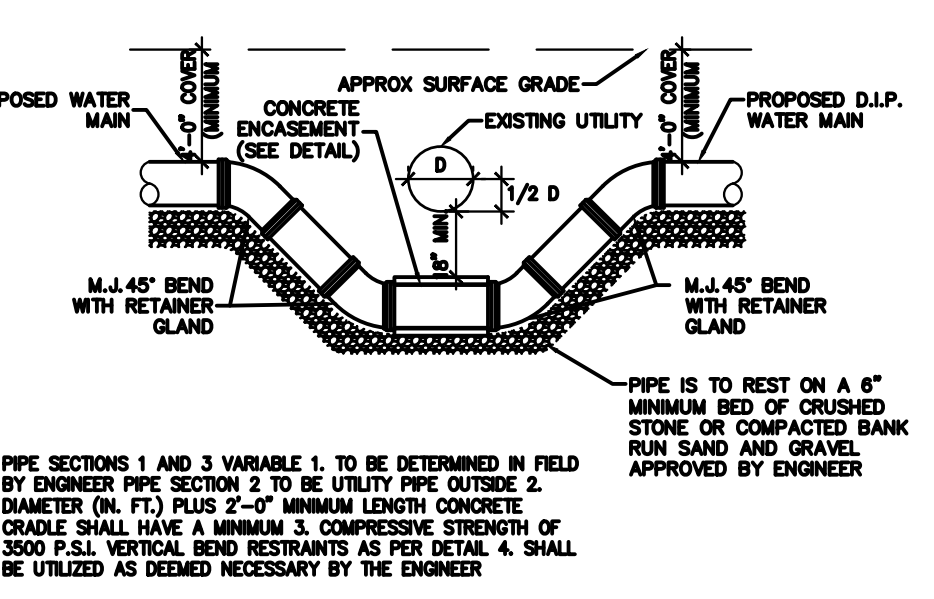
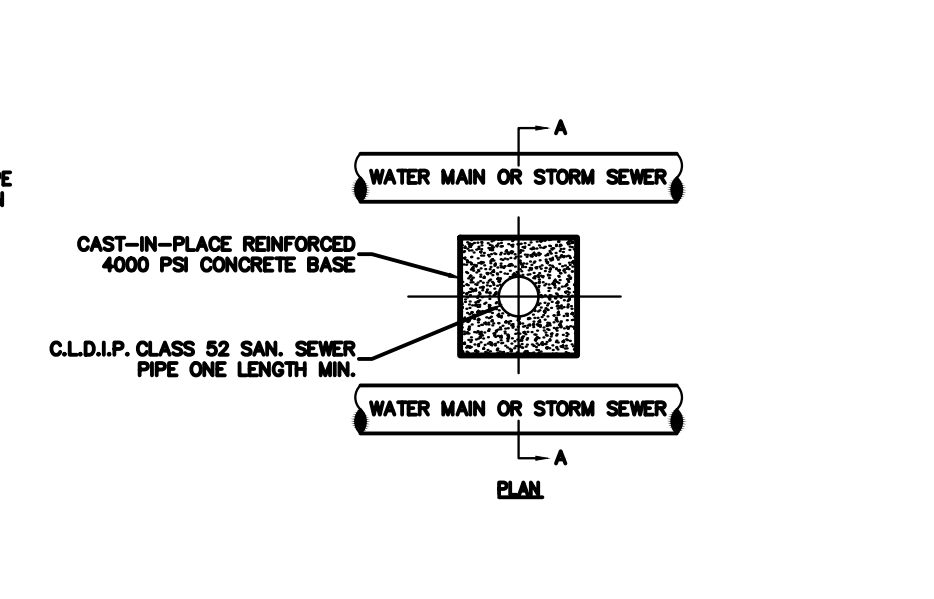
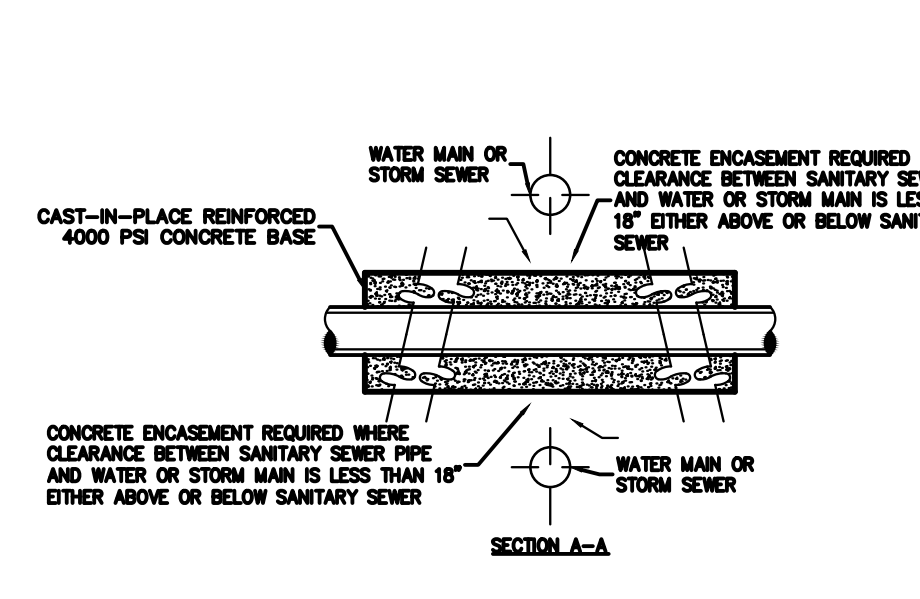
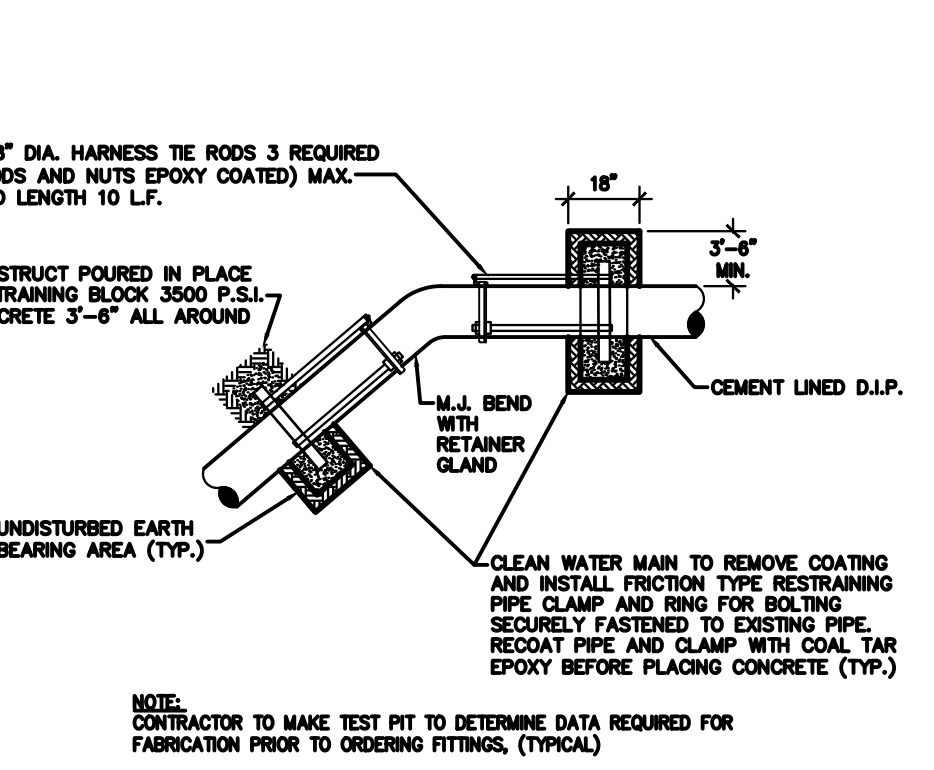
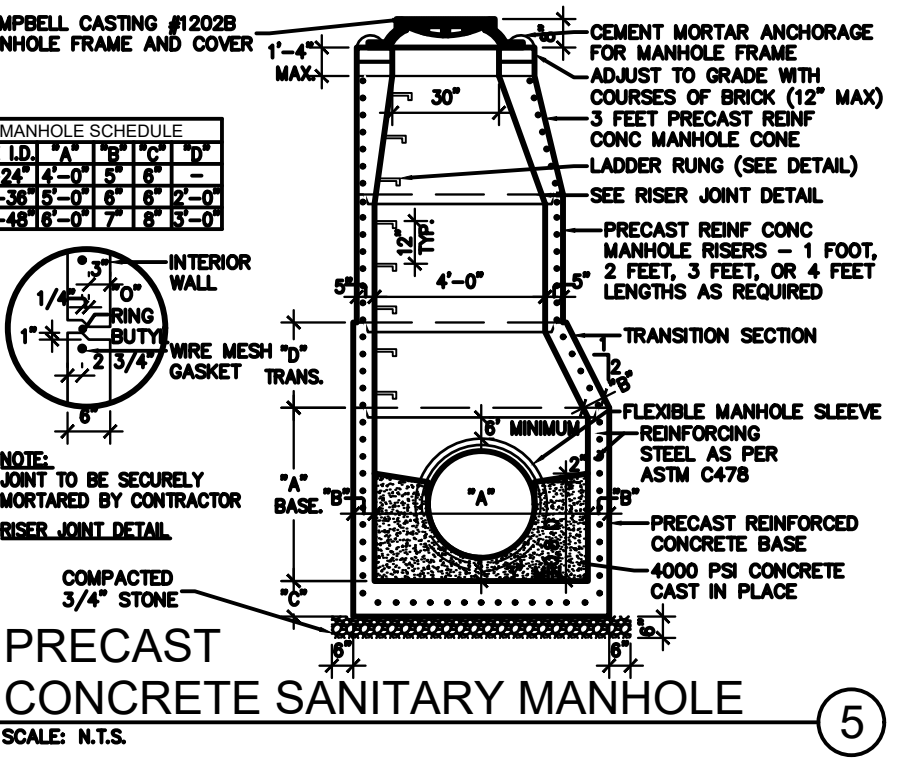
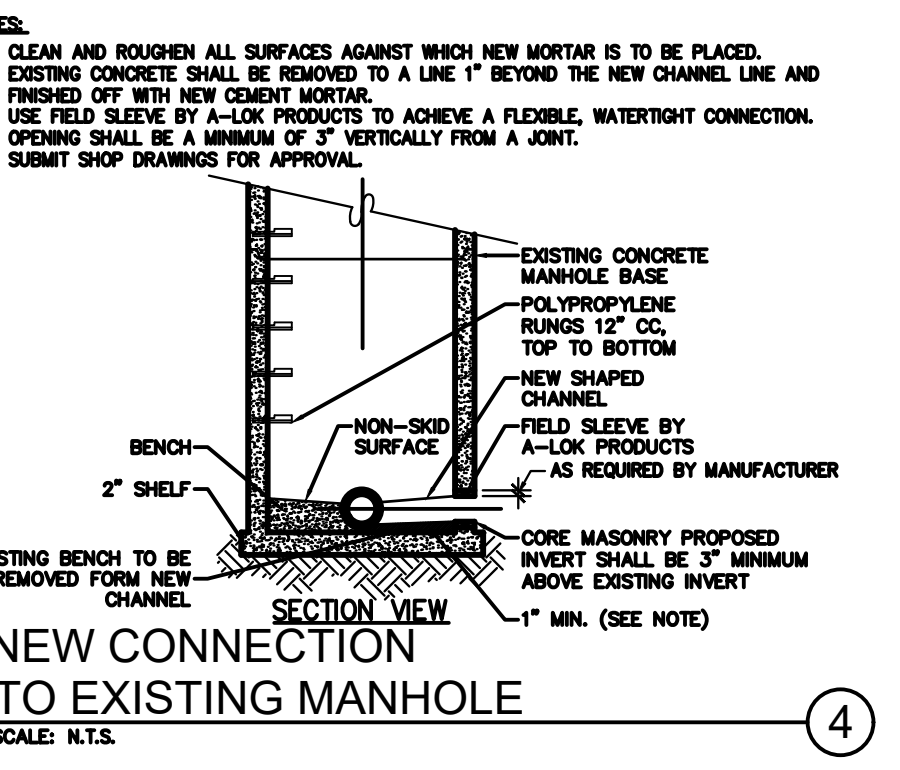
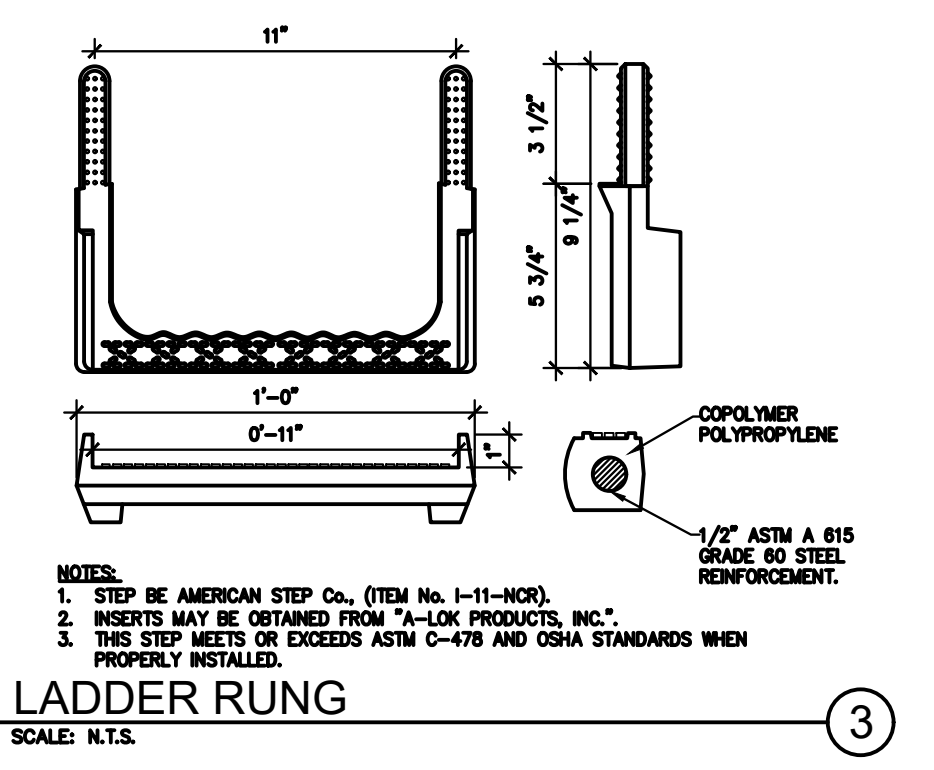
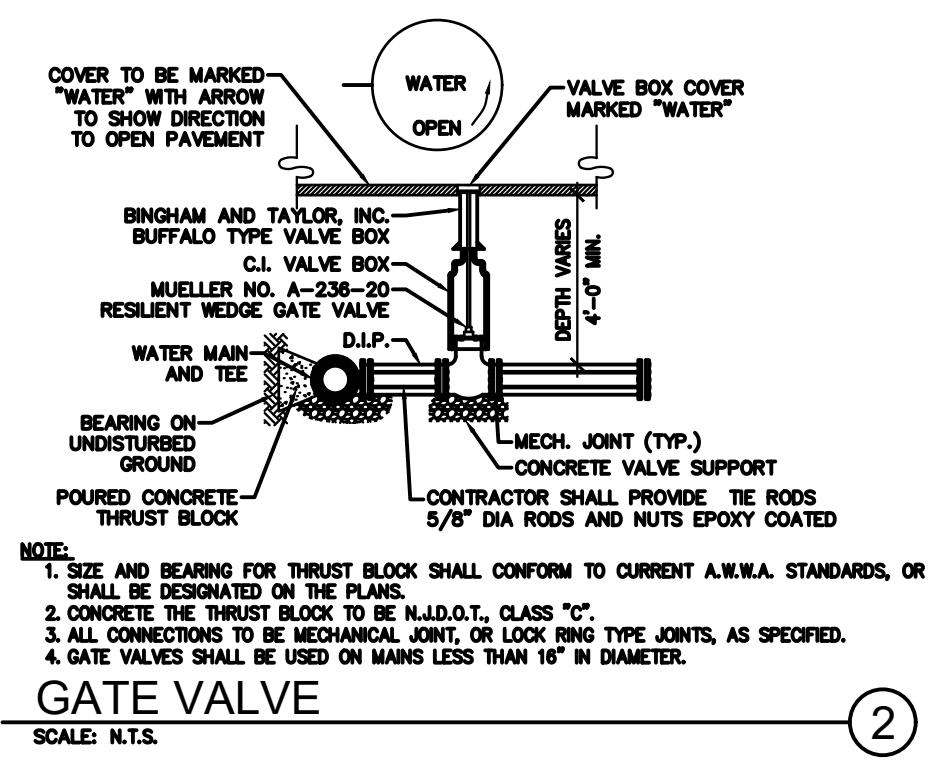
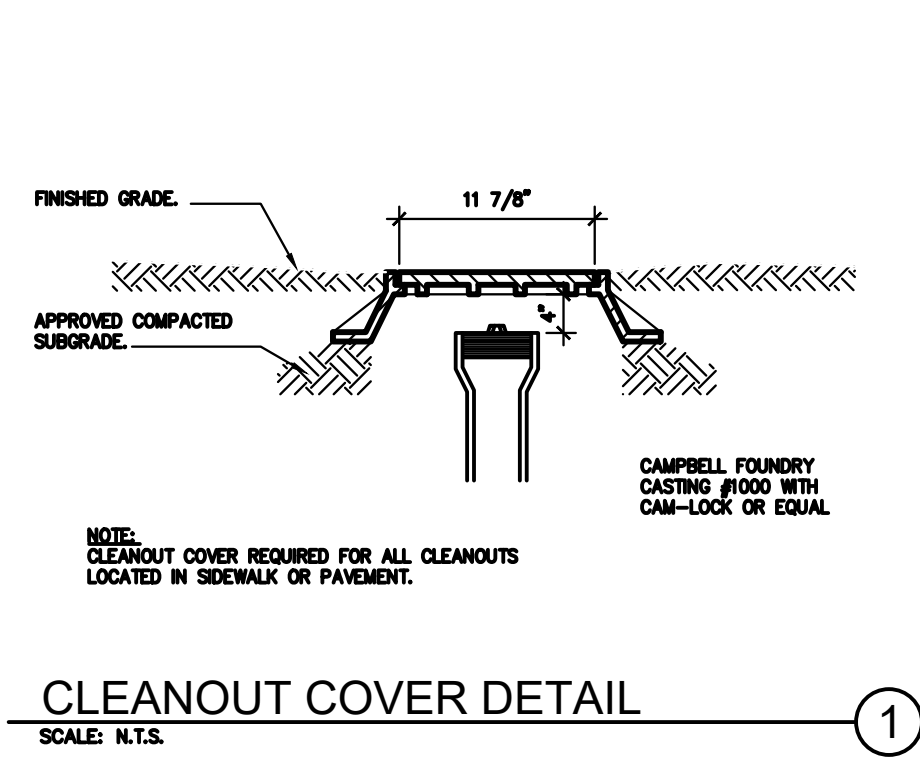
NO.	DATE	REMARKS

JOB NO.: NYC19-0005  
PA / PM: EW  
DRAWN BY: IH  
DATE: 07/21/2020

SHEET  
**C11.0**  
Sheet 21 of 25

NOT FOR CONSTRUCTION

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BEARING AREAS ARE BASED ON UNDISTURBED SOIL WITH A BEARING CAPACITY OF 1000 LBS. PER SQ. FT. FOR A LESSER SOIL BEARING CAPACITY, THESE AREAS SHALL BE INCREASED ACCORDINGLY.

1. ALL CONCRETE THRUST BLOCKS SHALL BE CLASS B.

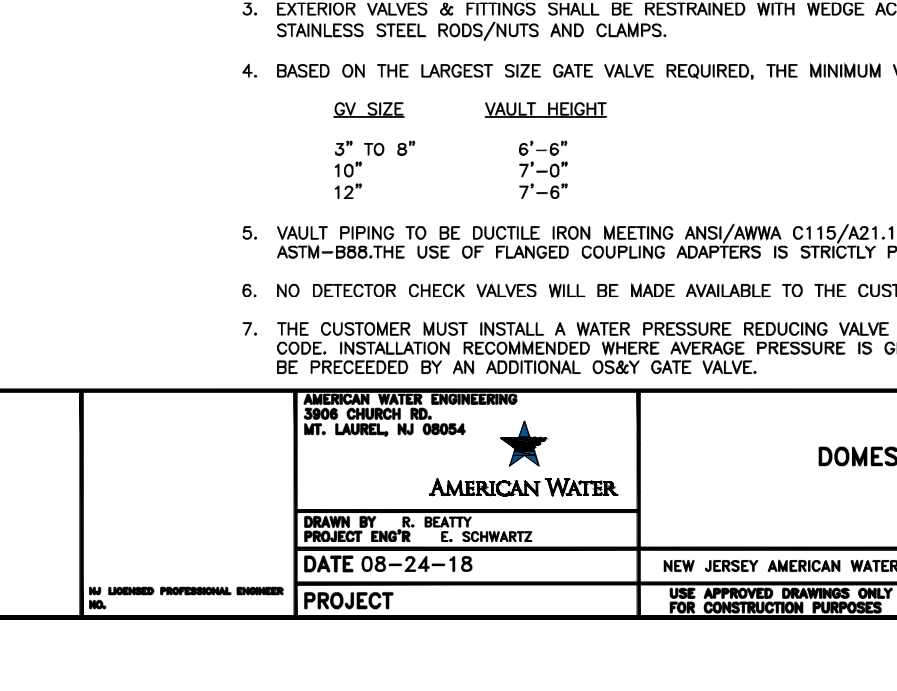
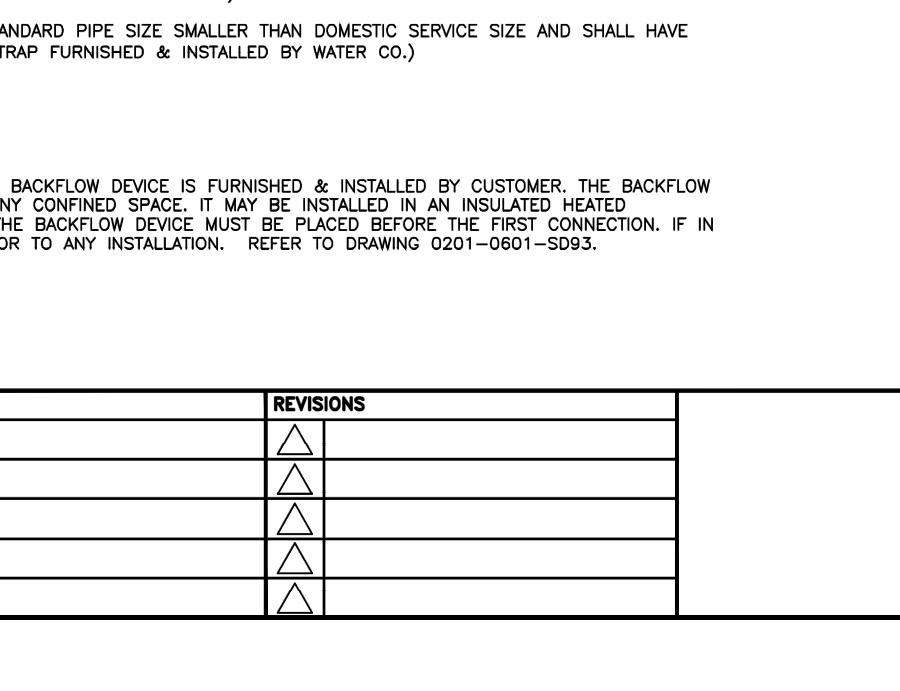
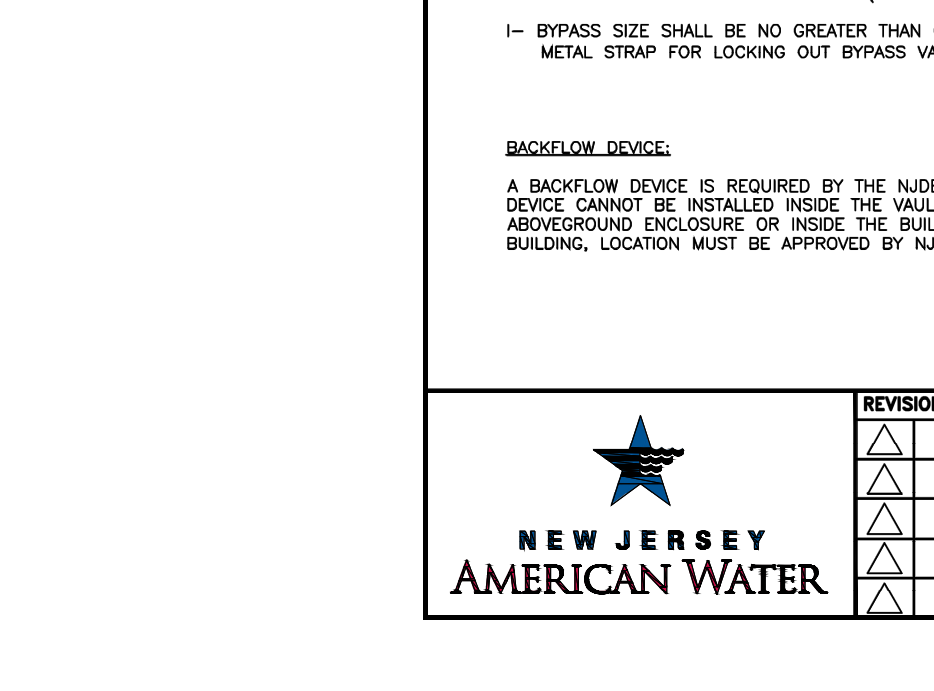
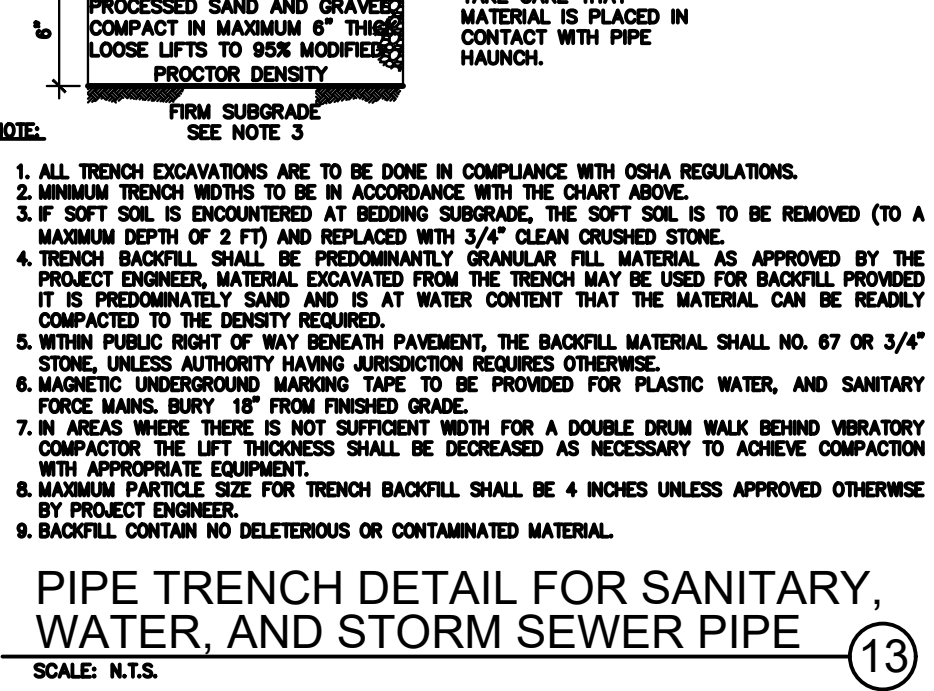
2. THRUST BLOCKS SHALL BE POURED AGAINST UNDISTURBED EARTH.

3. NO JOINT SHALL BE COVERED WITH CONCRETE.

4. APPROVED MECHANICAL JOINT RESTRAINTS ARE REQUIRED AT ALL VERTICAL BENDS AND MAY BE USED IN LIEU OF THRUST BLOCKS AT HORIZONTAL BENDS AT THE OPTION OF THE ENGINEER, AT NO ADDITIONAL COST TO THE OWNER.

**TABLE OF THRUST BLOCKS**  
SCALE: N.T.S.

DIAMETER OF PIPE (Ø)	Ø-22 1/2" ELBOW	23-45" ELBOW	46-20" TEE CONNECTION	45" WYE	PLUG
4"	0.5	1.4	2.6	1.8	2.2
6"	1.5	3.0	6.0	4.0	4.5
8"	2.5	5.0	9.5	6.5	8.0
10"	4.1	8.0	13.0	9.5	12.5
12"	6.5	11.5	18.0	13.5	18.0
14"	9.0	16.0	23.0	18.0	24.0
16"	12.0	21.0	30.0	24.0	32.0
20"	14.0	28.0	31.0	30.0	30.5



SECTION A-A

SCALE: N.T.S.

REVISIONS

NO.	DESCRIPTION

SECTION A-A

SCALE: N.T.S.

**NOTE:**  
1. CLAMP BRACKET MAY BE REVERSED TO ACCOMMODATE RUNG SIZES OF 3/4" TO 1 1/4" WITH STANDARD 2" BOLTS FURNISHED. LARGER RUNGS WILL REQUIRE LONGER BOLTS.

**NOTE:**  
1. PLACE THRUST COLLAR ON ONE FULL LENGTH OF PIPE.  
2. LAST JOINT OF PIPE WITH THRUST COLLAR TO BE RESTRAINED MECHANICAL JOINT PIPE.  
3. PLACE WEDGE ACTION RESTRAINER GLAND JOINT RESTRAINT 4 FEET FROM VAULT INLET SHUTOFF VALVE.  
4. CONCRETE SHALL BE A MINIMUM OF 3000 PSI.  
5. REINFORCING BARS SHALL BE DEFORMED BARS AND TIED TOGETHER.  
6. BACKFILL & COMPACT IN 6" LAYERS.  
7. TRENCH BOTTOM WIDTH IN AT THRUST COLLAR LOCATION SHALL BE THE MINIMUM WIDTH PRACTICABLE FOR PIPE PLACEMENT. MAX. TRENCH WIDTH = PIPE O.D. + 2' FT.

NOMINAL PIPE SIZE	# OF RODS	ROD SIZE	LUG THICKNESS
3	2	3/4	3/4
4	2	3/4	3/4
6	4	3/4	3/4
8	4	1	1
10	6	1	1
12	6	1 1/8	1 1/8

**NOTE:** MAX. PRESSURE 300 PSI

**NOTE:**  
1. WHENEVER THERE IS A CHANGE IN PIPE DIAMETER, THE CROWN OF THE PIPES SHALL BE AT THE SAME ELEVATION.  
2. INVERT CUT SHALL BE A MINIMUM OF 0.1 FT BELOW INVERT IN.  
3. THE INVERT IS POURED AT THE PLANT USING PRECISION FORMS TO CREATE A SMOOTH, ACCURATE CHANNEL THAT MINIMIZES TURBULENCE AND RESULTS IN OPTIMUM FLOW.

**FITTINGS & EQUIPMENT LAYING LENGTHS**

Nominal Service Size	Laying Length (inches)				
	3"	4"	6"	8"	10"
A- Gate Valve (OS&Y)	8	9	10.5	11.5	13
B- Detector Check Valve (DCV)	15	15	21	25	28.75
C- Domestic Compound Meter Assembly (includes spool, strainer, meter & test port)	23.375	27.875	33.375	30.125	41.125
D- Multi-Use Meter Assembly (includes strainer, meter & test port)	---	33	45	53	68
E- Dismantling Joint	9	9	9	9	10
F- Swing Check Valve	9.5	11.5	14	19.5	24.5
G- RPZ Backflow Preventer Assembly (includes gate valves)	42.25	55.125	65.5	78.5	93.625
G- Double Check Backflow Preventer Assembly (includes gate valves)	40.375	52.375	62.875	75	90
H- Pressure Reducing Valve (PRV) (excludes shutoffs)	12	15	20	25.375	29.75
Y-Strainer DI Class 125	10.125	12.125	18.5	21.625	26
Tee (Run)	11	13	16	18	22
Tee (Branch)	5.5	6.5	8	9	11
90° Bend	5.5	6.5	8	9	11
Spool (FLGXFLG) (minimum length available)	---	4.25	4.5	5	5.5

**NOTES:**  
1. LAYING LENGTHS SHOWN ABOVE ARE APPROXIMATE AND BASED ON SPECIFIC MANUFACTURER AND MODEL COMPONENTS. DESIGN ENGINEER TO VERIFY ALL DIMENSIONS, BASED ON ACTUAL EQUIPMENT AND FITTINGS PROPOSED.  
2. LAYING LENGTHS NOTED ABOVE DO NOT INCLUDE GASKET THICKNESS.  
3. THE USE OF FLANGED COUPLING ADAPTERS IS STRICTLY PROHIBITED.

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REVISIONS	REVISIONS	AMERICAN WATER ENGINEERING 3008 CHURCH RD. MT. LAUREL, NJ 08054	STANDARD DETAIL METER VAULT APPURTENANCES
▲	▲	AMERICAN WATER	DATE 08-24-18
▲	▲	DRAWN BY: E. HEATH PROJECT ENGR: E. SCHWARTZ	NEW JERSEY AMERICAN WATER
▲	▲	DATE 08-24-18	USE APPROVED DRAWINGS ONLY FOR CONSTRUCTION PURPOSES
▲	▲	PROJECT	0201-0601-SD100
▲	▲		02010601SD100

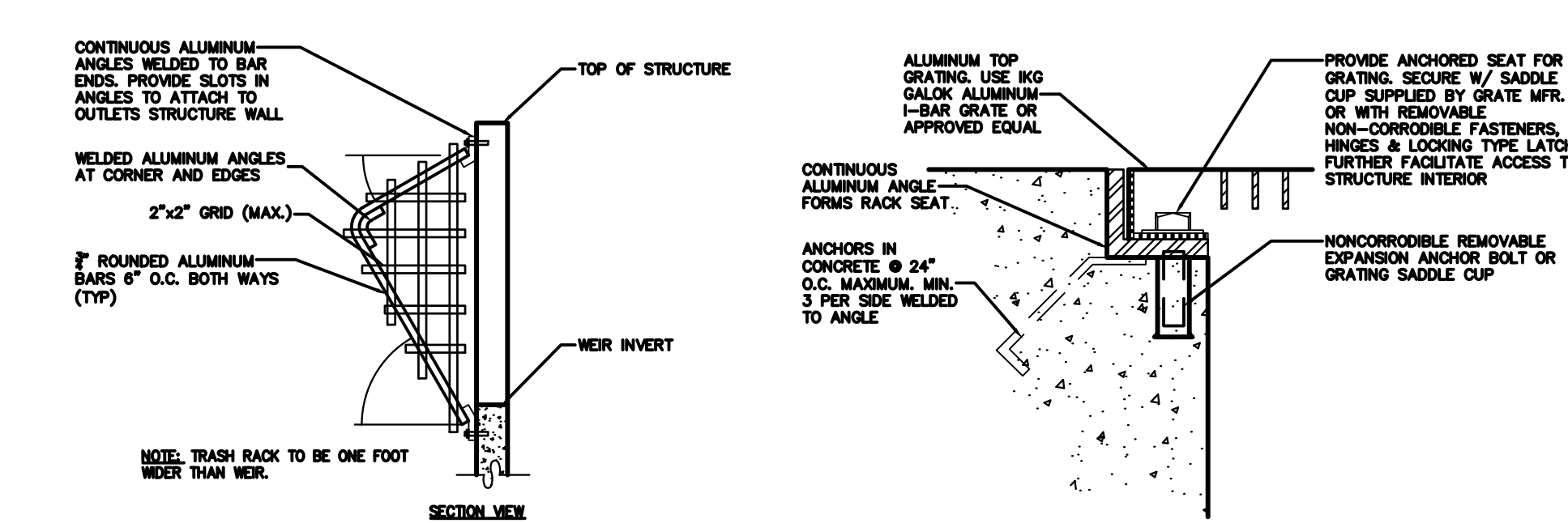
REVISIONS	REVISIONS	AMERICAN WATER ENGINEERING 3008 CHURCH RD. MT. LAUREL, NJ 08054	STANDARD DETAIL DOMESTIC & FIRE SERVICE TYPICAL LAYING LENGTHS OF EQUIPMENT & FITTINGS
▲	▲	AMERICAN WATER	DATE 08-24-18
▲	▲	DRAWN BY: JOE PROJECT ENGR: E. SCHWARTZ	NEW JERSEY AMERICAN WATER
▲	▲	DATE 08-24-18	STANDARDS
▲	▲	PROJECT	USE APPROVED DRAWINGS ONLY FOR CONSTRUCTION PURPOSES
▲	▲		0201-0601-SD102
▲	▲		02010601SD102

NO.	DATE	REMARKS

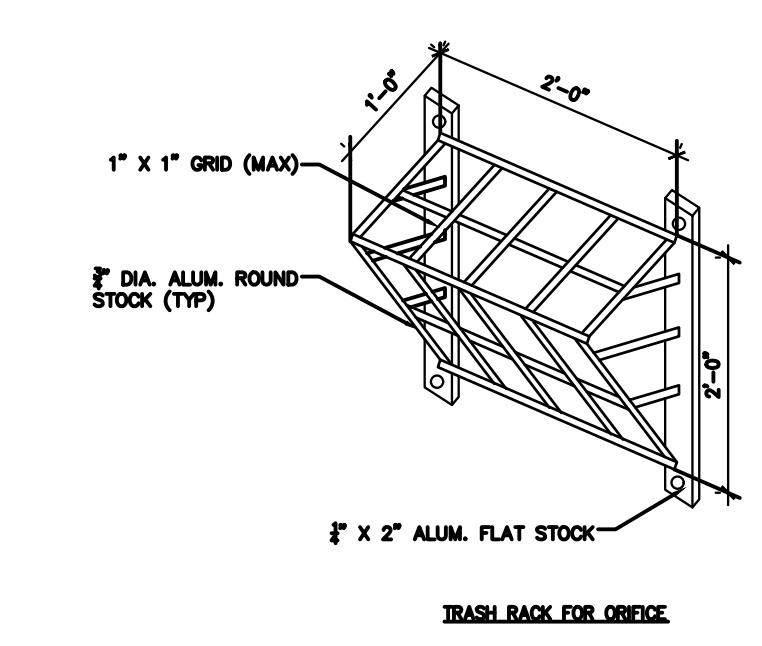
JOB NO.: NYC19-0005  
PA / PM: EW  
DRAWN BY: IH  
DATE: 07/21/2020

SHEET  
**C11.3**  
Sheet 24 of 25

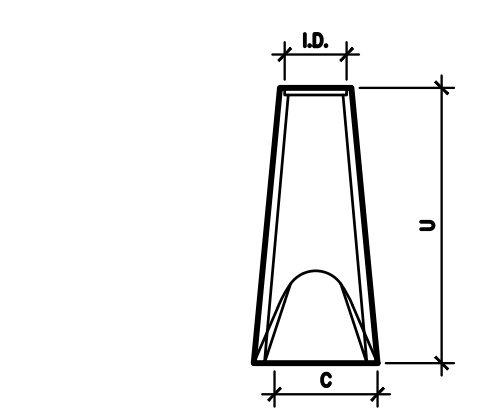
THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPERTY AND COPYRIGHT OF WARE MALCOMB AND SHALL NOT BE USED ON ANY OTHER WORK EXCEPT BY AGREEMENT WITH WARE MALCOMB. WRITTEN DIMENSIONS SHALL TAKE PRECEDENCE OVER SCALED DIMENSIONS AND SHALL BE VERIFIED ON THE JOB SITE. ANY DISCREPANCY SHALL BE BROUGHT TO THE NOTICE OF WARE MALCOMB PRIOR TO THE COMMENCEMENT OF ANY WORK. NOT FOR CONSTRUCTION



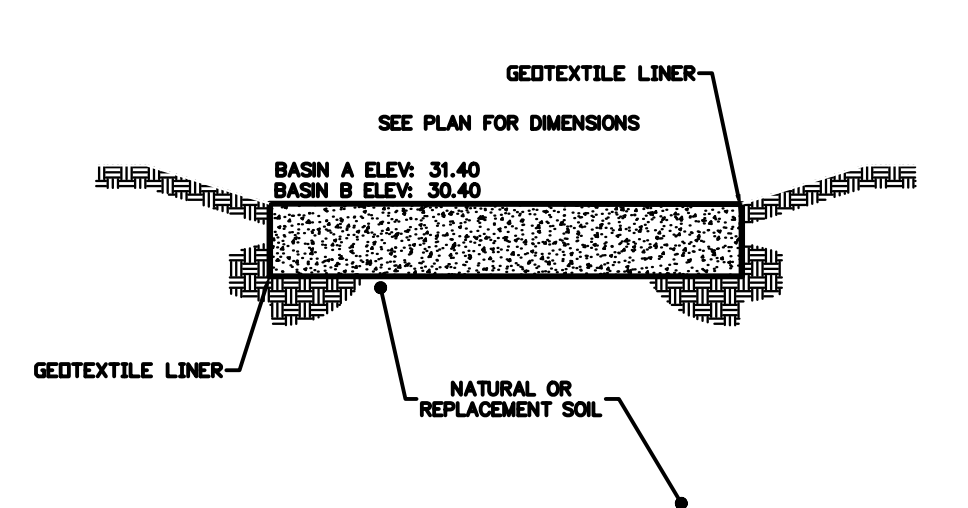
**TRASH RACK FOR WET POND OCS**  
SCALE: N.T.S.



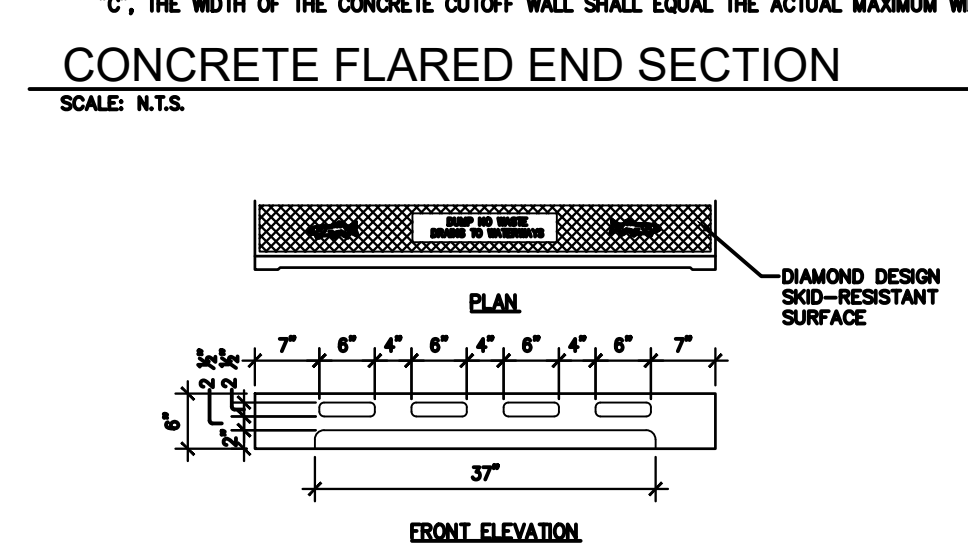
**TRASH RACK FOR ORIFICE**  
SCALE: N.T.S.



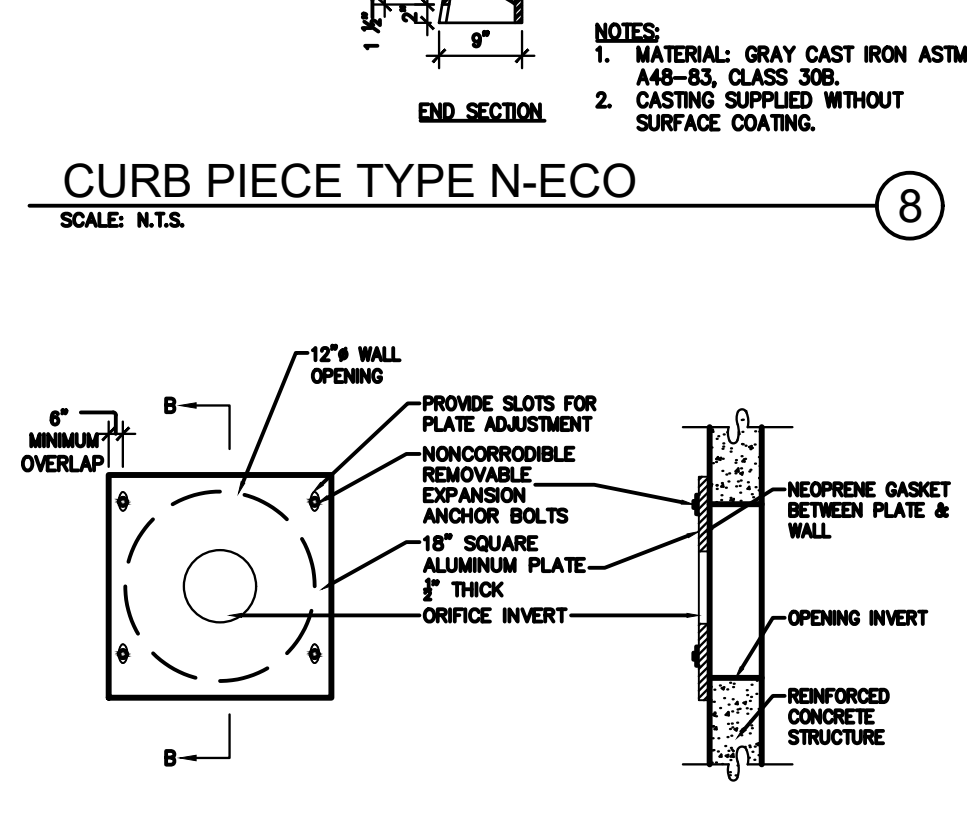
**TRASH RACK FOR OUTLET CONTROLS**  
SCALE: N.T.S.



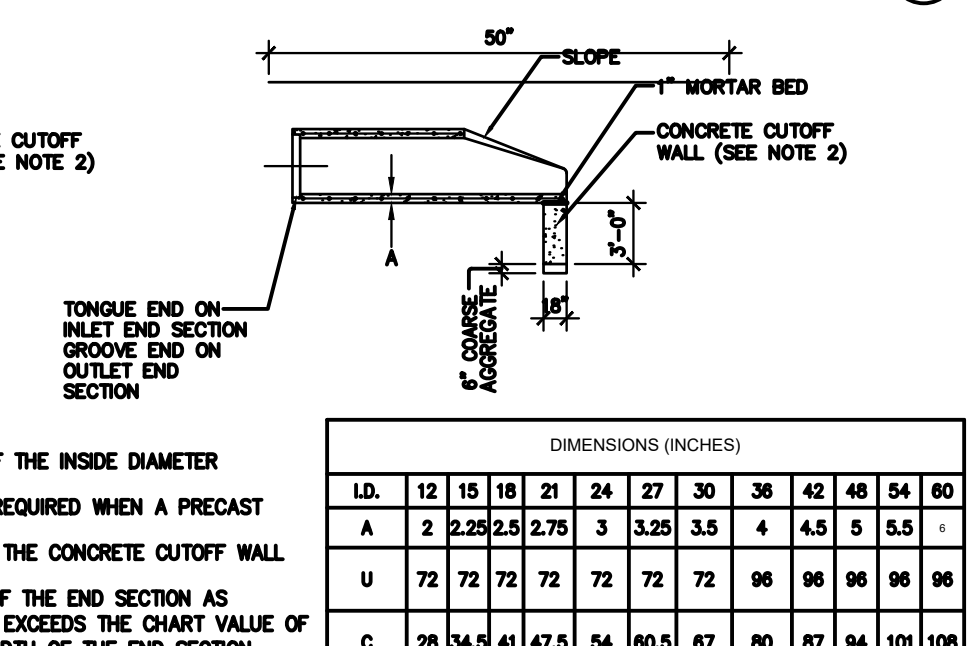
**SAND INFILTRATION DETAIL**  
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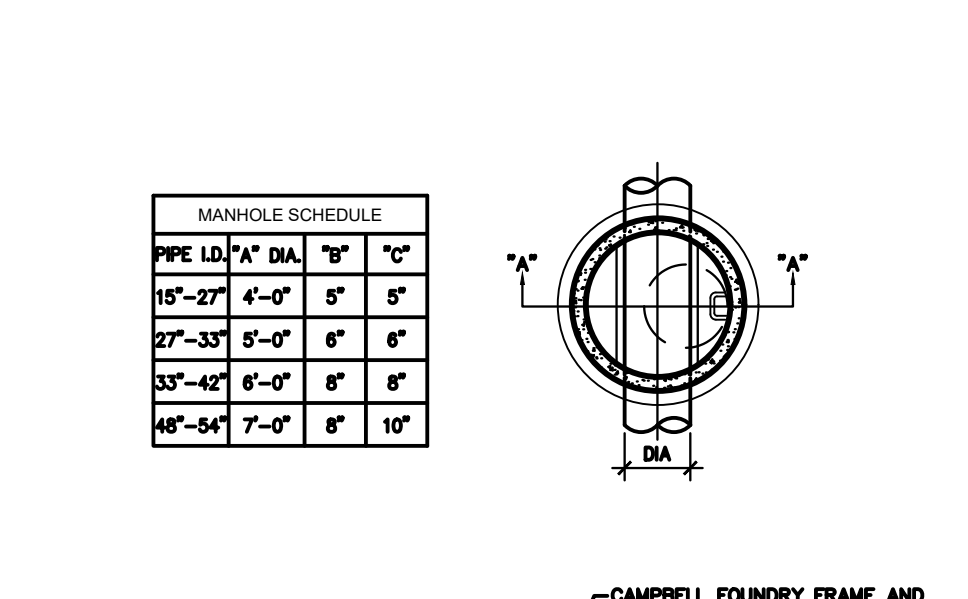
**CONCRETE FLARED END SECTION**  
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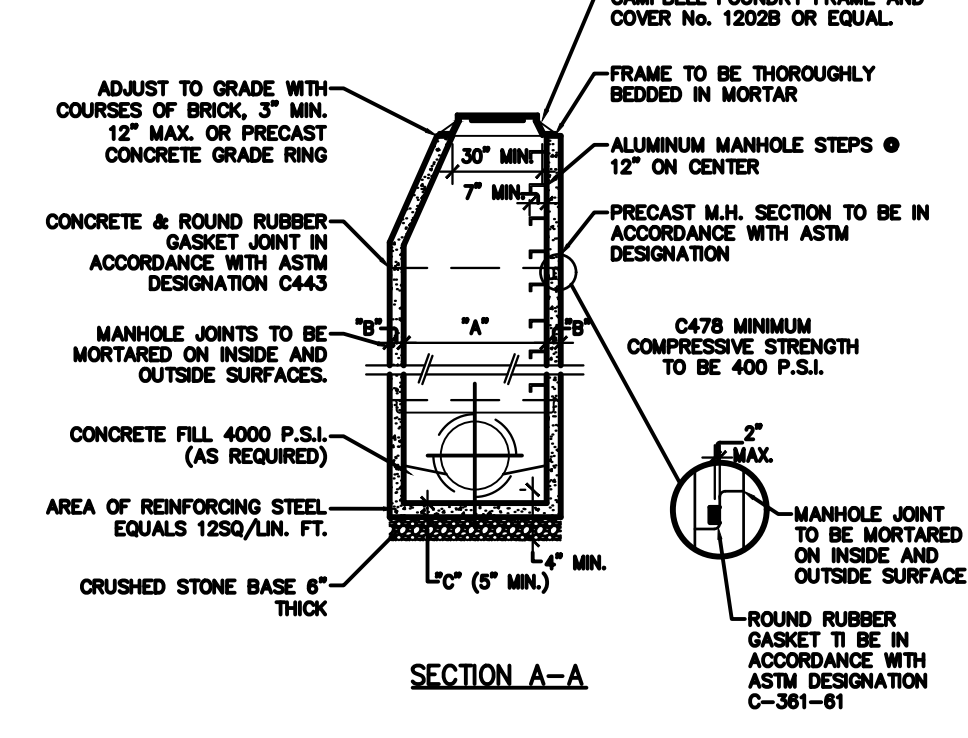
**CURB PIECE TYPE N-ECO**  
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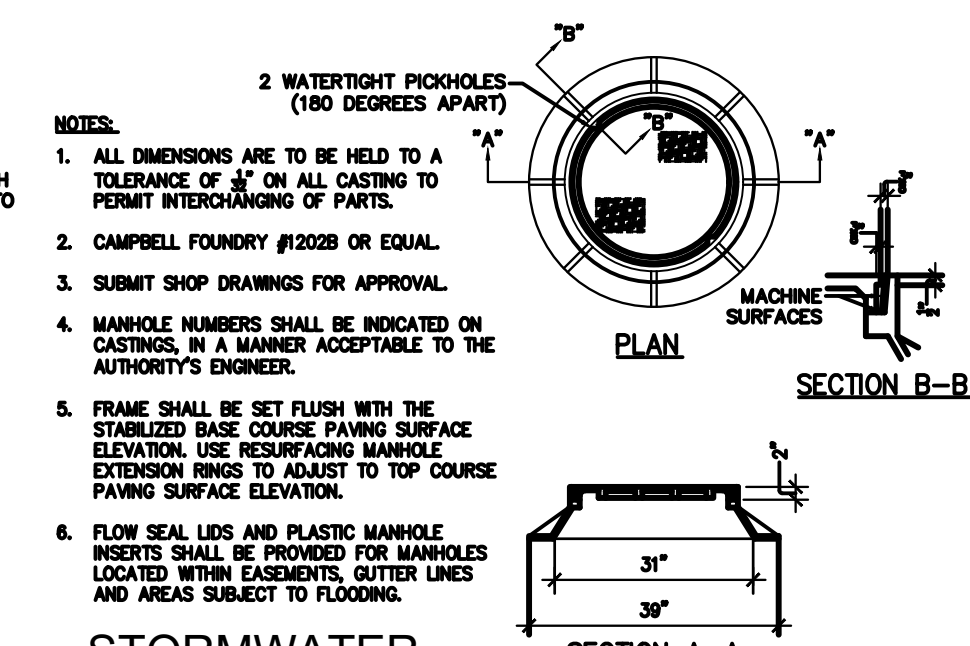
**INFILTRATION BASIN A OUTLET CONTROL STRUCTURE**  
SCALE: N.T.S.



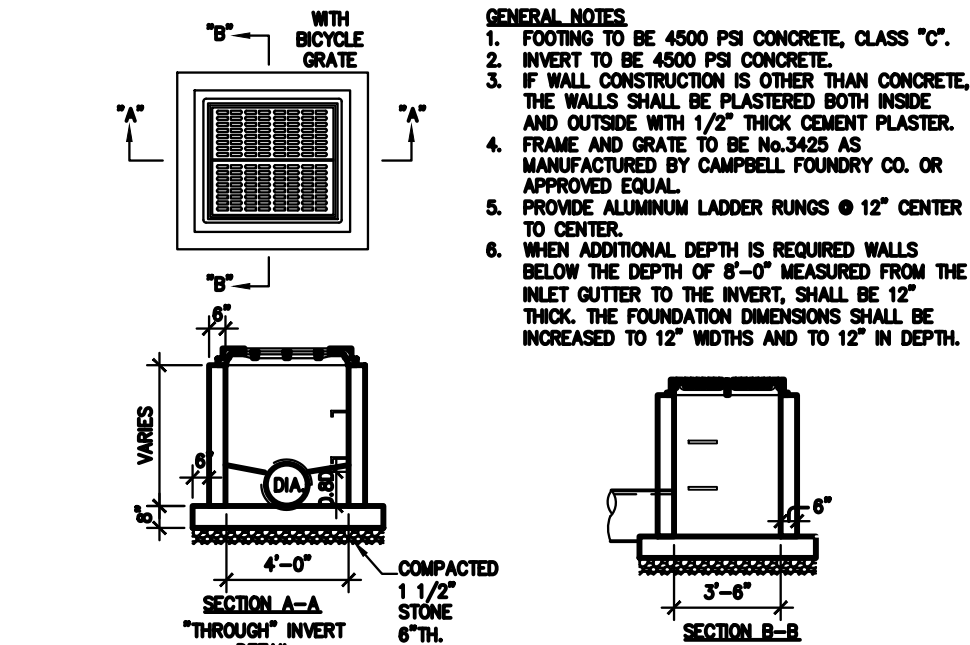
**INFILTRATION BASIN B OUTLET CONTROL STRUCTURE**  
SCALE: N.T.S.



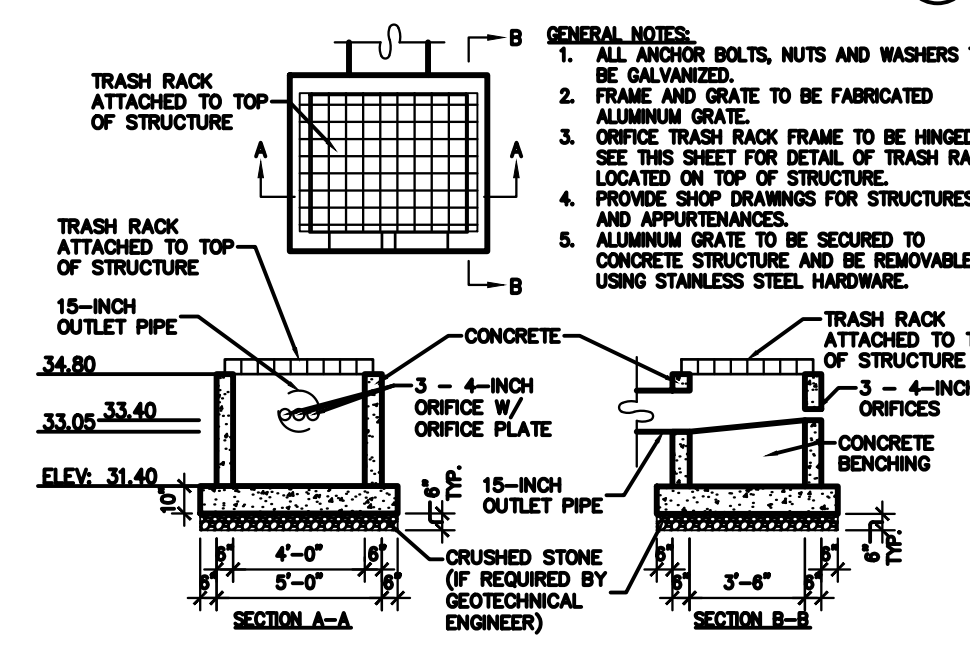
**PRECAST STANDARD DRAINAGE MANHOLE**  
SCALE: N.T.S.



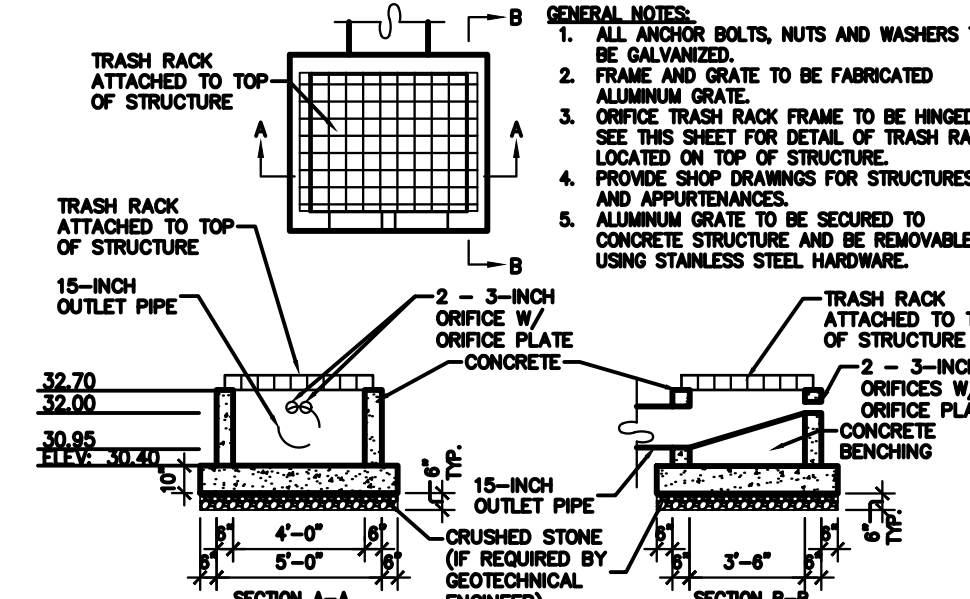
**STORMWATER MANHOLE FRAME AND COVER**  
SCALE: N.T.S.



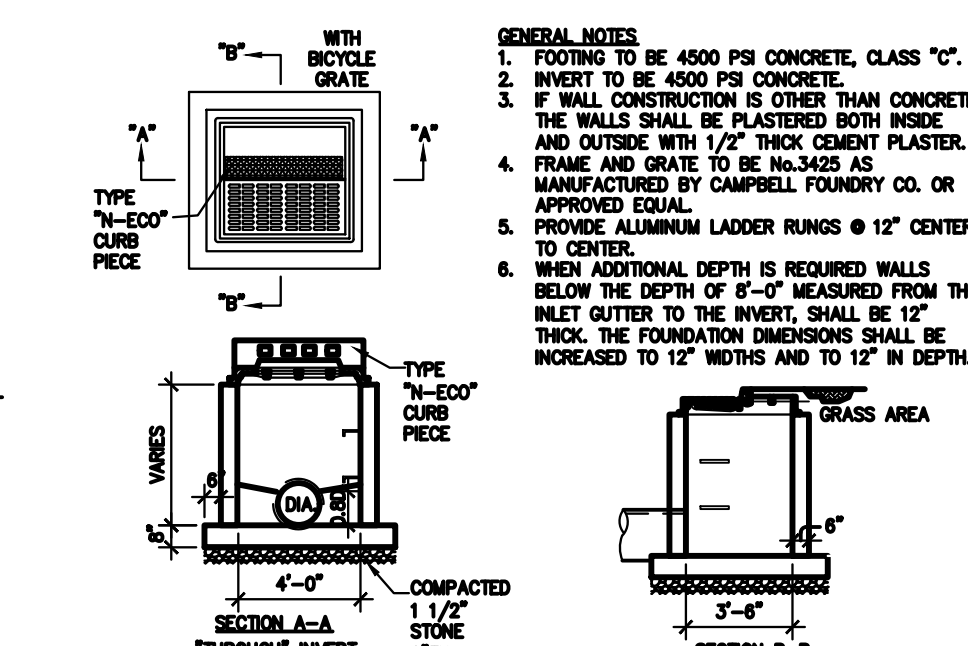
**TYPE 'E' INLET**  
SCALE: N.T.S.



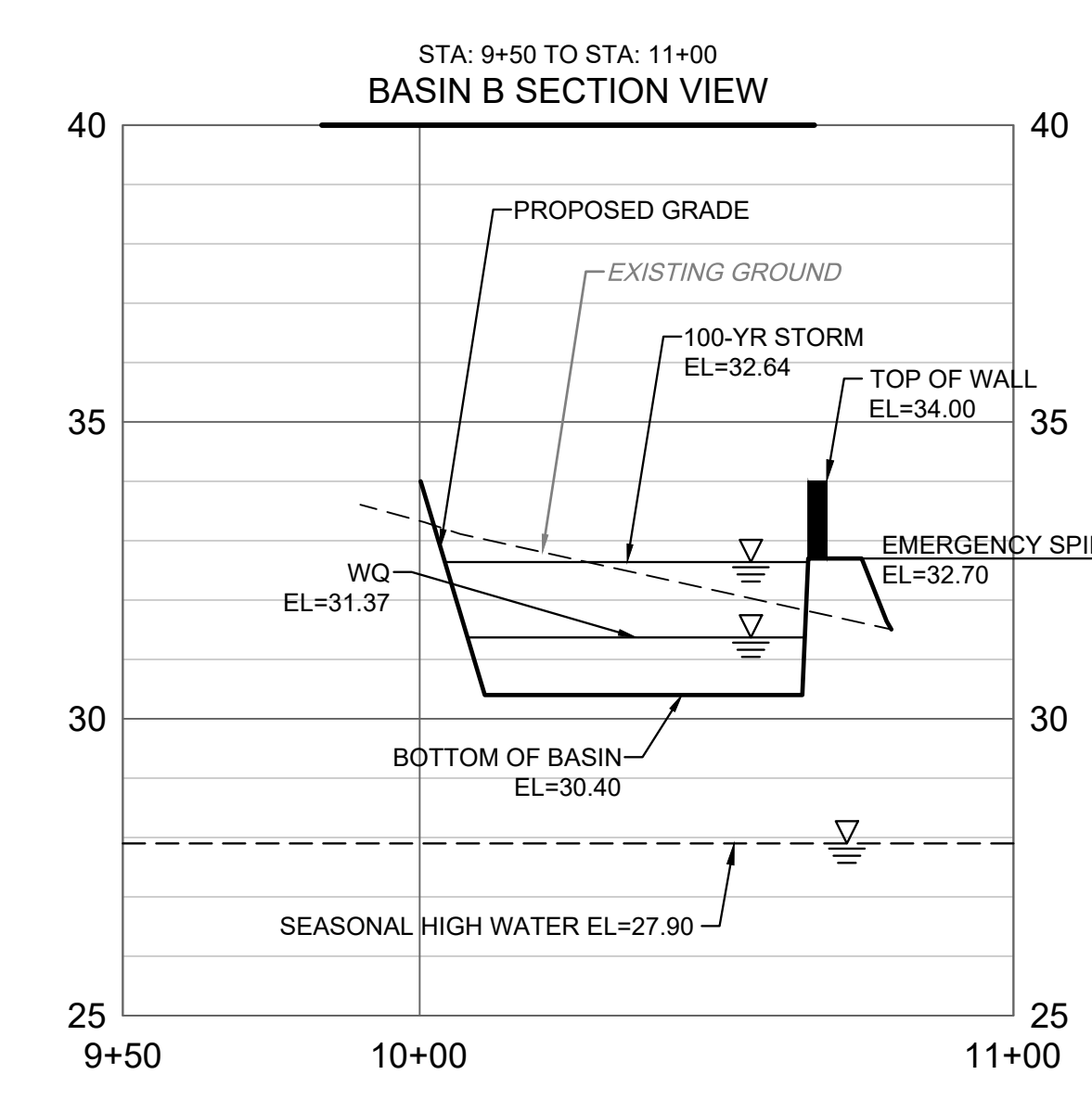
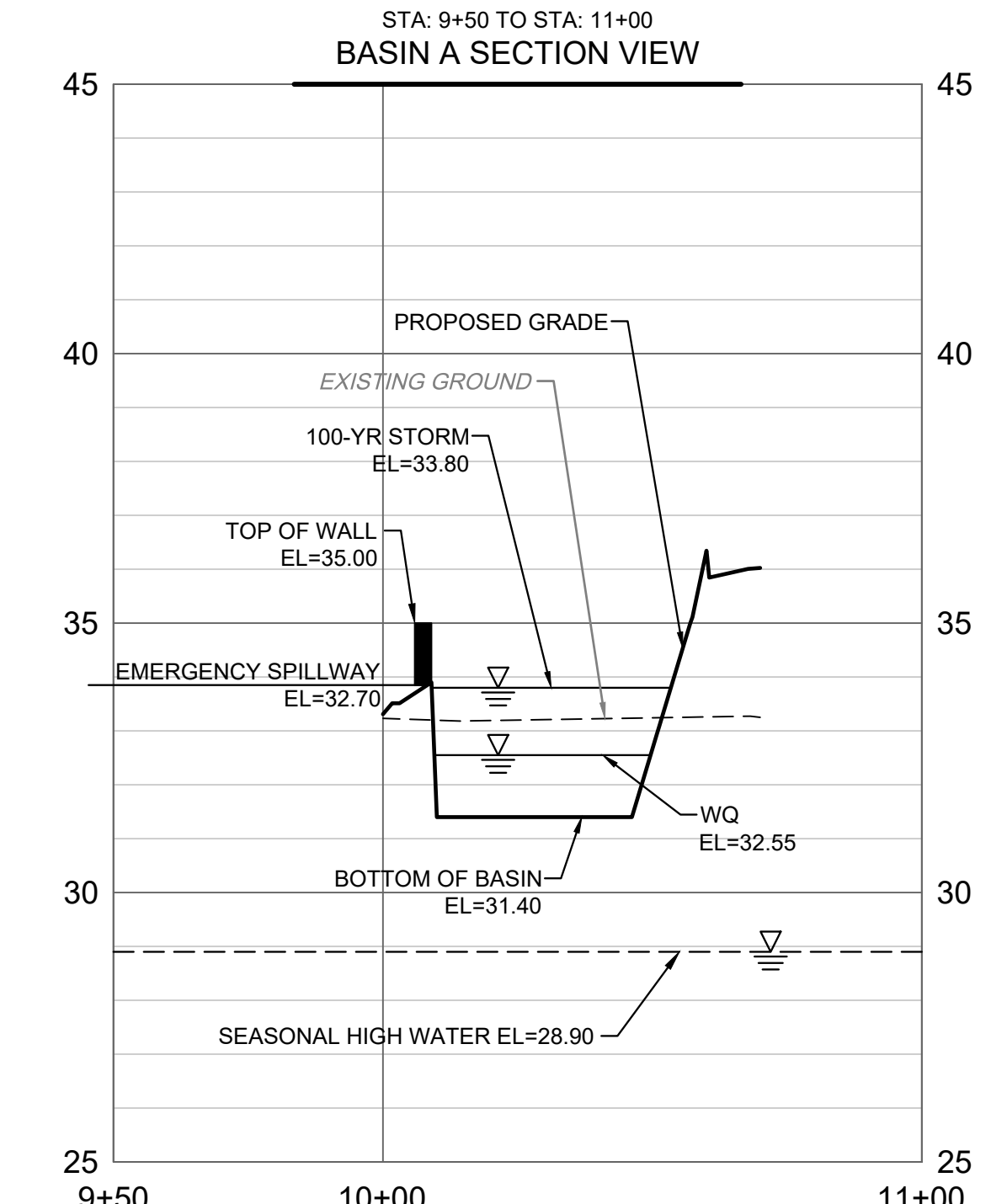
**INFILTRATION BASIN A OUTLET CONTROL STRUCTURE**  
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**INFILTRATION BASIN B OUTLET CONTROL STRUCTURE**  
SCALE: N.T.S.



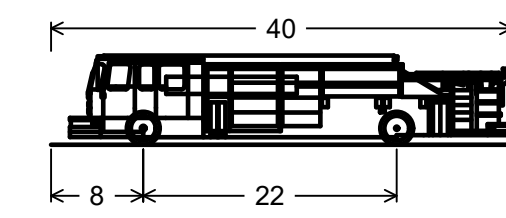
**TYPE 'B' INLET**  
SCALE: N.T.S.



SCALE: Hor: 1" = 50'  
SCALE: Vert: 1" = 5'

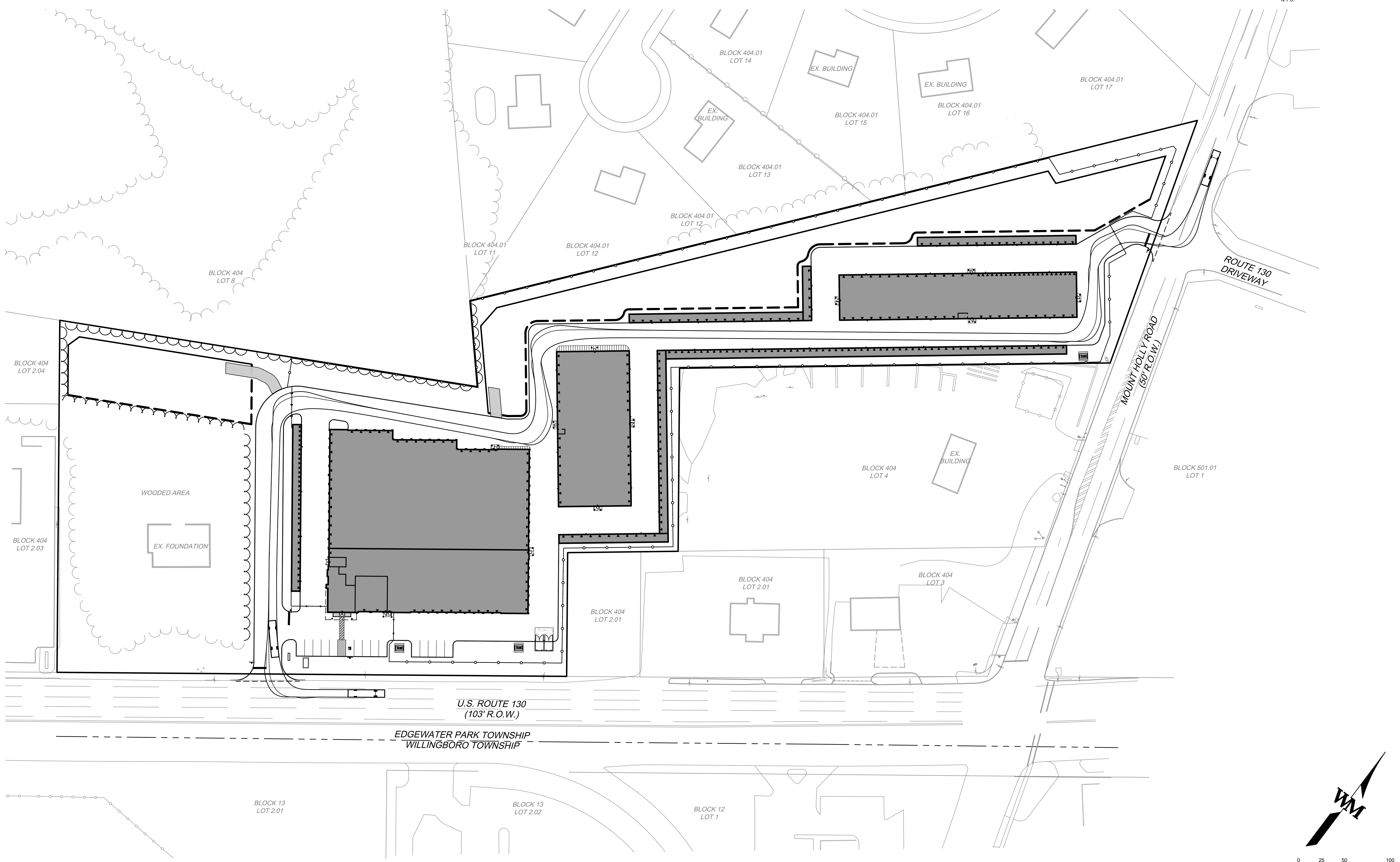
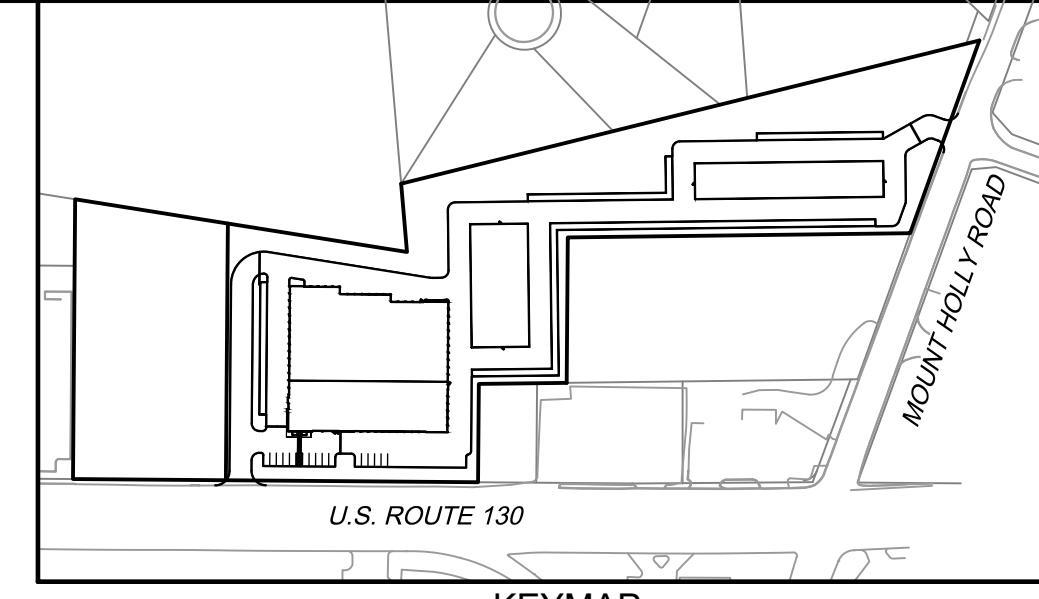
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**Pumper Fire Truck**  
 Overall Length 40.000ft  
 Overall Width 8.167ft  
 Overall Body Height 7.745ft  
 Min Body Ground Clearance 0.655ft  
 Track Width 8.167ft  
 Lock-to-lock time 5.00s  
 Max Wheel Angle 45.00°

- LEGEND:**
- PROPERTY BOUNDARY
  - ▬ PROPOSED CONCRETE SIDEWALK
  - ▬ PROPOSED CURB
  - ▬ PROPOSED SIGN
  - ▬ EXISTING CURB
  - ▬ EXISTING SIGN
  - ◀ PROPOSED ROLL-UP DOOR



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EDWARD F. WILKES, JR.  
 PROFESSIONAL ENGINEER  
 NJ LIC. NO. 24604937200

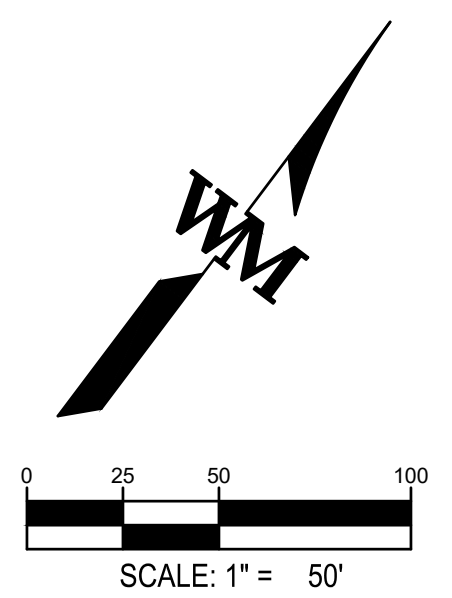
FOR AND ON BEHALF OF WARE MALCOMB

**EDGEWATER PARK - SELF STORAGE DEVELOPMENT**  
 PRELIMINARY SITE PLAN APPLICATION  
 VEHICLE TURNING PLAN  
 4201 ROUTE 130, BURLINGTON COUNTY, EDGWATER PARK, NEW JERSEY

NO.	DATE	REMARKS

JOB NO.:	NYC19-0005
PA / PM:	EW
DRAWN BY:	IH
DATE:	07/21/2020

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**C12.0**  
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