

**PROJECT CONTACT LIST**

<b>OWNER</b> EDGEWATER PARK CROSSING GROUP, LLC MOUNTAINEER, NJ 07092	(908) 491-6412
<b>ARCHITECT</b> EDGEWATER PARK STORAGE, LLC 500 HICKUP DEVELOPMENT 300 HANCOCK W. SUITE 200 LEWISBURG, NJ 07841	(973) 622-6073
<b>CIVIL ENGINEER</b> WARE MALCOMB SUITE 303 NEWARK, NEW JERSEY 07102	(732) 966-9000
<b>ARCHITECT</b> WARE MALCOMB SUITE 303 NEWARK, NEW JERSEY 07102	(732) 966-9000

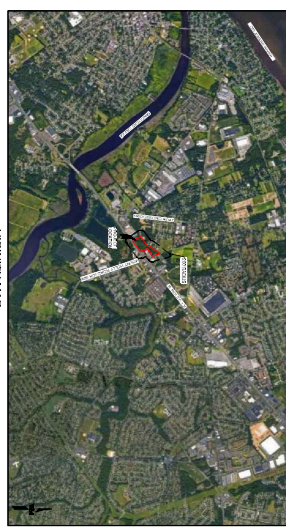


**Township of Edgewater Park**  
400 Edgewater Plaza  
Edgewater Park, NJ 08038  
Phone: (609) 877-2800  
Fax: (609) 877-2100

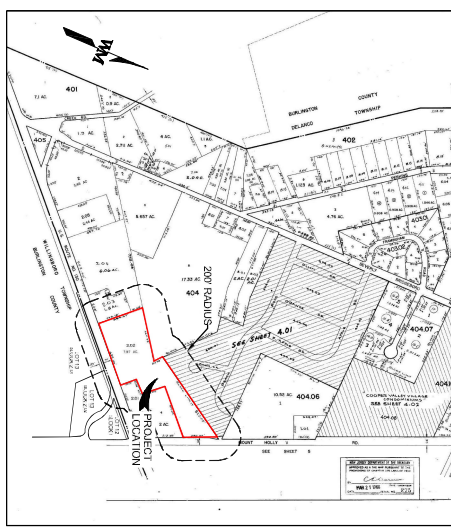
**4201 Route 130, Block 404 Lot 202**  
**200 Foot Lot**

**FINAL SITE PLAN APPLICATION**

**EDGEWATER PARK - SELF STORAGE DEVELOPMENT**  
LOT 202, BLOCK 404  
EDGEWATER PARK TOWNSHIP, BURLINGTON COUNTY, NEW JERSEY 08010



**VICINITY MAP**  
SCALE: 1" = 500'



**EDGEWATER PARK TAX MAP SHEET NO. 4**  
SCALE: 1" = 500'

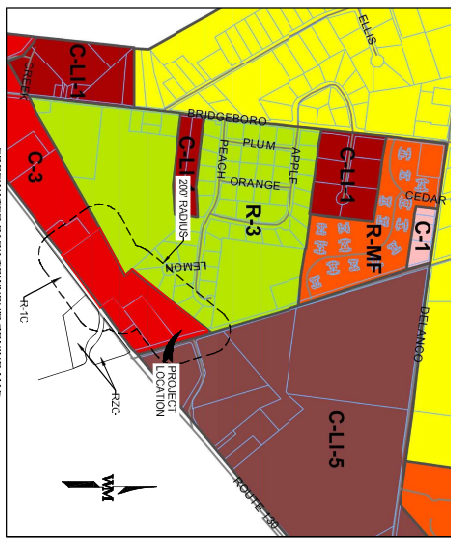
**GENERAL PROJECT NOTES:**

1. THE PROJECT IS KNOWN AS BLOCK 404, LOT 202 SHOWN ON TAX MAP SHEET 4 OF THE EDGEWATER PARK TAX MAP SHEET NO. 4.
2. THE PROPERTY LIES IN THE HIGHWAY COMMERCIAL DISTRICT WITHIN THE TOWNSHIP OF EDGEWATER PARK.
3. STREET NAMES, HIGH-CR.-WAY WIDTHS, BLOCK AND LOT NUMBERS ARE SHOWN IN ACCORDANCE WITH THE TOWNSHIP TAX MAPS.
4. THE PROPERTY BOUNDARY DIMENSIONS AND TOPOGRAPHIC INFORMATION SHOWN HEREON IS REFERENCED FROM A PLANNING ENGR. SURVEY, "TAX LOT 404 BLOCK 202" DATED 12/28/2019.
5. THE PROJECT VERTICAL DATUM IS BASED UPON NORTH AMERICAN DATUM OF 1983 (NAD83) ESTABLISHED BY G.P.S.
6. THE PROJECT HORIZONTAL DATUM IS BASED UPON NORTH AMERICAN DATUM OF 1983 (NAD83) ESTABLISHED BY G.P.S.
7. THE SUBJECT PROPERTY IS LOCATED WITHIN AN AREA DETERMINED TO BE IN THE EDGEMOUNT FLOOD ZONE. THE FLOOD HAZARD DATA WAS OBTAINED FROM THE BURLINGTON COUNTY NEW JERSEY FLOOD HAZARD DATA (FLOOD HAZARD DATA) PANEL 118 OF THE COUNTY PANEL NUMBER 5808 OF THE F. MAP NUMBER 580800189. EFFECTIVE DATE 05/01/2019.
8. THERE ARE NO EXISTING WATERCOURSES, SEPARATED ZONES, WETLANDS, OR WETLAND TRANSITION AREAS ON OR WITHIN ANY PART OF THE PROPERTY.

**SHEET INDEX**

NO.	DESCRIPTION	DATE
1	C1.0	03/22/2024
2	C1.1	10/27/2024
3	C1.2	10/27/2024
4	C1.3	03/22/2024
5	C1.4	03/22/2024
6	C1.5	03/22/2024
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8	C1.7	03/22/2024
9	C1.8	03/22/2024
10	C1.9	03/22/2024
11	C1.10	03/22/2024
12	C1.11	03/22/2024
13	C1.12	03/22/2024
14	C1.13	03/22/2024
15	C1.14	03/22/2024
16	C1.15	03/22/2024
17	C1.16	03/22/2024
18	C1.17	03/22/2024
19	C1.18	03/22/2024
20	C1.19	03/22/2024
21	C1.20	03/22/2024
22	C1.21	03/22/2024
23	C1.22	03/22/2024
24	C1.23	03/22/2024
25	C1.24	03/22/2024
26	C1.25	03/22/2024

**EDGEWATER PARK TOWNSHIP ZONING MAP**  
DATED APRIL 2007  
SCALE: 1" = 800'



**TOWNSHIP OF EDGEWATER PARK BOARD APPROVAL**  
APPROVED BY THE PLANNING BOARD OF THE TOWNSHIP OF EDGEWATER PARK, NEW JERSEY

NO.	DATE	REMARKS
1	12/07/2020	EDGEWATER PARK REVIEW
2	02/23/2022	REVISIONS TO FINAL SITE PLAN
3	03/22/2024	EDGEWATER PARK FINAL SITE PLAN

NO.	DATE	REMARKS
1	12/07/2020	EDGEWATER PARK REVIEW
2	02/23/2022	REVISIONS TO FINAL SITE PLAN
3	03/22/2024	EDGEWATER PARK FINAL SITE PLAN

**WARE MALCOMB**  
LEADING DESIGN FOR COMMERCIAL, REAL ESTATE

110 edison place  
suite 303  
newark, nj 07102  
p 732.966.9000  
waremalcomb.com

**EDGEWATER PARK - SELF STORAGE DEVELOPMENT**  
FINAL SITE PLAN APPLICATION  
COVER SHEET  
4201 ROUTE 130, BURLINGTON COUNTY, EDGEWATER PARK, NEW JERSEY

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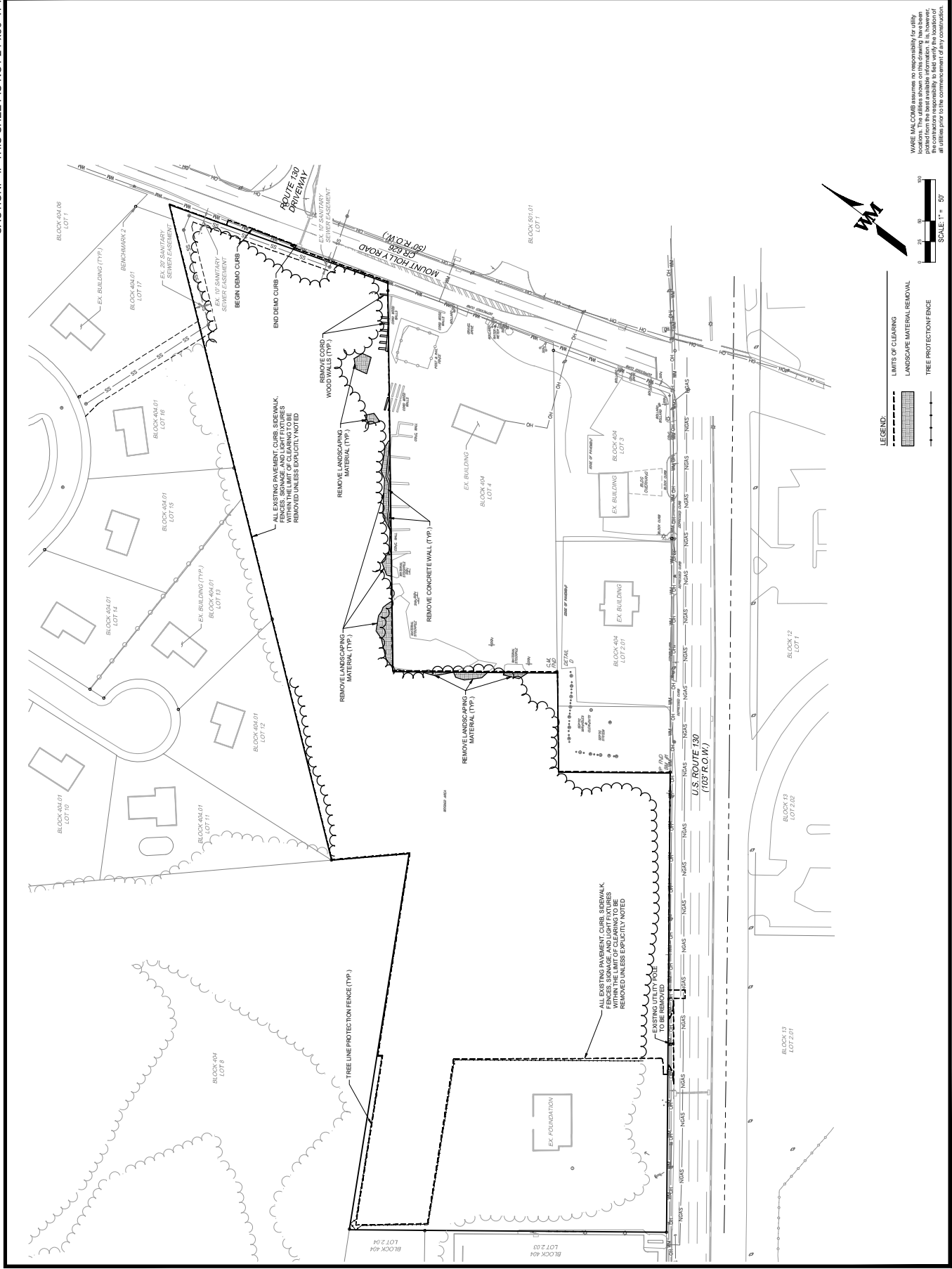
*WM*  
 FOR AND ON BEHALF OF WARE MALCOMB  
 PROJECT NO. 19-0005  
 SHEET NO. C2.0

EDGEWATER PARK - SELF STORAGE DEVELOPMENT  
 FINAL SITE PLAN APPLICATION  
 EXISTING CONDITIONS & DEMOLITION PLAN  
 4201 ROUTE 130, BURLINGTON COUNTY, EDGWATER PARK, NEW JERSEY

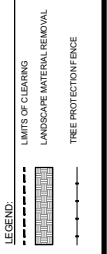
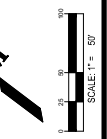
NO.	DATE	REVISIONS
1	12/07/2020	EDGEWATER PARK PARK REVIEW
2	02/22/2021	BURLINGTON COUNTY PARK REVIEW
3	03/22/2021	EDGEWATER PARK FINAL SITE PLAN

JOB NO.:	NYC19-0005
DATE:	07/27/2020
DRAWN BY:	EW
CHECKED BY:	DM

**C2.0**  
 Sheet 3 of 30



WARE MALCOMB assumes no responsibility for utility locations. The utilities shown on this drawing have been located by the contractor. The contractor is responsible for verifying the location of all utilities prior to the commencement of any construction.



SCALE: 1" = 50'







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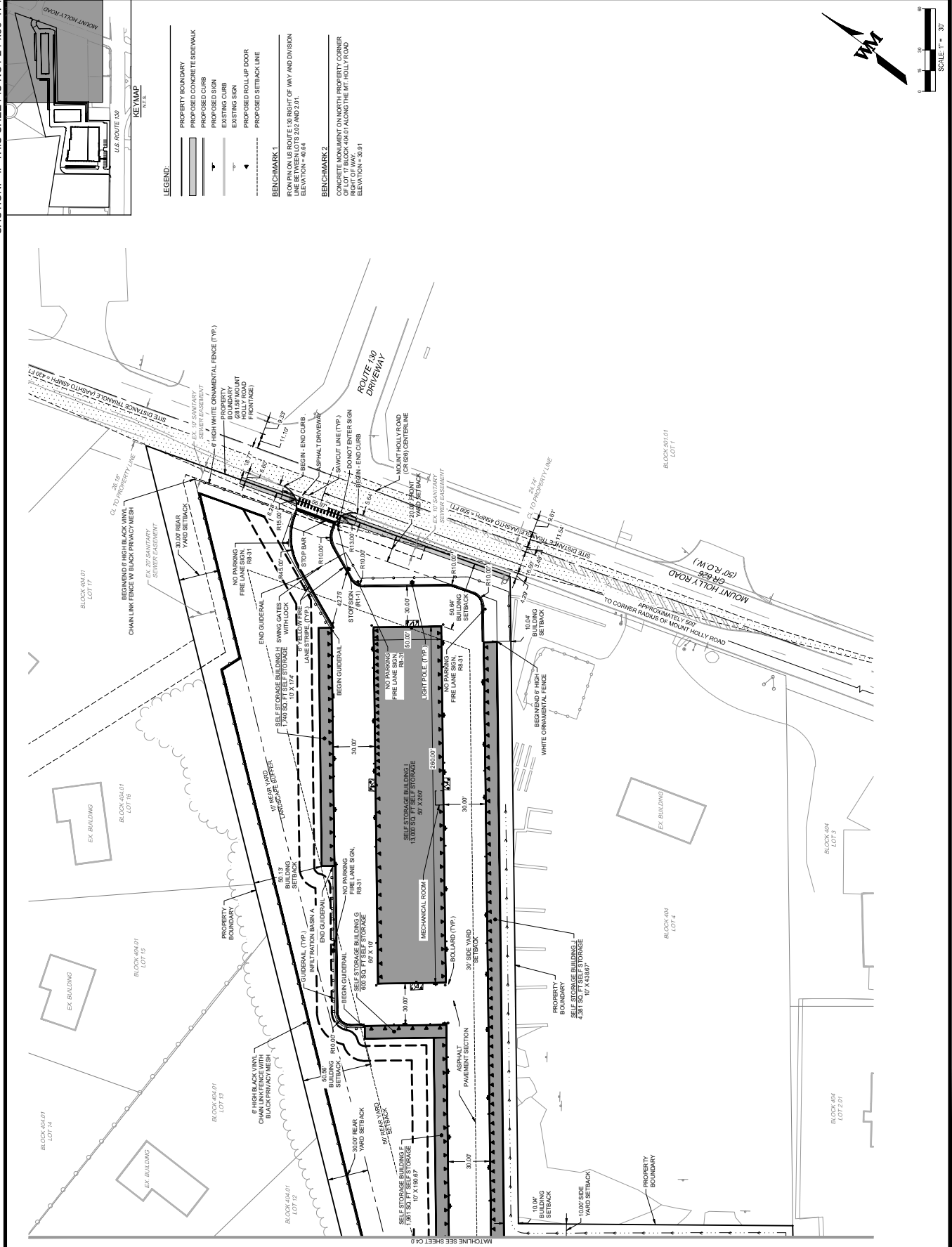
FOR AND ON BEHALF OF WARE MALCOMB  


EDGEWATER PARK - SELF STORAGE DEVELOPMENT  
 FINAL SITE PLAN APPLICATION  
 4201 ROUTE 130 BURLINGTON COUNTY, EDGEWATER PARK, NEW JERSEY

NO.	DATE	REMARKS
1	12/07/2020	EDGEWATER PARK PARK REVIEW
2	02/23/2021	BURLINGTON COUNTY PARK REVIEW
3	03/22/2021	EDGEWATER PARK PARK SITE PLAN

JOB NO.:	NJC19190006
DATE:	07/27/2020
DRAWN BY:	HW
DATE:	07/27/2020

SHEET  
**C4.1**  
 Sheet 6 of 30



MTOP LINE SEE SHEET C4.0

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FOR AND ON BEHALF OF WARE MALCOMB

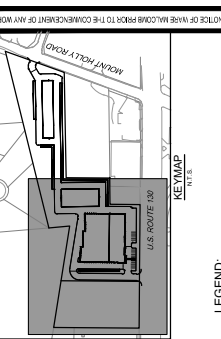
FINAL SITE PLAN APPLICATION  
 EDGEWATER PARK - SELF STORAGE DEVELOPMENT  
 4201 ROUTE 130 BURLINGTON COUNTY, EDGEMOUNT PARK, NEW JERSEY

NO.	DATE	REVISIONS
1	12/07/2020	EDGEWATER PARK REVIEW
2	02/22/2021	BURLINGTON COUNTY PARK REVIEW
3	02/22/2021	EDGEWATER PARK SITE PLAN

JOB NO.: NYC19-0006  
 PA FIRM: EW  
 DRAWN BY: JH  
 DATE: 07/27/2023

SHEET  
**C5.0**  
 7 of 30

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- LEGEND:**
- PROPOSED 5' CONTOUR
  - PROPOSED 1' CONTOUR
  - EXISTING 5' CONTOUR
  - EXISTING 1' CONTOUR
  - PROPOSED CONCRETE BIOWALK
  - PROPOSED STORM MANHOLE
  - PROPOSED STORM INLET
  - EXISTING CURB
  - EXISTING SIGN
  - EXISTING WATER MANHOLE
  - EXISTING WATER VALVE
  - EXISTING UTILITY POLE
  - EXISTING NATURAL GAS VALVE
  - EXISTING SANITARY MANHOLE
  - EXISTING SANITARY CLEANOUT
  - PROPOSED SPOT ELEVATION
  - PROPOSED FLOOR FINISH
  - PROPOSED FLOOR ELEVATION
  - PROPOSED SLOPE AND DIRECTION
  - FLOW DIRECTION
  - HIGH POINT
  - LOW POINT
  - NOT TO EXIST
  - GRASS BREAK
  - GRADE AT TOP OF WALL
  - GRADE AT BOTTOM OF WALL
  - BACK OF WALK
  - TOP OF CURB
  - BOTTOM OF CURB
  - EDGE OF RAMP
  - FINISHED FLOOR ELEVATION

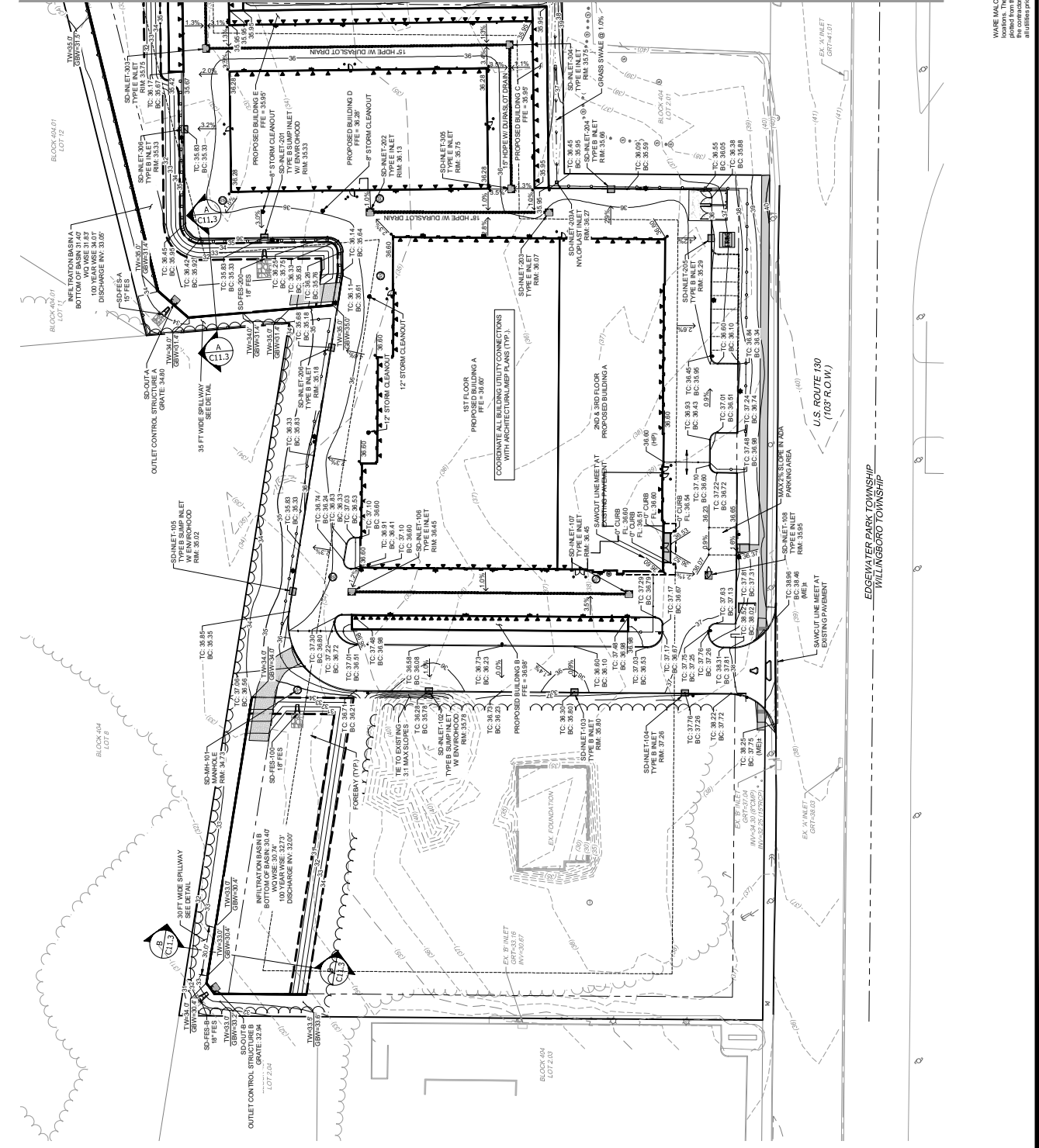
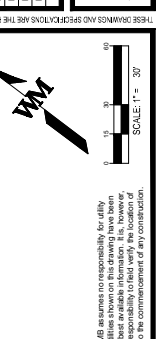
**NOTE:** TO ARCHITECTURAL PLANS FOR ALL ROOF DRAIN LOCATIONS.

**BENCHMARK 1:**  
 BENCHMARK POINT 130 RIGHT OF WAY AND DIVISION  
 ELEVATION = 40.94

**BENCHMARK 2:**  
 CONCRETE MONUMENT ON NORTH PROPERTY CORNER  
 LINE BETWEEN LOTS 202 AND 201.  
 ELEVATION = 30.91

**TEST PITS:**

TP# 1P#K1	TP# 1P#K1	INFILTRATION RATE 4.61
ELEV. 30.1	INFILTRATION RATE 5.08	
TP# 1P#K2	TP# 1P#K2	INFILTRATION RATE 5.08
ELEV. 30.9	INFILTRATION RATE 5.9	
TP# 1P#K3	TP# 1P#K3	INFILTRATION RATE 5.4
ELEV. 30.3	INFILTRATION RATE 5.9	
TP# 1P#K4	TP# 1P#K4	INFILTRATION RATE 5.28
ELEV. 30.2		
TP# 1P#K5	TP# 1P#K5	INFILTRATION RATE 4.96
ELEV. 30.1		



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FINAL SITE PLAN APPLICATION  
EDGWATER PARK - SELF STORAGE DEVELOPMENT  
4201 ROUTE 130 BURLINGTON COUNTY, EDGWATER PARK, NEW JERSEY

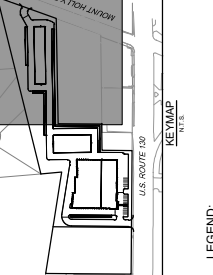
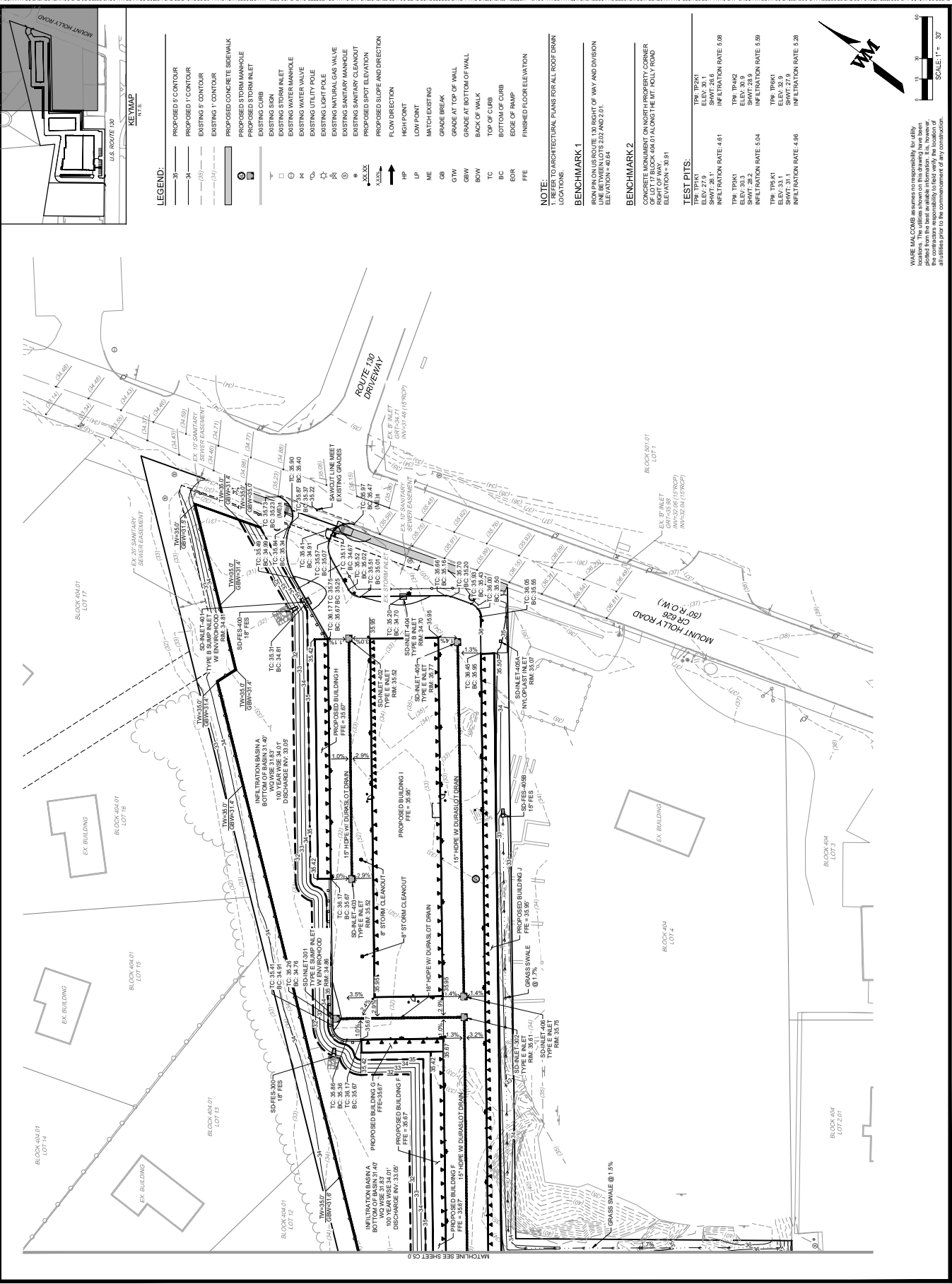
FOR AND ON BEHALF OF WARE MALCOMB  
*[Signature]*  
DATE: 07/22/2021  
JOB NO.: NYC19-0005

EDGWATER PARK - SELF STORAGE DEVELOPMENT  
FINAL SITE PLAN APPLICATION  
4201 ROUTE 130 BURLINGTON COUNTY, EDGWATER PARK, NEW JERSEY

NO.	DATE	REVISIONS
1	12/07/2020	EDGWATER PARK REVIEW
2	02/22/2021	EDGWATER PARK REVIEW
3	02/22/2021	EDGWATER PARK REVIEW

SHEET  
**C5.1**  
Sheet 8 of 30

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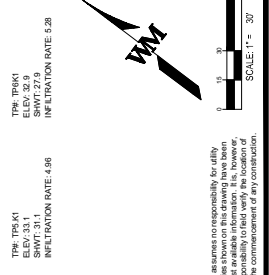
- LEGEND:**
- PROPOSED 5' CONTOUR
  - EXISTING 5' CONTOUR
  - EXISTING 1' CONTOUR
  - PROPOSED CONCRETE SIDEWALK
  - PROPOSED STORM MANHOLE
  - PROPOSED STORM INLET
  - EXISTING CURB
  - EXISTING SIDEWALK
  - EXISTING WATER INLET
  - EXISTING WATER MANHOLE
  - EXISTING WATER VALVE
  - EXISTING UTILITY POLE
  - EXISTING NATURAL GAS VALVE
  - EXISTING SANITARY MANHOLE
  - EXISTING SANITARY CLEANOUT
  - PROPOSED SPOT ELEVATION
  - PROPOSED FLOW DIRECTION
  - FLOW DIRECTION
  - HIGH POINT
  - LOW POINT
  - EXISTING
  - ME
  - GR
  - GTW
  - GBW
  - BOW
  - TC
  - BC
  - EBR
  - FFE
  - FINISHED FLOOR ELEVATION

**NOTE:** TO ARCHITECTURAL PLANS FOR ALL ROOF DRAIN LOCATIONS:  
IRON PIN ON US ROUTE 130 RIGHT OF WAY AND DIVISION LINE BETWEEN LOTS 2.02 AND 2.01.  
ELEVATION = 4.44

**BENCHMARK 2**  
ELEVATION = 30.91

**TEST PITS:**

TP#	TP#	ELEV.	INFILTRATION RATE
TP# 1	TP# 2	30.1	5.08
TP# 3	TP# 4	30.9	5.9
TP# 5	TP# 6	23.9	5.9
TP# 7	TP# 8	31.1	5.28



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FINAL SITE PLAN APPLICATION  
DRAINAGE PLAN  
EDGEWATER PARK - SELF STORAGE DEVELOPMENT  
4201 ROUTE 130 BURLINGTON COUNTY, EDGEMOUNT PARK, NEW JERSEY

FOR AND ON BEHALF OF WARE MALCOMB  
DATE: 07/27/2021  
DRAWN BY: [Signature]  
DATE: 07/27/2021  
JOB NO.: NYC19-00006  
EVI  
DATE: 07/27/2021

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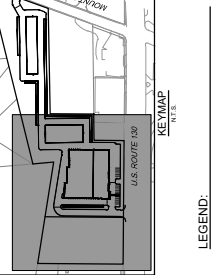
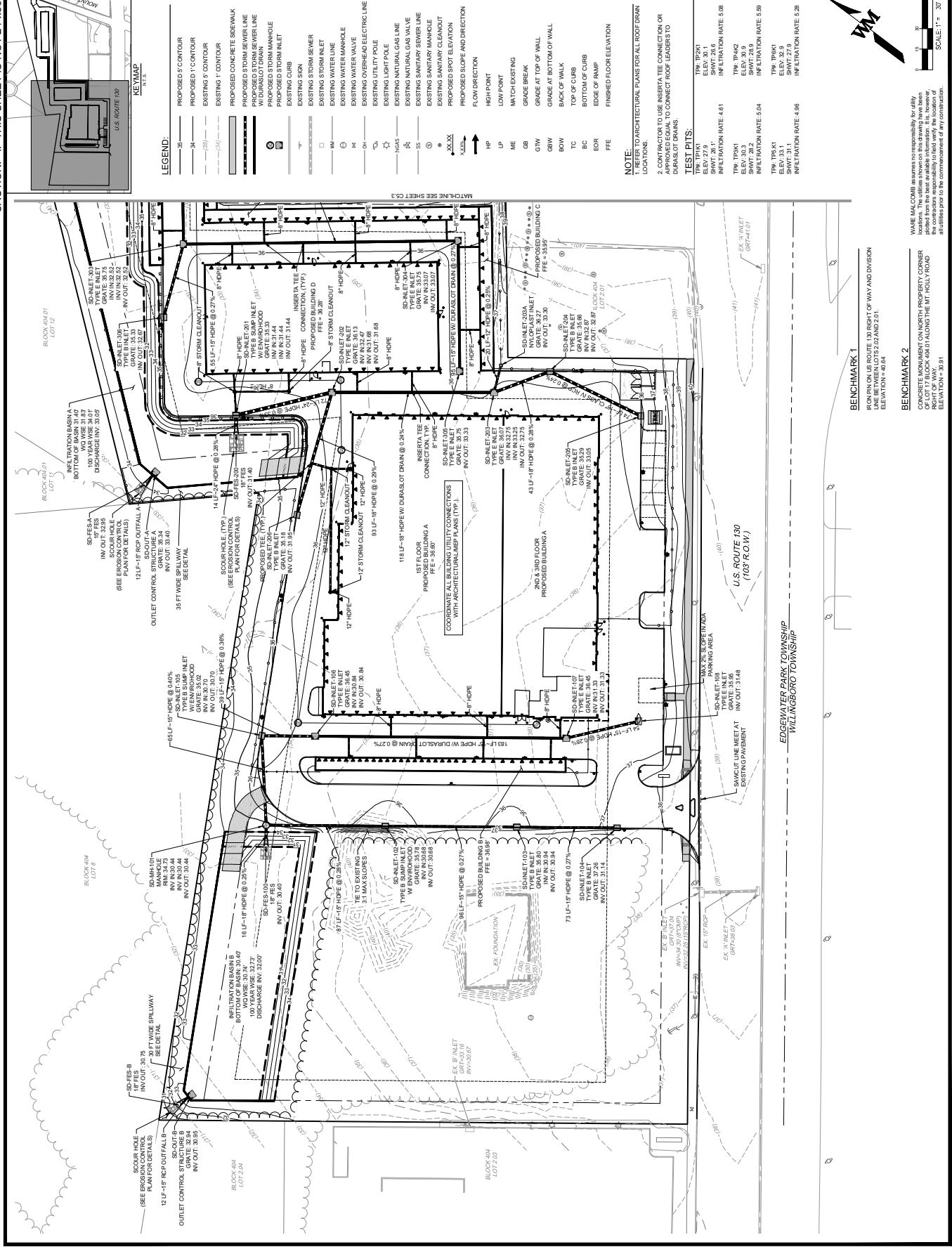
EDGEWATER PARK - SELF STORAGE DEVELOPMENT  
FINAL SITE PLAN APPLICATION  
DRAINAGE PLAN  
4201 ROUTE 130 BURLINGTON COUNTY, EDGEMOUNT PARK, NEW JERSEY

EDGEWATER PARK - SELF STORAGE DEVELOPMENT  
FINAL SITE PLAN APPLICATION  
DRAINAGE PLAN  
4201 ROUTE 130 BURLINGTON COUNTY, EDGEMOUNT PARK, NEW JERSEY

NO.	DATE	DESCRIPTION
1	12/07/2020	EDGEWATER PARK PARK REVIEW
2	02/22/2021	BURLINGTON COUNTY PARK REVIEW
3	02/22/2021	EDGEWATER PARK PARK SITE PLAN

SHEET  
C5.2  
9 of 30

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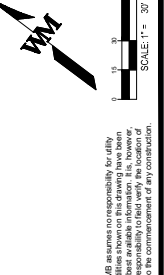
- LEGEND:**
- PROPOSED 5' CONTOUR
  - PROPOSED 1' CONTOUR
  - EXISTING 5' CONTOUR
  - EXISTING 1' CONTOUR
  - PROPOSED CONCRETE SIDEWALK
  - PROPOSED STORM SEWER LINE
  - EXISTING STORM SEWER LINE
  - PROPOSED STORM MANHOLE
  - EXISTING STORM MANHOLE
  - EXISTING CURB
  - EXISTING SIGN
  - EXISTING STORM SEWER
  - EXISTING STORM INLET
  - EXISTING WATERLINE
  - EXISTING WATERMANHOLE
  - EXISTING WATER VALVE
  - EXISTING OPEN TRENCH
  - EXISTING LIGHT POLE
  - EXISTING NATURAL GAS LINE
  - EXISTING NATURAL GAS VALVE
  - EXISTING SANITARY SEWER LINE
  - EXISTING SANITARY MANHOLE
  - EXISTING SANITARY CLEANOUT
  - PROPOSED SPOT ELEVATION
  - PROPOSED SLOPE AND DIRECTION
  - FLOW DIRECTION
  - HIGH POINT
  - LOW POINT
  - IP
  - LP
  - ME
  - MB
  - GB
  - GW
  - BOW
  - TC
  - BC
  - ECR
  - FE

**NOTE:**

- REFER TO ARCHITECTURAL PLANS FOR ALL ROOF DRAIN LOCATIONS.
- CONTRACTOR TO USE INSERTS TO CONNECT TO EXISTING OR TO CONNECT ROOF LEADERS TO DRAINS OF DRAINS.

**TEST PITS:**

TP# 1P241	TP# 1P241	TP# 1P241	TP# 1P241
ELEV. 27.9	ELEV. 30.1	ELEV. 30.1	ELEV. 30.1
INFILTRATION RATE 4.61	INFILTRATION RATE 5.08	INFILTRATION RATE 4.61	INFILTRATION RATE 5.08
TP# 1P240	TP# 1P240	TP# 1P240	TP# 1P240
ELEV. 30.3	ELEV. 30.9	ELEV. 30.3	ELEV. 30.9
SWT# 28.2	SWT# 28.9	SWT# 28.2	SWT# 28.9
INFILTRATION RATE 5.04	INFILTRATION RATE 5.59	INFILTRATION RATE 5.04	INFILTRATION RATE 5.59
TP# 1P241	TP# 1P241	TP# 1P241	TP# 1P241
SWT# 31.1	SWT# 31.1	SWT# 31.1	SWT# 31.1
INFILTRATION RATE 4.96	INFILTRATION RATE 4.96	INFILTRATION RATE 4.96	INFILTRATION RATE 4.96



**BENCHMARK 1**  
IRON ON U.S. ROUTE 130 RIGHT OF WAY AND DIVISION LINE BETWEEN LOTS 2.02 AND 2.01.  
ELEVATION = 40.84

**BENCHMARK 2**  
CONCRETE MONUMENT ON NORTH PROPERTY CORNER OF LOT 2.02.  
ELEVATION = 40.01 ALONG THE 11'-HULLY ROAD RIGHT OF WAY.  
ELEVATION = 30.91

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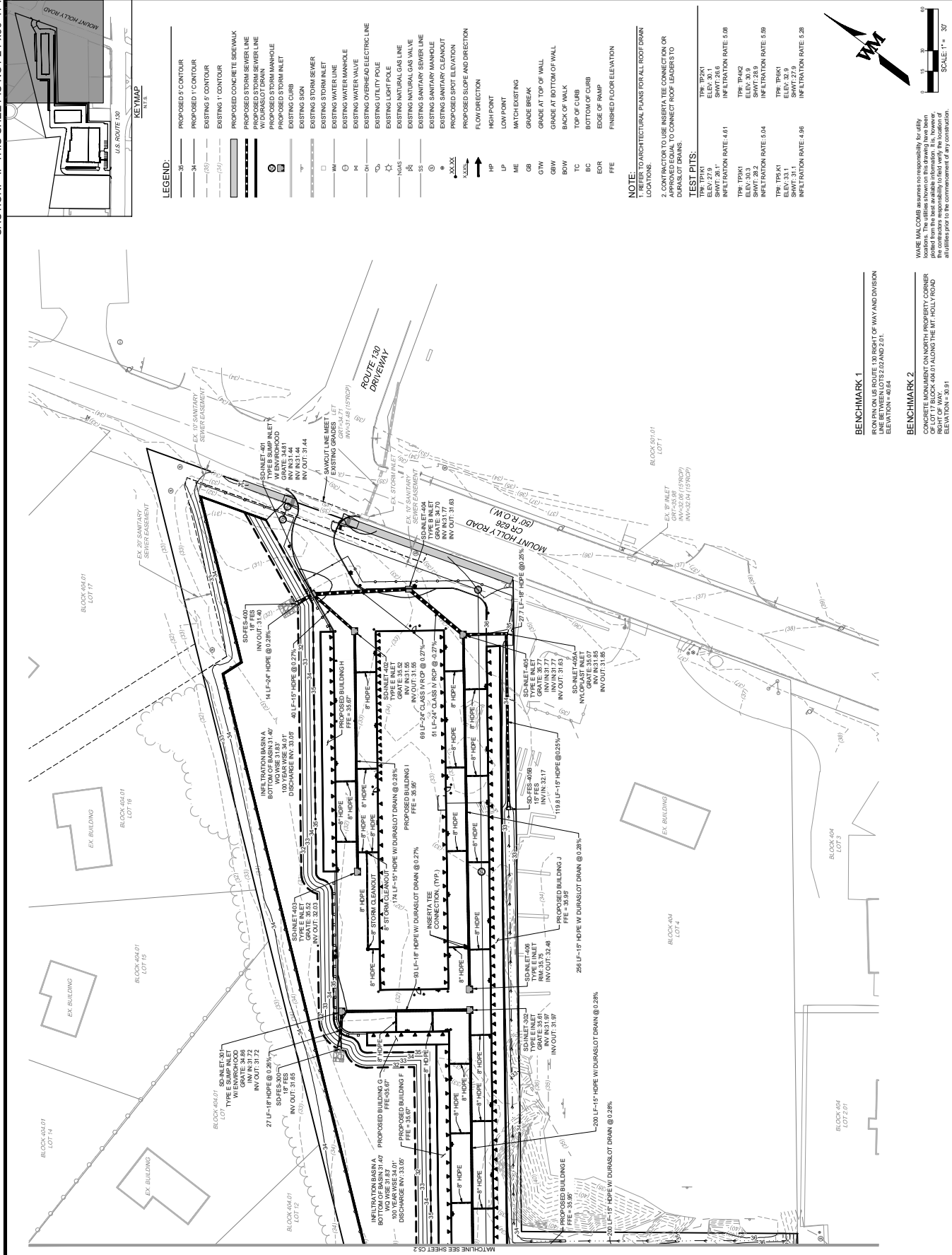
FOR AND BEHALF OF WARE MALCOMB  
DATE: 08/25/2021  
BY: [Signature]

EDGEWATER PARK - SELF STORAGE DEVELOPMENT  
FINAL SITE PLAN APPLICATION  
DRAINAGE PLAN  
4201 ROUTE 130 BURLINGTON COUNTY, EDGEMOUNT PARK, NEW JERSEY

NO.	DATE	REVISIONS
1	12/07/2020	EDGEWATER PARK PARK REVIEW
2	02/22/2021	BURLINGTON COUNTY PARK REVIEW
3	02/22/2021	EDGEWATER PARK FINAL SITE PLAN

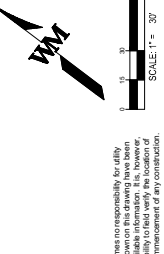
JOB NO.: NYC19-0005  
PA FIRM: EW  
DATE: 07/27/2020  
DRAWN BY: [Name]

**C5.3**  
SHEET  
10 of 30



- LEGEND:**
- PROPOSED 5' CONTOUR
  - PROPOSED 1" CONTOUR
  - EXISTING 5' CONTOUR
  - EXISTING 1" CONTOUR
  - PROPOSED CONCRETE SIDEWALK
  - PROPOSED STORM SEWER LINE
  - EXISTING STORM SEWER LINE
  - PROPOSED STORM MANHOLE
  - EXISTING STORM MANHOLE
  - PROPOSED STORM INLET
  - EXISTING STORM INLET
  - EXISTING WATERLINE
  - EXISTING WATER VALVE
  - EXISTING OPENING ELECTRIC LINE
  - EXISTING NATURAL GAS LINE
  - EXISTING NATURAL GAS VALVE
  - EXISTING SANITARY SEWER LINE
  - EXISTING SANITARY MANHOLE
  - EXISTING SANITARY CLEANOUT
  - PROPOSED SLOPE AND DIRECTION
  - FLOW DIRECTION
  - HIGH POINT
  - LOW POINT
  - MATCH EXISTING
  - GRADE BREAK
  - GRADE AT TOP OF WALL
  - GRADE AT BOTTOM OF WALL
  - BACK OF WALK
  - TOP OF CURB
  - BOTTOM OF CURB
  - EDGE OF RAMP
  - FINISHED FLOOR ELEVATION

- NOTE:**
- REFER TO ARCHITECTURAL PLANS FOR ALL ROOF DRAIN LOCATIONS.
  - CONTRACTOR TO USE INSERT TABLE CONNECTION OR TO CONNECT ROOF LEADERS TO DRAINS OF DRAINS.
- TEST PITS:**
- |           |            |                        |
|-----------|------------|------------------------|
| TP# TP#K1 | ELEV. 30.1 | INFILTRATION RATE 5.08 |
| TP# TP#K1 | ELEV. 27.9 | INFILTRATION RATE 4.61 |
| TP# TP#K1 | ELEV. 30.9 | INFILTRATION RATE 5.08 |
| TP# TP#K1 | ELEV. 30.3 | INFILTRATION RATE 5.08 |
| TP# TP#K1 | ELEV. 28.2 | INFILTRATION RATE 5.08 |
| TP# TP#K1 | ELEV. 31.1 | INFILTRATION RATE 4.96 |



**BENCHMARK 1**  
IRON PIN ON US ROUTE 130 RIGHT OF WAY AND DIVISION LINE BETWEEN LOTS 2.02 AND 2.01.  
ELEVATION = 40.84

**BENCHMARK 2**  
CONCRETE MONUMENT ON NORTH PROPERTY CORNER OF LOT 2.01.  
ELEVATION = 30.91

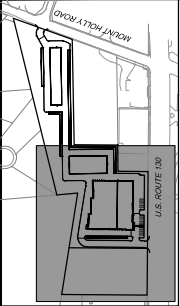




NO.	DATE	REVISIONS
1	12/07/2020	EDGEWATER PARK PARK REVIEW
2	02/23/2021	BURLINGTON COUNTY PARK REVIEW
3	02/22/2021	EDGEWATER PARK FINAL SITE PLAN

JOB NO.:	NYC19-00006
PA. PM:	EV
DRAWN BY:	JH
DATE:	07/27/2020

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- LEGEND:**
- PROPOSED 9" CONTOUR
  - EXISTING 9" CONTOUR
  - EXISTING 1" CONTOUR
  - PROPOSED CONCRETE SIDEWALK
  - PROPOSED STORM SEWER LINE
  - EXISTING STORM SEWER LINE
  - PROPOSED STORM MANHOLE
  - PROPOSED STORM INLET
  - EXISTING CURB
  - EXISTING STORM SEWER
  - EXISTING STORM INLET
  - EXISTING WATERLINE
  - EXISTING WATER VALVE
  - EXISTING OPENING FOR ELECTRIC LINE
  - EXISTING LIGHT POLE
  - EXISTING NATURAL GAS LINE
  - EXISTING NATURAL GAS VALVE
  - EXISTING SANITARY SEWER LINE
  - EXISTING SANITARY SEWER INLET
  - PROPOSED SPOT ELEVATION
  - PROPOSED SLOPE AND DIRECTION
  - FLOW DIRECTION
  - HIGH POINT
  - LOW POINT
  - GRADE EXISTING
  - MATCH EXISTING
  - GRAB BREAK
  - GTW
  - GRADE AT TOP OF WALL
  - GRADE AT BOTTOM OF WALL
  - BACK OF WALK
  - TOP OF CURB
  - BOTTOM OF CURB
  - EDGE OF RAMP
  - FINISHED FLOOR ELEVATION

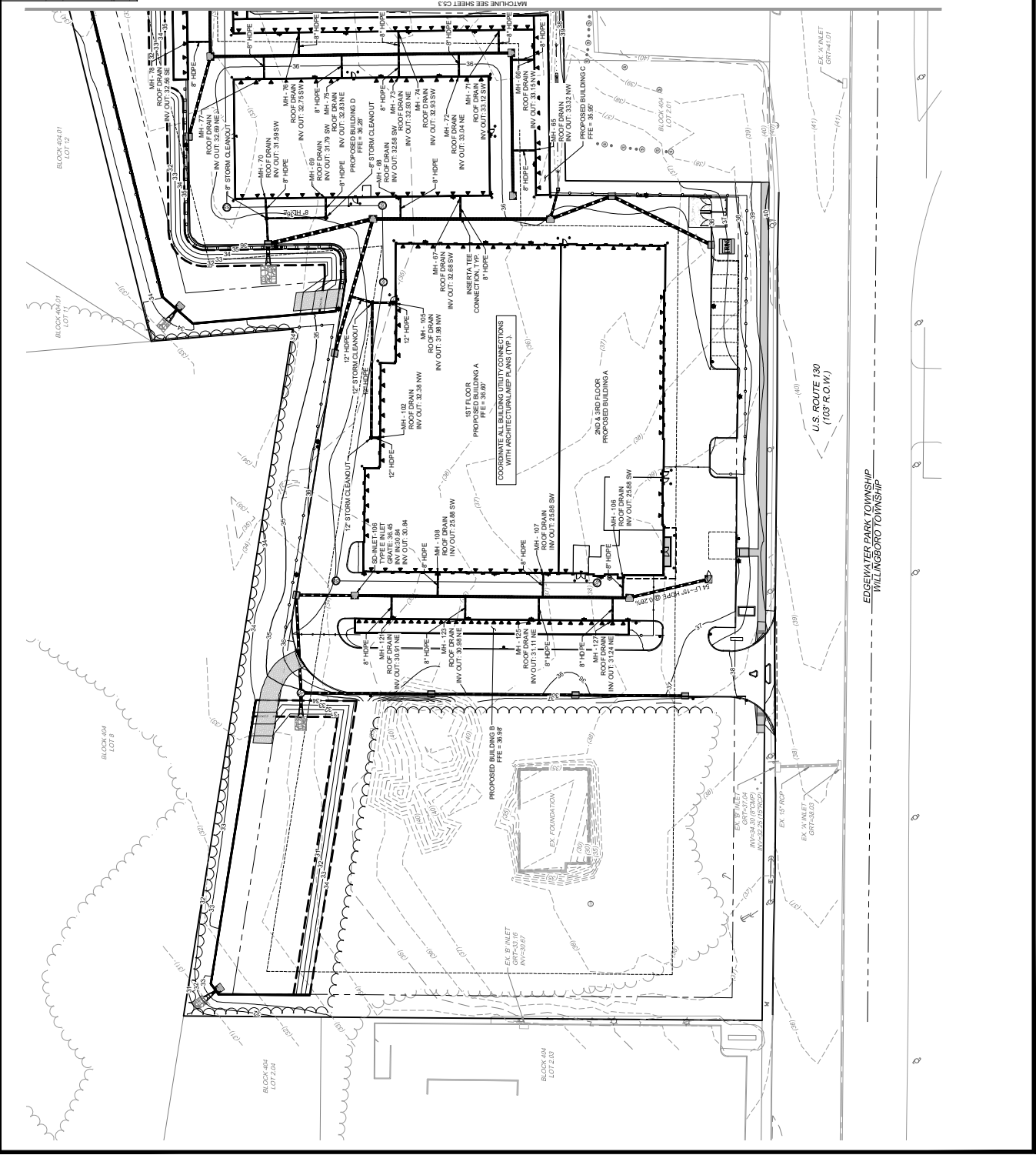
**NOTE:** TO ARCHITECTURAL PLANS FOR ALL ROOF DRAIN LOCATIONS.  
CONTRACTOR TO USE ASBESTA, THE CONNECTION OR APPROVED EQUAL TO CONNECT ROOF LEADERS TO DURALS OF DRAIN.

**BENCHMARK 1**  
IRON PIN ON US ROUTE 130 RIGHT OF WAY AND DIVISION ELEVATION = 40.04

**BENCHMARK 2**  
CONCRETE MONUMENT ON NORTH PROPERTY CORNER OF LOT 11 BLOCK 404.01 ALONG THE MT HOLLY ROAD ELEVATION = 30.81



WARE MALCOMB assumes no responsibility for utility locations. The utilities shown on this drawing have been located by the contractor. It is the responsibility of the contractor to verify the location of all utilities prior to the commencement of any construction.



WARE MALCOMB  
LEADING DESIGN FOR COMMERCIAL REAL ESTATE

110 Redden Place  
Suite 303  
Newark, NJ 07102  
waremalcomb.com

FOR AND ON BEHALF OF WARE MALCOMB  
DATE: 07/27/2023

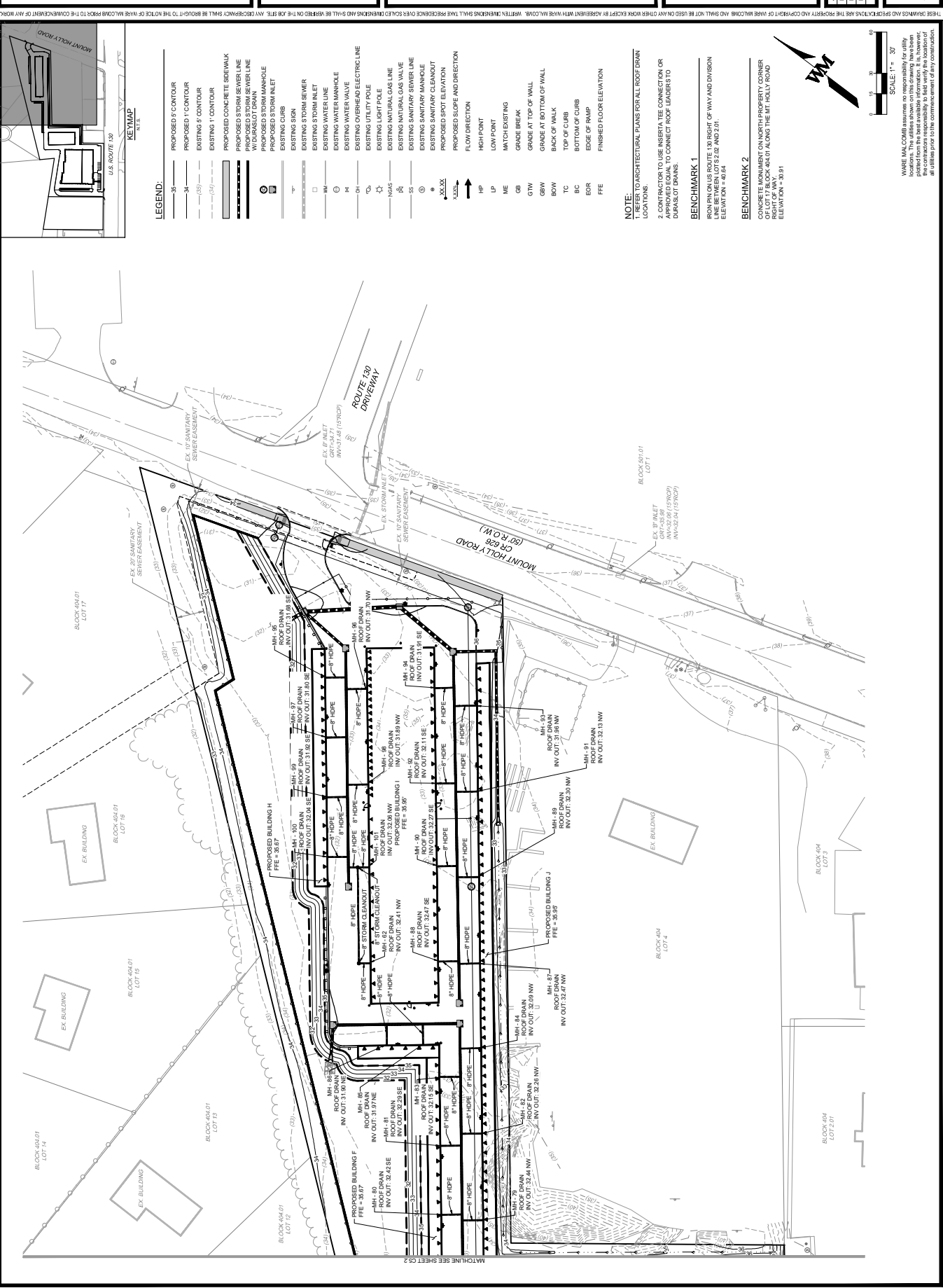
4201 ROUTE 130 BURLINGTON COUNTY, EDgewater PARK, NEW JERSEY  
FINAL SITE PLAN APPLICATION  
ROOF DRAIN PLAN

NO.	DATE	REVISIONS
1	12/07/2020	EDGEWATER PARK PARK REVIEW
2	02/23/2021	BURLINGTON COUNTY PARK REVIEW
3	02/22/2021	EDGEWATER PARK PARK SITE PLAN

JOB NO.:	NYC19-0006
PA / PM:	EV
DRAWN BY:	
DATE:	07/27/2023

SHEET  
**C5.5**  
12 of 30

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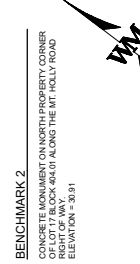
- LEGEND:**
- 35 - PROPOSED 5' CONTOUR
  - 34 - PROPOSED 1" CONTOUR
  - 135 - EXISTING 5' CONTOUR
  - 134 - EXISTING 1" CONTOUR
  - PROPOSED CONCRETE SIDEWALK
  - PROPOSED STORM SEWER LINE
  - PROPOSED STORM SEWER LINE WITH MANHOLE
  - PROPOSED STORM MANHOLE
  - PROPOSED STORM INLET
  - EXISTING CURB
  - EXISTING SIGN
  - EXISTING STORM SEWER
  - EXISTING STORM INLET
  - EXISTING WATERLINE
  - EXISTING WATER VALVE
  - EXISTING OPENING FOR ELECTRIC LINE
  - EXISTING NATURAL GAS LINE
  - EXISTING NATURAL GAS VALVE
  - EXISTING SANITARY SEWER LINE
  - EXISTING SANITARY CLEANOUT
  - PROPOSED SPOT ELEVATION
  - PROPOSED SLOPE AND DIRECTION
  - FLOW DIRECTION
  - HIP
  - LOW POINT
  - ME
  - MATCH EXISTING
  - GRADE BREAK
  - GTW
  - GRW
  - BOW
  - TC
  - TOP OF CURB
  - EDGE OF RAMP
  - EBR
  - BC
  - FINISHED FLOOR ELEVATION

**NOTE:** TO ARCHITECTURAL PLANS FOR ALL ROOF DRAIN LOCATIONS.  
CONTRACTOR TO USE ASBESTOS TEST, CONNECTION OR APPROVED EQUAL TO CONNECT ROOF LEADERS TO DUBAIS OT DRANS.

**BENCHMARK 1**  
IRON PIN ON ROUTE 130 RIGHT OF WAY AND DIVISION ELEVATION = 40.54

**BENCHMARK 2**  
CONCRETE MONUMENT ON NORTH PROPERTY CORNER OF LOT 11 BLOCK 404.01 ALONG THE MT HOLLY ROAD RIGHT OF WAY. ELEVATION = 40.21 AND 2.01.

SEE DRAWING 19-011



WARE MALCOMB assumes no responsibility for utility locations. The utilities shown on this drawing have been located by the contractor. It is the responsibility of the contractor to verify the location of all utilities prior to the commencement of any construction.

WARE MALCOMB  
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Suite 303  
Edgewater, NJ 07020  
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waremalcomb.com

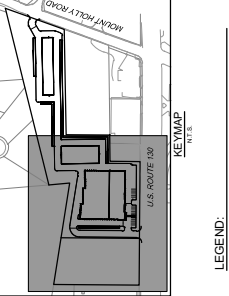
FINAL SITE PLAN APPLICATION  
EDGEWATER PARK - SELF STORAGE DEVELOPMENT  
4201 ROUTE 130 BURLINGTON COUNTY, EDGEWATER PARK, NEW JERSEY

FOR AND ON BEHALF OF WARE MALCOMB  
DATE: 07/27/2021  
DRAWN BY: JH  
REV: 07/27/2021  
JOB NO.: NYC19-0005

REMARKS  
1 12/07/2020 EDGEWATER PARK PARK REVIEW  
2 02/22/2021 BURLINGTON COUNTY PARK REVIEW  
3 02/22/2021 EDGEWATER PARK FINAL SITE PLAN

SHEET  
C6.0  
13 of 30

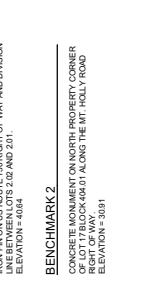
CAUTION: IF THIS SHEET IS NOT 24"x36" IT IS A REDUCED PRINT



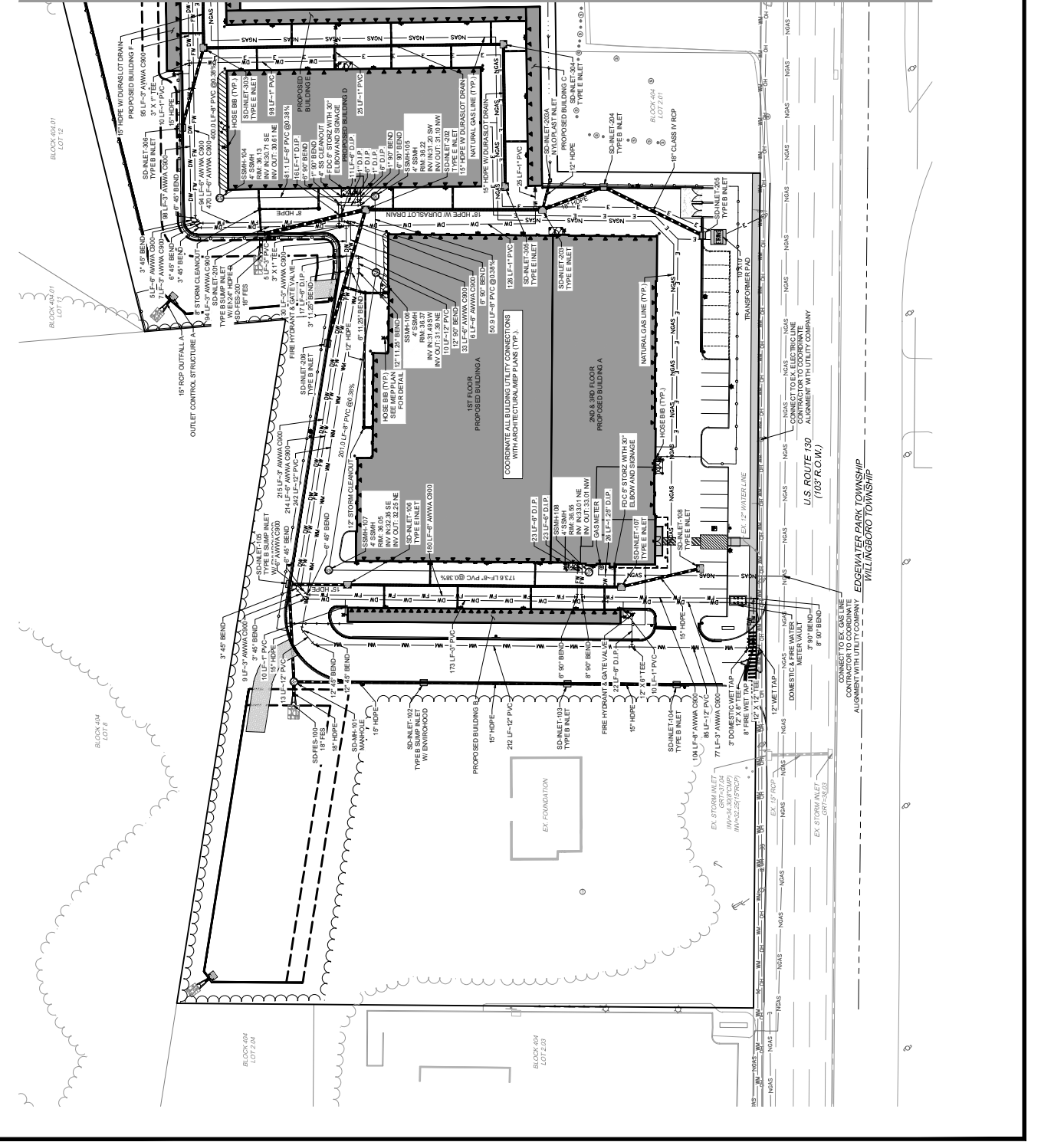
- LEGEND:**
- PROPOSED CONCRETE SIDEWALK
  - PROPOSED FIRE WATER LINE
  - PROPOSED FIRE DOMESTIC WATER LINE
  - PROPOSED SANITARY SEWER LINE
  - PROPOSED STORM SEWER LINE
  - PROPOSED STORM SEWER LINE
  - W/ DRAIN/LOT DRAIN
  - PROPOSED STORM MANHOLE
  - PROPOSED NATURAL GAS LINE
  - EXISTING SIGN
  - EXISTING STORM SEWER
  - EXISTING WATER LINE
  - EXISTING WATER MANHOLE
  - EXISTING WATER VALVE
  - EXISTING OVERHEAD ELECTRIC LINE
  - EXISTING UTILITY POLE
  - EXISTING NATURAL GAS VALVE
  - EXISTING NATURAL GAS VALVE
  - EXISTING SANITARY MANHOLE
  - EXISTING SANITARY CLEANOUT

**BENCHMARK 1**  
IRON PIN IN US ROUTE 130 RIGHT OF WAY AND DIVISION LINE BETWEEN LOTS 2,02 AND 2,01.  
ELEVATION = 68.84

**BENCHMARK 2**  
CONCRETE MONUMENT ON NORTH PROPERTY CORNER OF LOT 2,01 ALONG THE UT. HOLLY ROAD RIGHT OF WAY.  
ELEVATION = 59.91



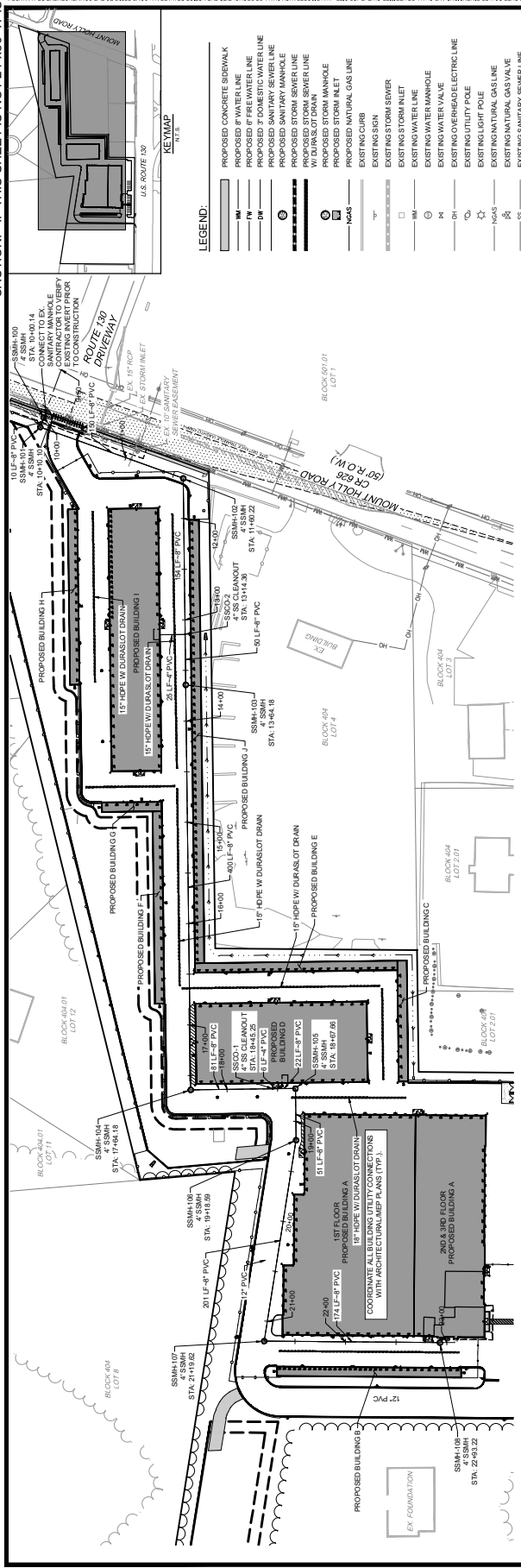
WARE MALCOMB assumes no responsibility for utility locations. The utilities shown on this drawing have been located by field investigation. It is the responsibility of the contractor to verify the location of all utilities prior to the commencement of any construction.



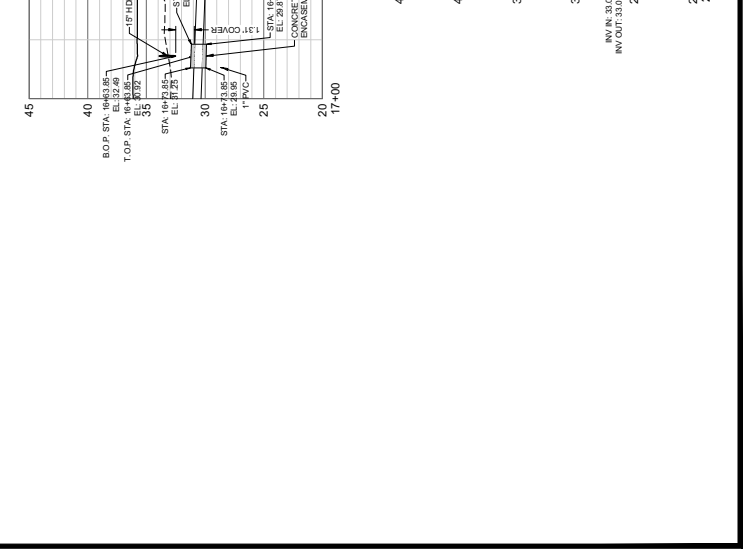
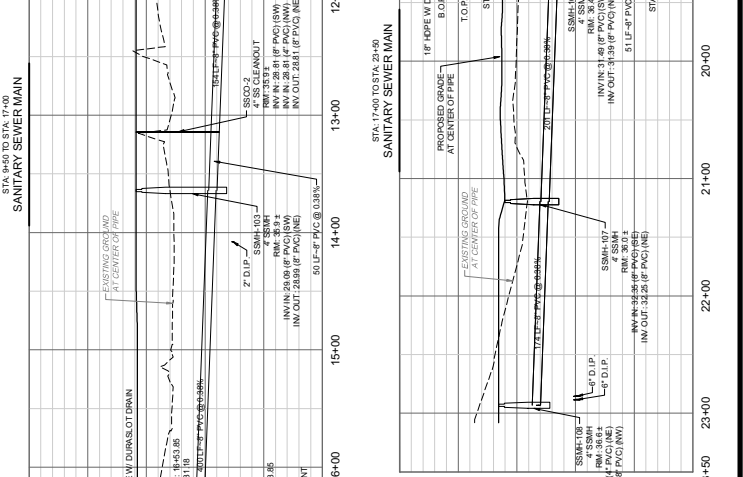
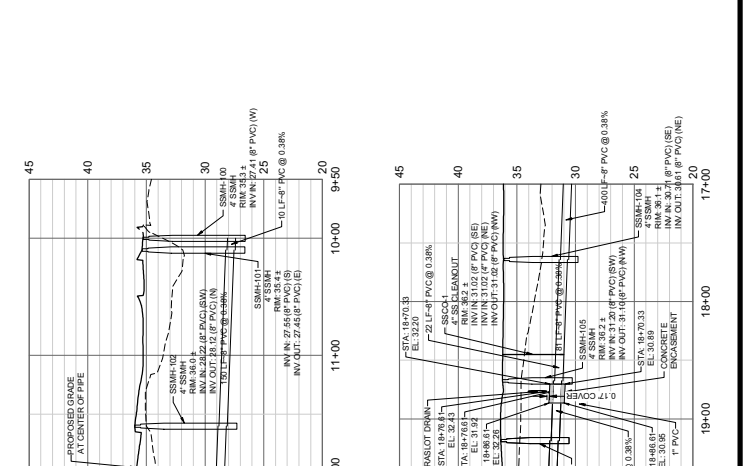


NO.	DATE	REVISIONS
1	12/07/2020	EDgewater PARK PARK REVIEW
2	02/22/2021	BURLINGTON COUNTY PARK REVIEW
3	02/22/2021	EDgewater PARK FINAL SITE PLAN

CAUTION: IF THIS SHEET IS NOT 24"x36" IT IS A REDUCED PRINT



- LEGEND:**
- PROPOSED CONCRETE SIDEWALK
  - PROPOSED FIRE WATER LINE
  - PROPOSED 2\"/>
- BENCHMARK 1**  
CONCRETE MONUMENT ON NORTH PROPERTY CORNER  
OF LOT 17 (BLOCK 49-01) ALONG THE MOUNT HOLLY ROAD  
ELEVATION = 40.84
- BENCHMARK 2**  
CONCRETE MONUMENT ON NORTH PROPERTY CORNER  
OF LOT 17 (BLOCK 49-01) ALONG THE MOUNT HOLLY ROAD  
ELEVATION = 30.91
- SCALE: HORIZ. 1" = 50'  
VERT. 1" = 5'
- WARE MALCOMB assumes no responsibility for ability  
locations. The utilities shown on this drawing are shown  
for informational purposes only. It is the responsibility of the  
contractor to verify the location of  
all utilities prior to the commencement of any construction.



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 LEADING DESIGN FOR COMMERCIAL REAL ESTATE

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 Newark, NJ 07102  
 P 732.986.9000  
 wmalcomb.com

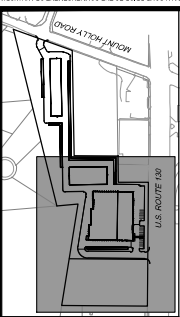
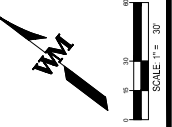
**LAND IDENTITY**  
 A DIVISION OF WARE MALCOMB  
 401 ROUTE 130 BURLINGTON COUNTY, EDgewater PARK, NEW JERSEY

PRELIMINARY SITE PLAN APPLICATION  
 LANDSCAPE PLAN  
 401 ROUTE 130 BURLINGTON COUNTY, EDgewater PARK, NEW JERSEY

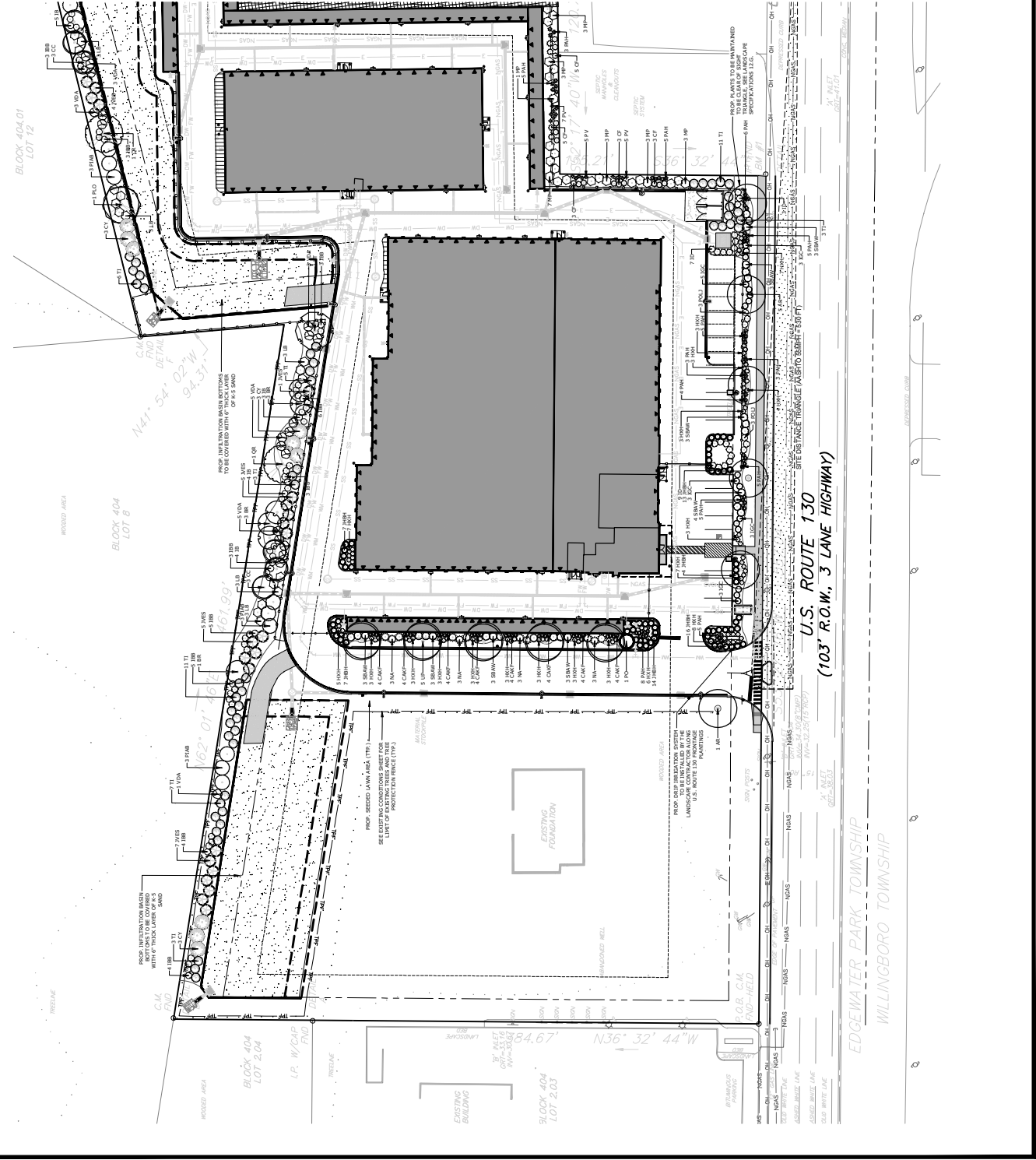
NO.	DATE	REVISIONS
1	12/07/2020	EDGEWATER PARK PARK REVIEW
2	02/22/2021	BURLINGTON COUNTY PARK REVIEW
3	02/22/2021	EDGEWATER PARK FINAL SITE PLAN

JOB NO.:	NJC190005
PA FIRM:	EW
DRAWN BY:	TH
DATE:	07.23.2020

**C8.0**  
 Sheet 16 of 30



- LEGEND:**
- PROPERTY BOUNDARY
  - PROPOSED CONCRETE EDGEWALK
  - PROPOSED CURB
  - PROPOSED SIGN
  - EXISTING CURB
  - EXISTING SIGN
  - PROPOSED DOOR
  - PROPOSED SETBACK LINE



**U.S. ROUTE 130**  
 (103' R.O.W., 3 LANE HIGHWAY)

EDGEWATER PARK TOWNSHIP  
 WILLINGBORO TOWNSHIP



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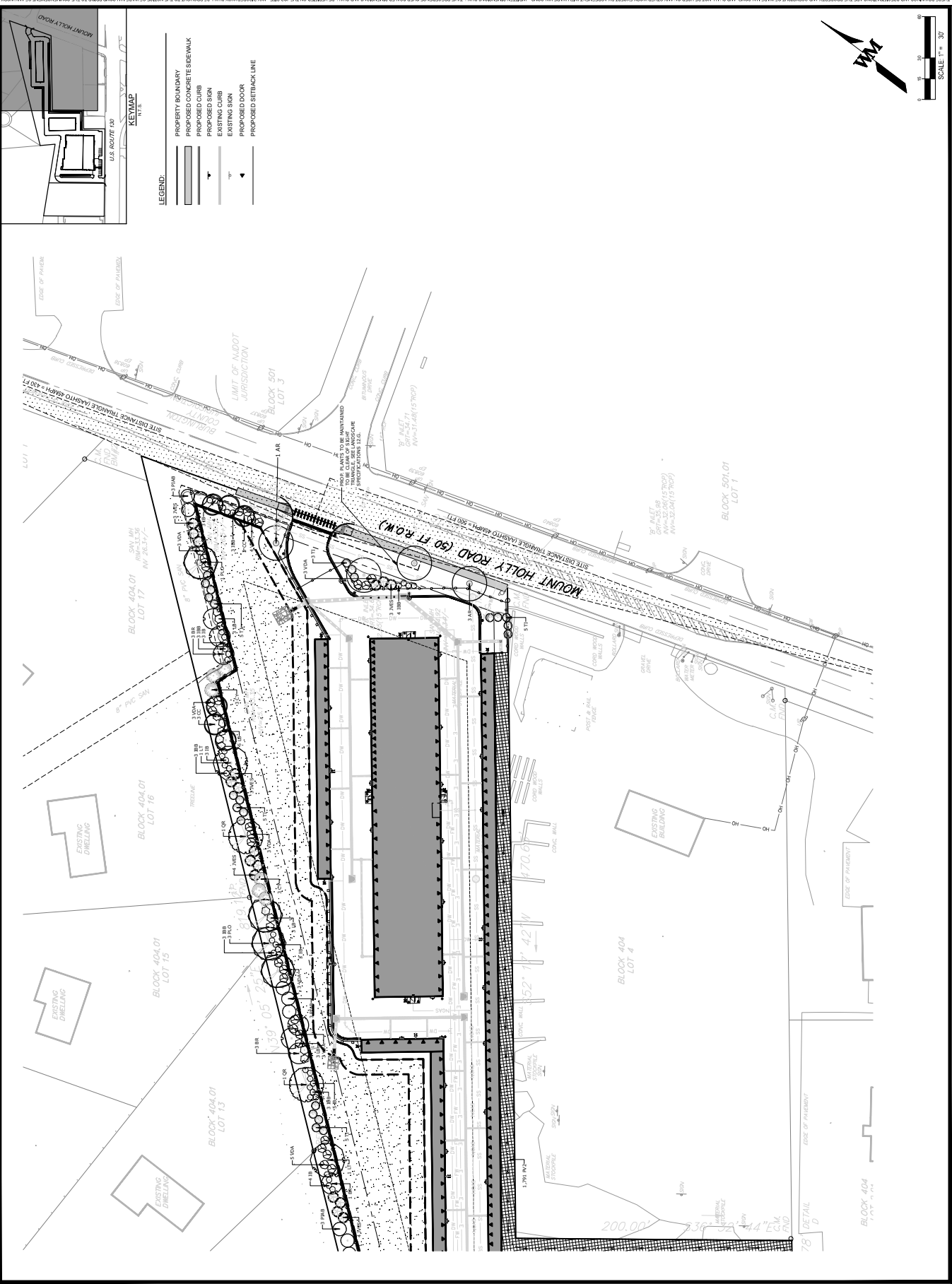


EDGEWATER PARK - SELF STORAGE DEVELOPMENT  
PRELIMINARY SITE PLAN APPLICATION  
LANDSCAPE PLAN  
4201 ROUTE 130 BURLINGTON COUNTY, EDGEWATER PARK, NEW JERSEY

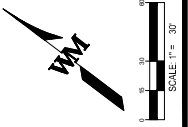
NO.	DATE	REMARKS
1	12/07/2020	EDGEWATER PARK REVIEW
2	02/23/2021	BURLINGTON COUNTY PARK REVIEW
3	02/22/2021	EDGEWATER PARK FINAL SITE PLAN

JOB NO.:	NYC19-00006
PA / PM:	EW
DRAWN BY:	TR
DATE:	07/23/2020

SHEET  
**C8.1**  
Sheet 17 of 30



- LEGEND:**
- PROPERTY BOUNDARY
  - PROPOSED CONCRETE SIDEWALK
  - PROPOSED CURB
  - PROPOSED SIGN
  - EXISTING SIGN
  - PROPOSED DOOR
  - PROPOSED SETBACK LINE





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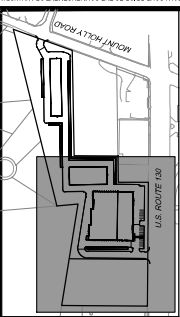
**LAND IDENTITY**  
FOR WARE MALCOMB  
401 ROUTE 130 BURLINGTON COUNTY, NEW JERSEY

PRELIMINARY SITE PLAN APPLICATION  
LIGHTING PLAN  
EDGEWATER PARK - SELF STORAGE DEVELOPMENT

NO.	DATE	REVISIONS
1	12/07/2020	EDGEWATER PARK FINAL REVIEW
2	02/22/2021	BURLINGTON COUNTY PARKING
3	02/22/2021	EDGEWATER PARK FINAL SITE PLAN

JOB NO.	NYC19-00005
PA FIRM	EW
DRAWN BY	171
DATE	23.07.2020

SHEET  
**C9.0**  
Sheet 19 of 30

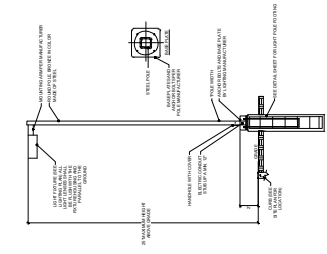


- LEGEND:**
- PROPERTY BOUNDARY
  - PROPOSED CONCRETE EDGEWALK
  - PROPOSED CURB
  - EXISTING CURB
  - PROPOSED DOOR
  - PROPOSED SETBACK LINE



**LIGHTING COMPLIANCE CHART**

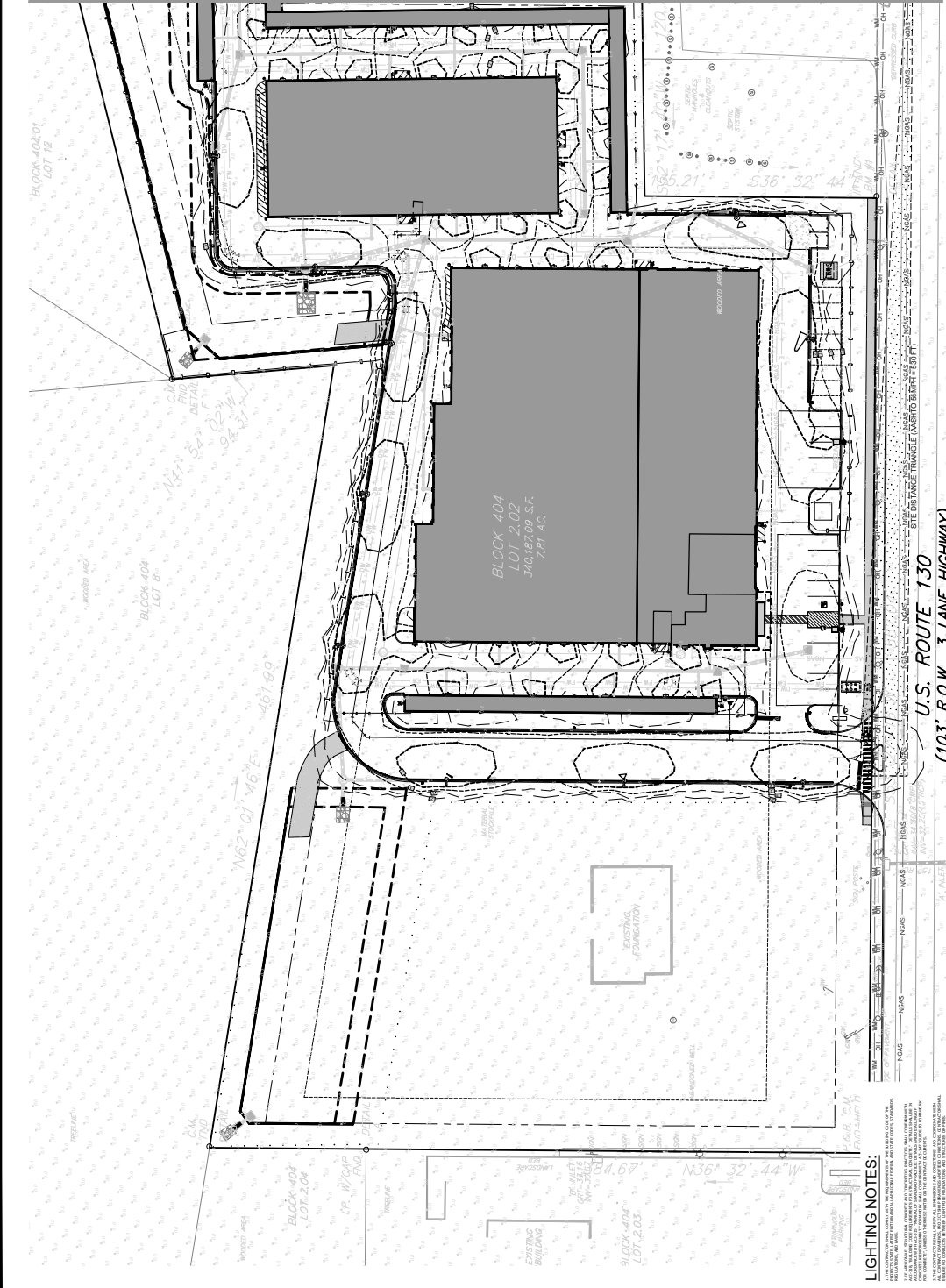
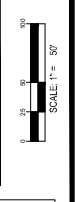
SECTION	REQUIRED	PROPOSED	COMPLIANCE
THE HEIGHT OF LIGHT FIXTURES	AREA LIGHTS 20' MAXIMUM HEIGHT IN THE PARTICULAR AREAS DISTRICT (MAY VARY BY DISTRICT)	AREA LIGHTS 20' MAXIMUM HEIGHT	COMPLIES
AVG. MOUNTING HEIGHT	AVG. MOUNTING HEIGHT SHALL FOLLOW: INTERSECTIONS 22 FT C	AVG. MOUNTING HEIGHT 22 FT	COMPLIES
AVG. MOUNTING HEIGHT	AVG. MOUNTING HEIGHT SHALL FOLLOW: INTERSECTIONS 22 FT C	AVG. MOUNTING HEIGHT 22 FT	COMPLIES



AREA LIGHT DETAIL  
SCALE 1" = 8'

**ONE CALL**

FOR INFORMATION ON THE LOCATION OF UTILITIES, CONTACT THE ONE CALL CENTER AT 800.487.4622. VISIT THE WEBSITE AT WWW.ONECALL.NJ.COM. FOR A LIST OF PARTICIPATING UTILITIES, VISIT THE WEBSITE AT WWW.ONECALL.NJ.COM. FOR A LIST OF PARTICIPATING UTILITIES, VISIT THE WEBSITE AT WWW.ONECALL.NJ.COM.



SEE SHEET #17 FOR ISO-RING DETAILS AND LIGHTING MANUFACTURER CUT SHEETS

AREA LIGHTS TO BE CONTROLLED VIA A PHOTOCELL TIMER TO TURN ON AT DUSK AND OFF AT DAWN

WALLPACK LIGHTS MOUNTED AT 9'-6" ON BUILDING A, D, AND I. ALL OTHER WALLPACKS TO BE MOUNTED AT 12'

**LUMINAIRE SCHEDULE**

SYMBOL	LOT	MANUFACTURER	MODEL NO.	TEMPERATURE	LUMENS	WATTS	ARRANGEMENT	THROW	L.F.P.	HEIGHT	FILE NAME
1	15	PHILIPS	1200	5000K	1200	124	WALL MOUNTED	11.0	1.0	25'	16020213 Ring01.jpg
2	15	PHILIPS	1200	5000K	1200	124	WALL MOUNTED	11.0	1.0	25'	16020213 Ring02.jpg
3	15	PHILIPS	1200	5000K	1200	124	WALL MOUNTED	11.0	1.0	25'	16020213 Ring03.jpg

**CALCULATION SUMMARY**

AREA	REQUIRED	AVG	MIN	MAX	MINIMUM	AVERAGE	COMPLIANCE
AREA	105.4	105.4	105.4	105.4	105.4	105.4	COMPLIES
INTERSECTIONS	105.4	105.4	105.4	105.4	105.4	105.4	COMPLIES

**LIGHTING NOTES:**

- ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- ALL LIGHTING FIXTURES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
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**EXISTING BUILDING FOUNDATION**

**EXISTING BUILDING FOUNDATION**

SYMBOL	LOT	MANUFACTURER	MODEL NO.	TEMPERATURE	LUMENS	WATTS	ARRANGEMENT	THROW	L.F.P.	HEIGHT	FILE NAME
1	15	PHILIPS	1200	5000K	1200	124	WALL MOUNTED	11.0	1.0	25'	16020213 Ring01.jpg
2	15	PHILIPS	1200	5000K	1200	124	WALL MOUNTED	11.0	1.0	25'	16020213 Ring02.jpg
3	15	PHILIPS	1200	5000K	1200	124	WALL MOUNTED	11.0	1.0	25'	16020213 Ring03.jpg

**EXISTING BUILDING FOUNDATION**

SYMBOL	LOT	MANUFACTURER	MODEL NO.	TEMPERATURE	LUMENS	WATTS	ARRANGEMENT	THROW	L.F.P.	HEIGHT	FILE NAME
1	15	PHILIPS	1200	5000K	1200	124	WALL MOUNTED	11.0	1.0	25'	16020213 Ring01.jpg
2	15	PHILIPS	1200	5000K	1200	124	WALL MOUNTED	11.0	1.0	25'	16020213 Ring02.jpg
3	15	PHILIPS	1200	5000K	1200	124	WALL MOUNTED	11.0	1.0	25'	16020213 Ring03.jpg



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110 Edison Place  
Edison, NJ 07020  
Tel: 732.986.9000  
www.waremalcomb.com

**LAND IDENTITY**  
A COMMITMENT TO THE COMMUNITY  
OF WISDOM, MAINTENANCE  
AND PROTECTION OF THE LAND

4201 ROUTE 130 BURLINGTON COUNTY, EDgewater PARK, NEW JERSEY

**PRELIMINARY SITE PLAN APPLICATION**  
**LIGHTING PLAN**  
**EDGEWATER PARK - SELF STORAGE DEVELOPMENT**

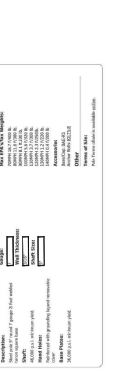
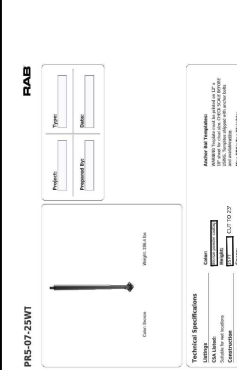
**EDGEWATER PARK - SELF STORAGE DEVELOPMENT**

NO. DATE  
1 12/07/2020  
2 02/22/2021  
3 02/22/2021

REVISIONS  
1. EDGEWATER PARK PARK REVIEW  
2. BURLINGTON COUNTY PARK REVIEW  
3. EDGEWATER PARK FINAL SITE PLAN

JOB NO. NYC19-00000  
JOB NAME EW  
DRAWN BY: JH  
DATE: 07/10/20  
20/07/2020

SHEET  
C9.2  
Sheet 21 of 30



**WPLED10**

Technical Specifications

Manufacturer: **WLED**

Model: **WPLED10**

Dimensions: 10" x 10" x 10"

Power: 10W

Beam Angle: 120°

Color Temperature: 4000K

Notes: This fixture is designed for use in self-storage applications. It features a wide beam angle and a long life span.

**WPLED10**

Technical Specifications

Manufacturer: **WLED**

Model: **WPLED10**

Dimensions: 10" x 10" x 10"

Power: 10W

Beam Angle: 120°

Color Temperature: 4000K

Notes: This fixture is designed for use in self-storage applications. It features a wide beam angle and a long life span.

**WPLED10**

Technical Specifications

Manufacturer: **WLED**

Model: **WPLED10**

Dimensions: 10" x 10" x 10"

Power: 10W

Beam Angle: 120°

Color Temperature: 4000K

Notes: This fixture is designed for use in self-storage applications. It features a wide beam angle and a long life span.

**WPLED10**

Technical Specifications

Manufacturer: **WLED**

Model: **WPLED10**

Dimensions: 10" x 10" x 10"

Power: 10W

Beam Angle: 120°

Color Temperature: 4000K

Notes: This fixture is designed for use in self-storage applications. It features a wide beam angle and a long life span.

**WPLED10**

Technical Specifications

Manufacturer: **WLED**

Model: **WPLED10**

Dimensions: 10" x 10" x 10"

Power: 10W

Beam Angle: 120°

Color Temperature: 4000K

Notes: This fixture is designed for use in self-storage applications. It features a wide beam angle and a long life span.

**WPLED10**

Technical Specifications

Manufacturer: **WLED**

Model: **WPLED10**

Dimensions: 10" x 10" x 10"

Power: 10W

Beam Angle: 120°

Color Temperature: 4000K

Notes: This fixture is designed for use in self-storage applications. It features a wide beam angle and a long life span.

**WPLED10**

Technical Specifications

Manufacturer: **WLED**

Model: **WPLED10**

Dimensions: 10" x 10" x 10"

Power: 10W

Beam Angle: 120°

Color Temperature: 4000K

Notes: This fixture is designed for use in self-storage applications. It features a wide beam angle and a long life span.

**WPLED10**

Technical Specifications

Manufacturer: **WLED**

Model: **WPLED10**

Dimensions: 10" x 10" x 10"

Power: 10W

Beam Angle: 120°

Color Temperature: 4000K

Notes: This fixture is designed for use in self-storage applications. It features a wide beam angle and a long life span.

**WPLED10**

Technical Specifications

Manufacturer: **WLED**

Model: **WPLED10**

Dimensions: 10" x 10" x 10"

Power: 10W

Beam Angle: 120°

Color Temperature: 4000K

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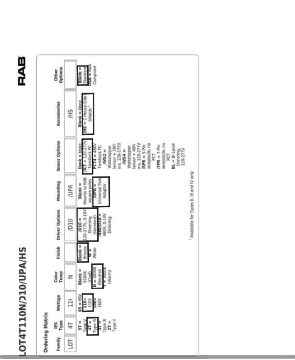
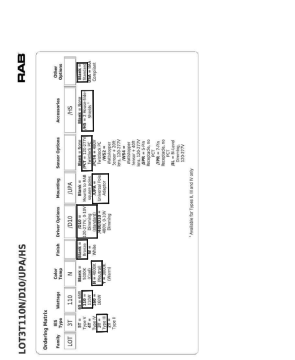
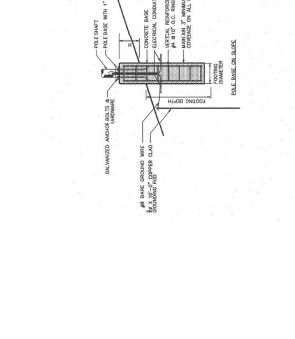
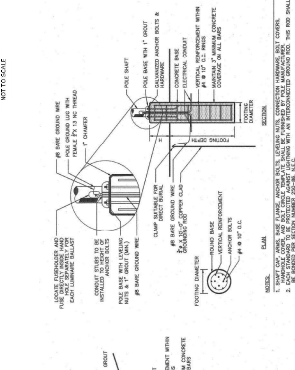
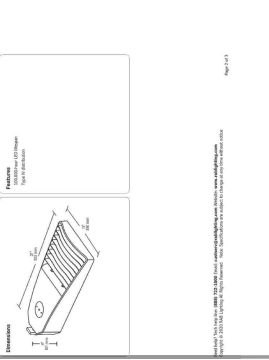
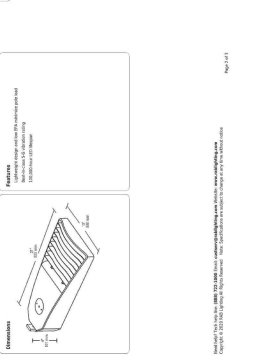
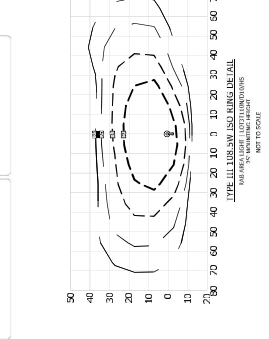
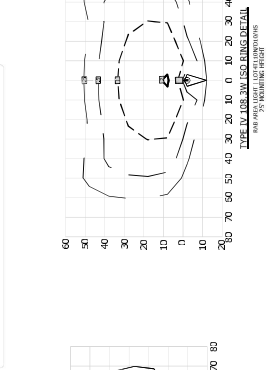
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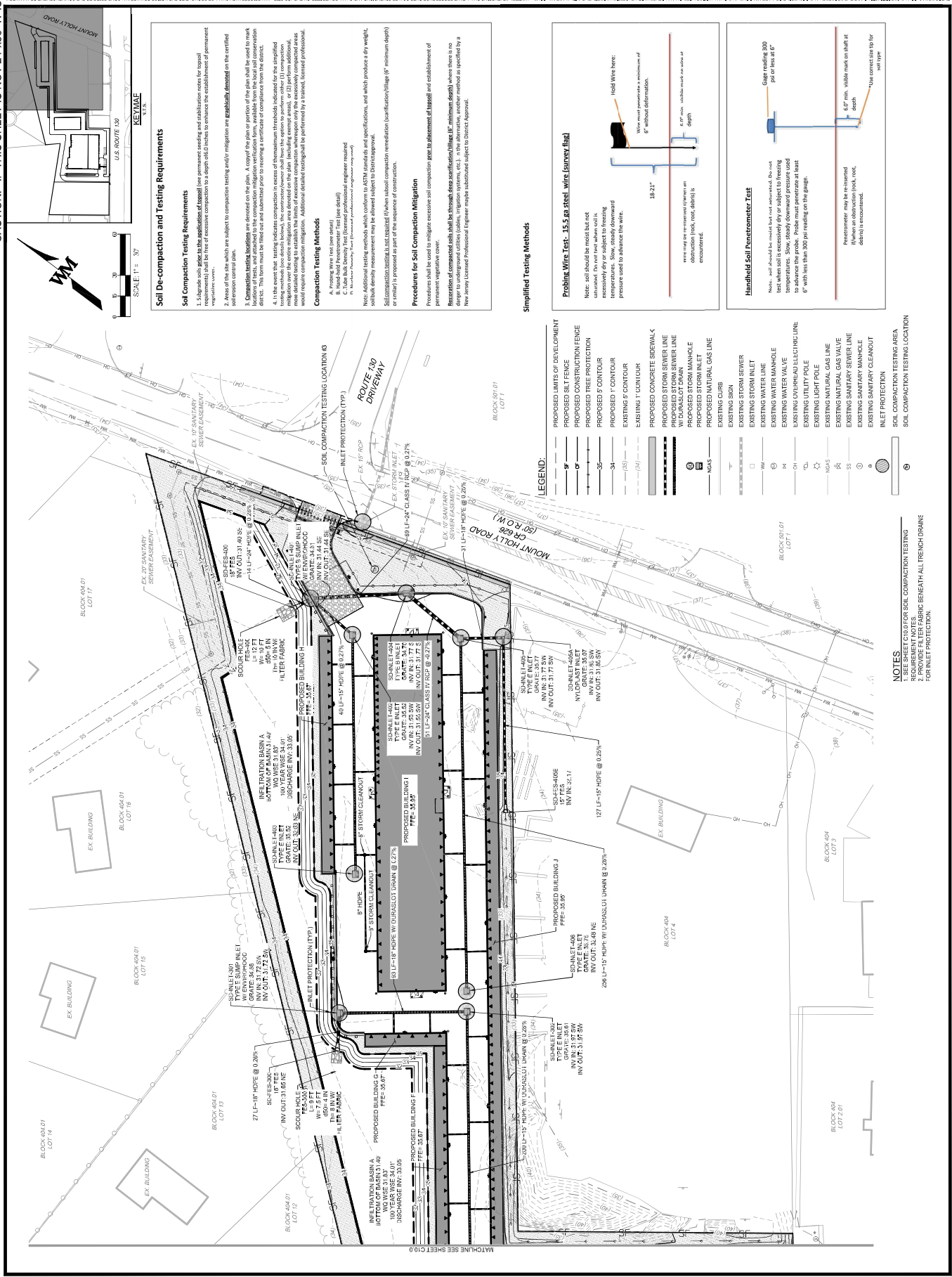
NO.	DATE	REVISION
1	02/22/2021	EGDWATER PARK PARK REVIEW
2	02/22/2021	EGDWATER PARK PARK REVIEW
3	02/22/2021	EGDWATER PARK PARK REVIEW

**EGDWATER PARK - SELF STORAGE DEVELOPMENT**  
**FINAL SITE PLAN APPLICATION**  
**EROSION CONTROL PLAN**  
 4201 ROUTE 130 BURLINGTON COUNTY, EDGEMONT PARK, NEW JERSEY

FOR AND ON BEHALF OF WARE MALCOMB  
  
 110 Edison Place  
 Newark, NJ 07102  
 P 232 986 9000  
 waremalcomb.com

**WARE MALCOMB**  
 LEADING DESIGN FOR COMMERCIAL REAL ESTATE

CAUTION: IF THIS SHEET IS NOT 24"x36" IT IS A REDUCED PRINT



**Soil De-compaction and Testing Requirements**

**Soil Compaction Testing Requirements**

1. Separate soils shall be tested to determine the required compaction level. The test results shall be used to determine the required compaction level for each soil type.
2. Areas of the site which are subject to compaction testing and/or mitigation are **explicitly denoted** on the certified soil erosion control plan.
3. **Compaction testing locations** are denoted on the plan. A copy of the plan or portion of the plan shall be used to mark locations of tests, and attached to the compaction mitigation verification forms, available from the soil conservation department.
4. The test shall be performed by a qualified professional engineer or a qualified contractor who shall be certified in the use of the testing method (see details below). The contractor shall have the option to perform either (1) compaction testing over the entire mitigation area shown on the plan, including average areas, or (2) perform additional testing in areas where the contractor determines that additional testing is warranted. Additional detailed testing shall be performed by a trained, licensed professional.

**Compaction Testing Methods**

- A. Proctor Tests (see details)
- B. Handheld Penetration Test (see details)
- C. T-bar Bulk Density Test (see details)

Note: Additional test methods, which adhere to ASTM specifications, are which produce a dry weight, soil bulk density measurement may be allowed subject to District approval.

**Procedures for Soil Compaction Mitigation**

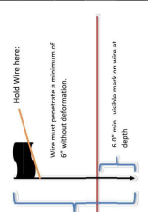
Procedures shall be used to mitigate excessive soil compaction prior to placement of topsoil and establishment of permanent vegetative cover.

Restoration of compacted soils shall be through deep scarification (tillage 6" minimum depth) where there is no danger to underground utilities (cables, irrigation systems, etc.). In the alternative, another method as specified by New Jersey Licensed Professional Engineer maps submitted subject to District approval.

**Simplified Testing Methods**

**Probing Wire Test - 15.5 ga steel wire (current file)**

Note: soil should be moist but not saturated. Do not test where soil is excessively dry or subject to freezing conditions. The test should be performed in areas where the probe is used to advance the wire.



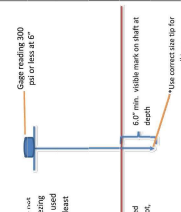
18.21"

Note: wire must penetrate a minimum of 6" without deformation.

4" or less - indicates need for mitigation

**Handheld Soil Penetrometer Test**

Note: test should be performed in areas where the probe is used to advance the wire.



6" or less - indicates need for mitigation

Penetrometer may be re-invented if when an obstruction (rock, root, debris) is encountered.

**LEGEND:**

- PROPOSED LIMIT OF DEVELOPMENT
- PROPOSED CONSTRUCTION FENCE
- PROPOSED TREE PROTECTION
- PROPOSED 1' CONTOUR
- PROPOSED 5' CONTOUR
- EXISTING 1' CONTOUR
- EXISTING 5' CONTOUR
- PROPOSED CONCRETE SIDEWALK
- PROPOSED STORM SEWER LINE
- WIDESPREAD DRAIN MANHOLE
- PROPOSED STORM INLET
- PROPOSED NATURAL GAS LINE
- EXISTING CURB
- EXISTING SIGN
- EXISTING STORM SEWER
- EXISTING STORM INLET
- EXISTING WATER LINE
- EXISTING WATER MANHOLE
- EXISTING OVERHEAD ELECTRIC LINE
- EXISTING UTILITY POLE
- EXISTING NATURAL GAS LINE
- EXISTING NATURAL GAS VALVE
- EXISTING SANITARY SEWER LINE
- EXISTING SANITARY MANHOLE
- EXISTING SANITARY CLEANOUT
- INLET PROTECTION

**NOTES:**

1. SOIL COMPACTED TESTING AREA
2. PROVIDE FILTER FABRIC BENEATH ALL TRENCH DRAINS FOR INLET PROTECTION.

**SOIL COMPACTED TESTING LOCATION**

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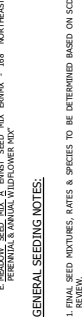
**SOIL COMPACTED TESTING LOCATION**

**PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION:**

PERMANENT VEGETATIVE COVER SHALL BE INSTALLED WITHIN 14 DAYS OF THE COMPLETION OF THE VEGETATIVE COVER. THE FOLLOWING SEEDING SCHEDULE SHOULD BE USED FOR PERMANENT SEEDING (UNLESS OTHERWISE NOTED):

- LIME 90 LBS/1,000 SF GROUND LIMESTONE
- FERTILIZER - 14 LBS/1,000 SF 10-10-10 OR EQUIVALENT, WITH 9% WATER SOLUBLE NITROGEN WORKED INTO SOIL TO A DEPTH OF 4 INCHES.
- PLANT - PERENNIAL RYEGRASS - 100 LBS/ACRE. PLANT BETWEEN MARCH AND MAY 15 OR BETWEEN AUGUST 15 AND OCTOBER 1.
- MULCH - SALT HAY OR SMALL GRASS STRAW AT A RATE OF 70 TO 90 LBS/1,000 SF. TO BE APPLIED ACCORDING TO NEW JERSEY STANDARDS. AREAS DESIGNATED AS LAWN, OR DISTURBED AREAS NOT BEING USED FOR PERMANENT VEGETATIVE COVER SHALL BE STABILIZED BY SEEDING WITH THE FOLLOWING SEED MIXTURE AT A RATE OF 200 LBS/ACRE:
  - 10% SEEDING MIXTURE: BROWN HAY
  - 10% SEEDING MIXTURE: BROWN HAY
  - 20% BROWN HAY
  - 20% BROWN HAY
  - 20% BROWN HAY
  - 20% BROWN HAY
  - 20% BROWN HAY

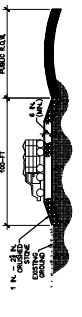
**STOCKPILE AREA**



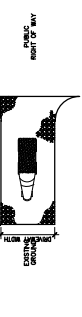
**GENERAL SEEDING NOTES:**

- FINAL SEED MIXTURES, RATES & SPECIES TO BE DETERMINED BASED ON SCD
- SEEDING SHALL TAKE PLACE IN THE SPRING (APRIL 1 TO JUNE 1) OR FALL (SEPTEMBER 1 TO OCTOBER 1).
- ELIMINATE UNWANTED VEGETATION PRIOR TO SEEDING USING A NON-SELECTIVE HERBICIDE FOR MANUFACTURER'S SPECIFICATIONS.
- CONTINUOUS MIXTURE FOR 45 WEEKS MUST BE USED TO ALLOW ROSSER GENERATION. SOIL WILL REMAIN CONTINUOUSLY MOIST FOR THE TOP 4 INCHES OF TORSOIL TO 100% SATURATION.
- GRASS STRAW AT A RATE OF 70 - 90 LBS/1,000 SF TO BE APPLIED ACCORDING TO NEW JERSEY STANDARDS. MULCH SHALL BE SECURED BY APPROVED METHODS (i.e. LIQUID MULCH BINDER, GEOTEXTILE OR RAYON).

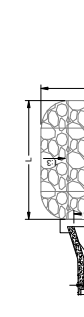
**SILT FENCE**



**CONSTRUCTION ENTRANCE**



**INLET PROTECTION - SILT BANG**



**SCOUR HOLE**



**NON-GROWING STABILIZATION MEASURES SHALL BE USED WHERE THE STABILIZATION AND OTHER CONDITIONS MAY NOT BE SUITABLE FOR GROWING AN EROSION RESISTANT COVER OR WHERE THE STABILIZATION IS REQUIRED FOR A SHORT PERIOD UNTIL MORE SUITABLE PROTECTION CAN BE APPLIED.**

**DUST CONTROL NOTES:**

- THE FOLLOWING NOTES SHOULD BE CONSIDERED FOR CONTROLLING DUST:
- | WATER DILUTION                | TYPE OF NOZZLE | APPLY GALLONS/ACRE |
|-------------------------------|----------------|--------------------|
| ANIONIC ASPHALT EMULSION      | 7.1            | 1200               |
| LATEX EMULSION                | 12.5.1         | 300                |
| RESIN IN WATER                | 4.1            | 200                |
| ACULATED SALT BEAN SOAP STICK | NONE           | 1200               |
- APPLY ACCORDING TO MANUFACTURER'S INSTRUCTIONS. MAY ALSO BE USED AS AN ADDITIVE TO SEDIMENT BASINS TO FLOW THROUGH (PAM) - ON SPRAY SEDIMENT BASIN STANDARD P. 261

**HUDSON-ESSEX-PASSAIC COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES:**

- ALL APPLICABLE EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE IN PLACE PRIOR TO ANY GRADING OPERATION AND/OR INSTALLATION OF PROPOSED UTILITIES OR UTILITIES.
- SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THE PLAN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PRACTICES FOR THE PLAN. A PROPOSED EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE LEFT IN PLACE UNTIL CONSTRUCTION IS COMPLETED AND/OR THE AREA IS STABILIZED.
- ANY DISTURBED AREA THAT WILL BE LEFT EXPOSED FOR MORE THAN 90 DAYS AND NOT SUBJECT TO CONSTRUCTION TRAFFIC SHALL BE LEFT EXPOSED TO RECEIVE A TEMPORARY SEEDING AND FERTILIZATION IN ACCORDANCE WITH THE EROSION AND SEDIMENT CONTROL PRACTICES FOR THE PLAN. AREAS WILL BE MULCHED WITH LIME, HAY OR EQUIVALENT AND ANCHORED AND MAINTAINED WITH THE STANDARDS.
- ALL DISTURBED AREAS SUBJECT TO EROSION SHALL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH IN ACCORDANCE WITH THE STANDARDS IMMEDIATELY FOLLOWING ROUGH GRADING.
- THE SITE SHALL AT ALL TIMES BE GRADED AND MAINTAINED SUCH THAT ALL STORMWATER RUNOFF IS DIVERTED TO SOIL EROSION AND SEDIMENT CONTROL FACILITIES.
- ALL SOIL EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED AND MAINTAINED ON A REGULAR BASIS AND AFTER EVERY STORM EVENT.
- SOIL STOCKPILES ARE NOT TO BE LOCATED WITHIN FIFTY (50) FEET OF A ROADWAY, SLOPE, ROADWAY OR DRAINAGE STRUCTURE. STOCKPILES SHALL BE STABILIZED BY A MULCH BARRIER OR SEDIMENT FENCE. PROPOSED STOCKPILES SHALL BE STABILIZED BY A MULCH BARRIER OR SEDIMENT FENCE.
- CHANGES TO THE CLEANING PAD WILL BE INSTALLED PRIOR TO THE CONSTRUCTION ACCESS EXITS. THE RIP RAP PAD MUST BE 60" FEET WIDE AND THE STONE MUST BE 1.5" - 4" IN SIZE, PLACED 1" THICK AND THE FULL WIDTH OF THE STONE SHOULD BE UNDERWRITH WITH A SUITABLE SYNTHETIC FILTER FABRIC AND MAINTAINED. THE PROPOSED CLEANING PAD SHALL BE STABILIZED BY A MULCH BARRIER OR SEDIMENT FENCE.
- TRANSITION AREAS SHALL BE STABILIZED AS AN EXISTING MAJOR HIGHWAY, A THIRTY (30) FOOT PAVED ROADWAY OR A ROADWAY SHALL BE STABILIZED WITH 1 1/2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
- ALL ROADWAYS MUST BE STABILIZED WITH 1 1/2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES.
- ALL CATCH BASIN INLETS WILL BE PROTECTED DURING CONSTRUCTION (FILTER DETALS AS PER PLAN).
- ALL STORM DRAINAGE OUTLETS WILL BE STABILIZED BEFORE THE DISCHARGE POINTS BECOME OPERATIONAL.
- ALL DEWATERING OPERATIONS MUST BE DISCHARGED DIRECTLY INTO A SEDIMENT FILTRATION DEVICE. THE SEDIMENT FILTRATION DEVICE SHALL BE DESIGNED TO ACCUMULATE AND REMOVE ALL THE SEDIMENT FROM THE CONSTRUCTION SITE PRIOR TO COMMENCEMENT OF DEWATERING ACTIVITIES.
- TRANSITION AREAS SHALL BE STABILIZED AS AN EXISTING MAJOR HIGHWAY, A THIRTY (30) FOOT PAVED ROADWAY OR A ROADWAY SHALL BE STABILIZED WITH 1 1/2" CRUSHED STONE OR SUBBASE PRIOR TO INDIVIDUAL LOT CONSTRUCTION.
- THE BURLINGTON COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 72 HOURS PRIOR TO ANY LAND DISTURBANCE.
- SOIL HAVING A PH OF 4.0 OR LESS OR CONTAINING IRON SULFIDE MUST BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5.0 OR MORE BEFORE SEEDING OPERATION.
- IT SHALL BE THE RESPONSIBILITY OF THE DEVELOPER TO PROMOTE CONFIRMATION OF LIME FERTILIZER AND SEED APPLICATION TO THE DISTRICT OF THE BURLINGTON COUNTY SOIL CONSERVATION DISTRICT.
- THE DISTRICT SHALL BE NOTIFIED PRIOR TO THE CONSTRUCTION OF ANY EROSION AND SEDIMENT CONTROL MEASURES AS A PART OF THE PROJECT. THE DISTRICT SHALL BE NOTIFIED PRIOR TO THE CONSTRUCTION OF ANY EROSION AND SEDIMENT CONTROL MEASURES AS A PART OF THE PROJECT. THE DISTRICT SHALL BE NOTIFIED PRIOR TO THE CONSTRUCTION OF ANY EROSION AND SEDIMENT CONTROL MEASURES AS A PART OF THE PROJECT. THE DISTRICT SHALL BE NOTIFIED PRIOR TO THE CONSTRUCTION OF ANY EROSION AND SEDIMENT CONTROL MEASURES AS A PART OF THE PROJECT.

**TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION**

TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION SHALL BE MAINTAINED IN A ROUGH GRADED CONDITION AND TEMPORARILY SEEDED AND HAY MULCHED DISTURBED AREAS SHALL BE MAINTAINED IN A ROUGH GRADED CONDITION AND TEMPORARILY SEEDED AND HAY MULCHED

**SEQUENCE OF CONSTRUCTION:**

- NOTIFY IN WRITING THE BURLINGTON COUNTY SOIL CONSERVATION DISTRICT PRIOR TO ANY PROJECT PRE-CONSTRUCTION MEETING OR SITE DISTURBANCE.
- INSTALL CRUSHED STONE, VEHICLE WHEEL-CLEANING EQUIPMENT AND STABILIZATION MEASURES IMMEDIATELY AFTER INITIAL DISTURBANCE AS PER STANDARDS FOR ALL DISTURBED AREAS. STABILIZATION MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND AFTER PROJECT COMPLETION.
- COMPLETE CONSTRUCTION OF ROUGH GRADING, STORM DRAINAGE, UTILITIES AND FOUNDATION.
- AFTER STORM DRAINAGE SYSTEM AND CATCH BASINS ARE CONSTRUCTED, PLACE FILTER FABRIC PROTECTION MEASURES TO PREVENT EROSION UNTIL THE SITE IS PAVED, REPLACE AS NECESSARY.
- BUILDING CONSTRUCTION.
- LANDSCAPE INSTALLATION, CURB ASPHALT PAVING AND SIDEWALK INSTALLATION.
- ALL SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL PERMANENT IMPROVEMENTS TO THE SITE ARE COMPLETE AND THE ROADS ARE PAVED.
- LANDSCAPE ALL APPROPRIATE AREAS AS INDICATED ON THE PLAN. PERMANENT VEGETATIVE COVER SHALL BE INSTALLED IMMEDIATELY AFTER PERMANENT STABILIZATION MEASURES.
- COMPLETE CONSTRUCTION OF ROUGH GRADING AND STORM DRAINAGE. STABILIZATION MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND AFTER PROJECT COMPLETION.
- NOTIFY THE BURLINGTON COUNTY SOIL CONSERVATION DISTRICT PRIOR TO ANY LAND DISTURBANCE.

**DURATION:**

- | Description | Pipe Width (ft) | Pipe Depth (ft) | Pipe Discharge (cfs) | Transfer (ft) | (ft) | Duration |
|-------------|-----------------|-----------------|----------------------|---------------|------|----------|
| SD FEES 042 | 2.00            | 2.00            | 0.40                 | 0.30          | 0.30 | 1 WEEK   |
| SD FEES 045 | 2.00            | 2.00            | 0.40                 | 0.30          | 0.30 | 1 WEEK   |
| SD FEES 300 | 1.50            | 1.50            | 0.20                 | 0.20          | 0.20 | 2 MONTHS |
| SD FEES 305 | 2.00            | 2.00            | 0.40                 | 0.30          | 0.30 | 2 MONTHS |
| SD FEES 460 | 1.25            | 1.25            | 0.20                 | 0.20          | 0.20 | 2 MONTHS |
| SD-OUT A    | 3.00            | 1.00            | 6.20                 | 6.20          | 6.20 | 1 DAY    |
| SD-OUT B    | 3.00            | 1.00            | 6.20                 | 6.20          | 6.20 | 1 DAY    |

**TEMPORARY STABILIZATION NOTES:**

- ANY SOILS OF ANY GRADES OR SANDY AREAS SHALL BE CLEANED UP IMMEDIATELY BY THE DISTRICT. THE DISTRICT SHALL BE NOTIFIED IMMEDIATELY BY THE DISTRICT.
- ANY HAZARDOUS SUBSTANCE RELEASES IN EXCESS OF REPORTABLE QUANTITIES (RO) ESTABLISHED UNDER 40 CFR 116.117 AND 302 THAT OCCUR WITHIN A 24-HOUR PERIOD MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER (800 424-9002).

**TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION**

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- BUILDING CONSTRUCTION.
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- NOTIFY THE BURLINGTON COUNTY SOIL CONSERVATION DISTRICT PRIOR TO ANY LAND DISTURBANCE.

**DURATION:**

- | Description | Pipe Width (ft) | Pipe Depth (ft) | Pipe Discharge (cfs) | Transfer (ft) | (ft) | Duration |
|-------------|-----------------|-----------------|----------------------|---------------|------|----------|
| SD FEES 042 | 2.00            | 2.00            | 0.40                 | 0.30          | 0.30 | 1 WEEK   |
| SD FEES 045 | 2.00            | 2.00            | 0.40                 | 0.30          | 0.30 | 1 WEEK   |
| SD FEES 300 | 1.50            | 1.50            | 0.20                 | 0.20          | 0.20 | 2 MONTHS |
| SD FEES 305 | 2.00            | 2.00            | 0.40                 | 0.30          | 0.30 | 2 MONTHS |
| SD FEES 460 | 1.25            | 1.25            | 0.20                 | 0.20          | 0.20 | 2 MONTHS |
| SD-OUT A    | 3.00            | 1.00            | 6.20                 | 6.20          | 6.20 | 1 DAY    |
| SD-OUT B    | 3.00            | 1.00            | 6.20                 | 6.20          | 6.20 | 1 DAY    |

**TEMPORARY STABILIZATION NOTES:**

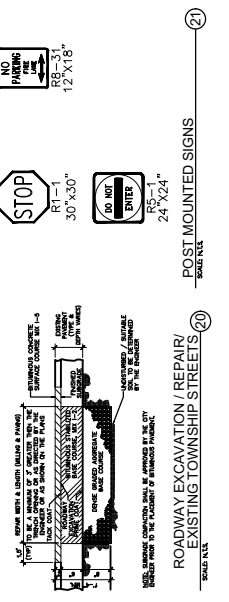
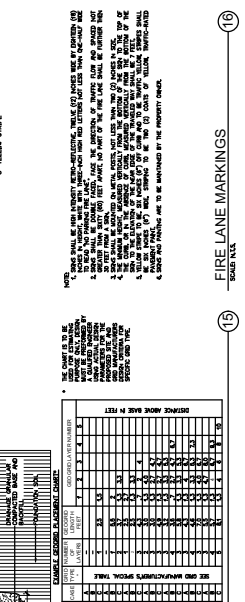
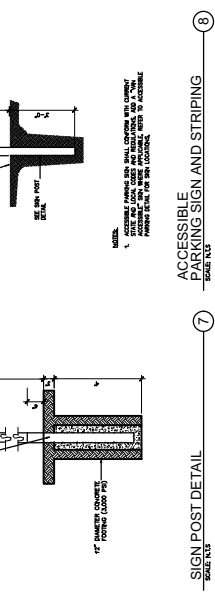
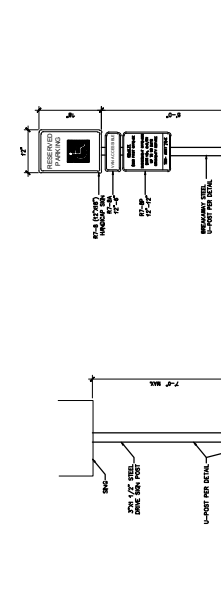
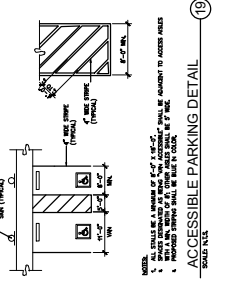
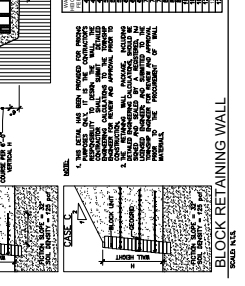
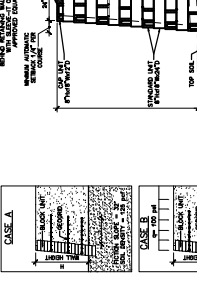
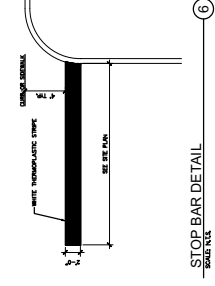
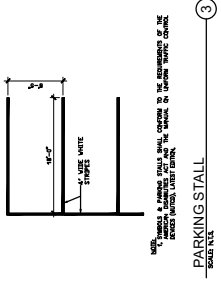
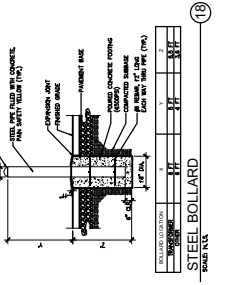
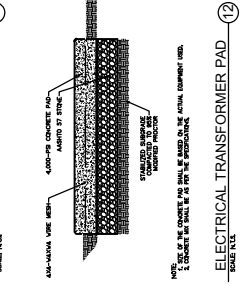
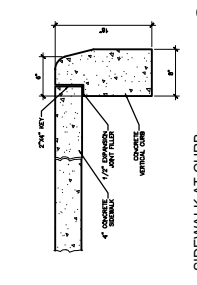
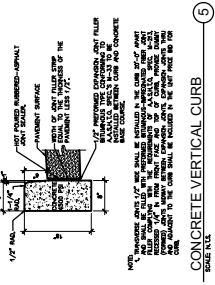
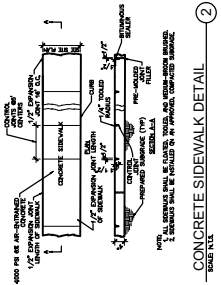
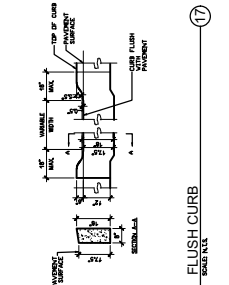
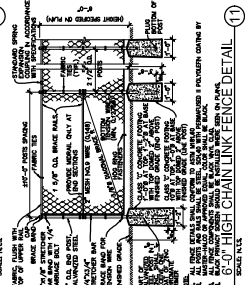
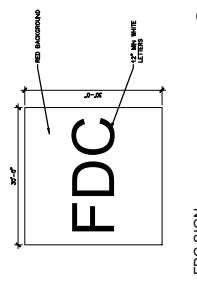
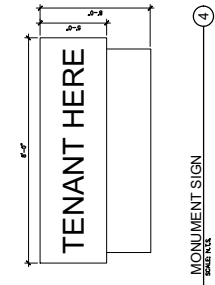
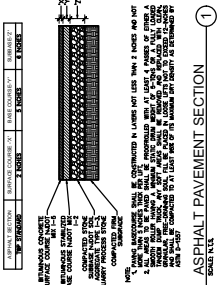
- ANY SOILS OF ANY GRADES OR SANDY AREAS SHALL BE CLEANED UP IMMEDIATELY BY THE DISTRICT. THE DISTRICT SHALL BE NOTIFIED IMMEDIATELY BY THE DISTRICT.
- ANY HAZARDOUS SUBSTANCE RELEASES IN EXCESS OF REPORTABLE QUANTITIES (RO) ESTABLISHED UNDER 40 CFR 116.117 AND 302 THAT OCCUR WITHIN A 24-HOUR PERIOD MUST BE REPORTED TO THE NATIONAL RESPONSE CENTER (800 424-9002).

**TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION**

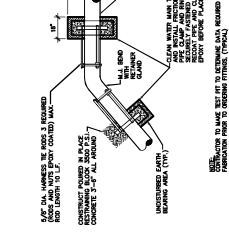
TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION SHALL BE MAINTAINED IN A ROUGH GRADED CONDITION AND TEMPORARILY SEEDED AND HAY MULCHED DISTURBED AREAS SHALL BE MAINTAINED IN A ROUGH GRADED CONDITION AND TEMPORARILY SEEDED AND HAY MULCHED

**SEQUENCE OF CONSTRUCTION:**

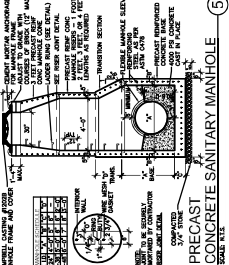
- NOTIFY IN WRITING THE BURLINGTON COUNTY SOIL CONSERVATION DISTRICT PRIOR TO ANY PROJECT PRE-CONSTRUCTION MEETING OR SITE DISTURBANCE.
- INSTALL CRUSHED STONE, VEHICLE WHEEL-CLEANING EQUIPMENT AND STABILIZATION MEASURES IMMEDIATELY AFTER INITIAL DISTURBANCE AS PER STANDARDS FOR ALL DISTURBED AREAS. STABILIZATION MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND AFTER PROJECT COMPLETION.
- COMPLETE CONSTRUCTION OF ROUGH GRADING, STORM DRAINAGE, UTILITIES AND FOUNDATION.
- AFTER STORM DRAINAGE SYSTEM AND CATCH BASINS ARE CONSTRUCTED, PLACE FILTER FABRIC PROTECTION MEASURES TO PREVENT EROSION UNTIL THE SITE IS PAVED, REPLACE AS NECESSARY.
- BUILDING CONSTRUCTION.
- LANDSCAPE INSTALLATION, CURB ASPHALT PAVING AND SIDEWALK INSTALLATION.
- ALL SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL PERMANENT IMPROVEMENTS TO THE SITE ARE COMPLETE AND THE ROADS ARE PAVED.
- LANDSCAPE ALL APPROPRIATE AREAS AS INDICATED ON THE PLAN. PERMANENT VEGETATIVE COVER SHALL BE INSTALLED IMMEDIATELY AFTER PERMANENT STABILIZATION MEASURES.
- COMPLETE CONSTRUCTION OF ROUGH GRADING AND STORM DRAINAGE. STABILIZATION MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION AND AFTER PROJECT COMPLETION.
- NOTIFY THE BURLINGTON COUNTY SOIL CONSERVATION DISTRICT PRIOR TO ANY LAND DISTURBANCE.



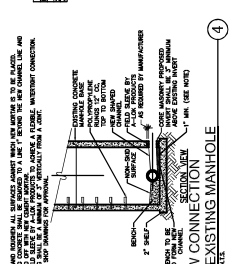
CAUTION: IF THIS SHEET IS NOT 24"x36" IT IS A REDUCED PRINT



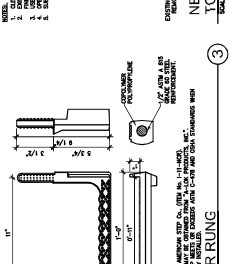
1 CLEANOUT COVER DETAIL  
 SCALE: 1/4\"/>



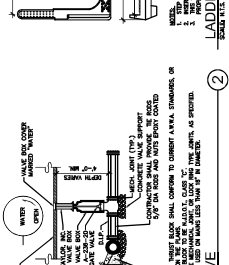
2 GATE VALVE  
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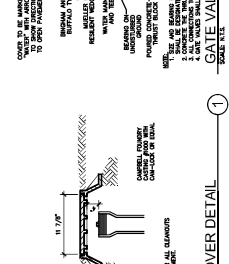
3 LADDER RAILING  
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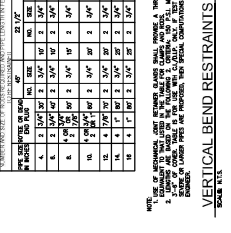
4 NEW CONNECTION TO EXISTING MANHOLE  
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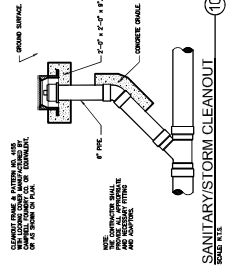
5 PRECAST SANITARY MANHOLE  
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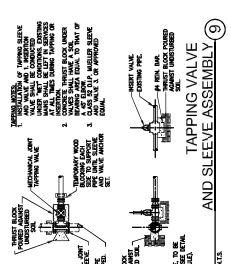
6 VERTICAL BEND RESTRAINTS  
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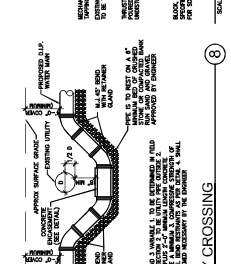
7 SANITARY/STORM CLEANOUT  
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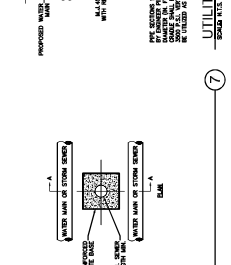
8 UTILITY CROSSING  
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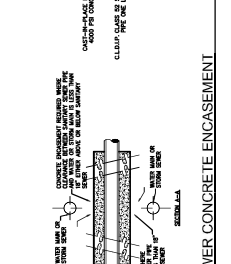
9 TAPPING VALVE AND SLEEVE ASSEMBLY  
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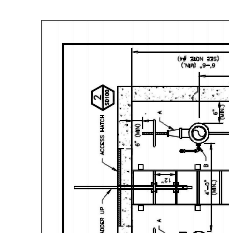
10 FIRE HYDRANT ASSEMBLY  
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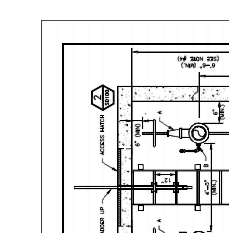
11 SANITARY SEWER CONCRETE ENCASEMENT  
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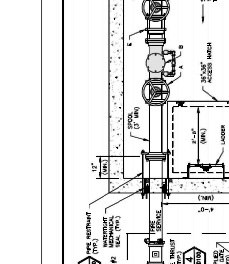
12 PIPE TRENCH DETAIL FOR SANITARY WATER AND STORM SEWER PIPE  
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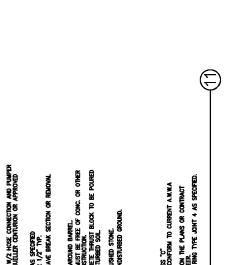
13 TABLE OF THRUST BLOCKS  
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14 PLAN VIEW  
 SCALE: 1/4\"/>

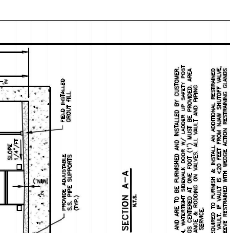


15 SECTION A-A  
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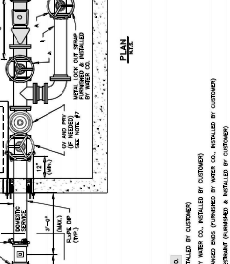


16 DOMESTIC WATER METER  
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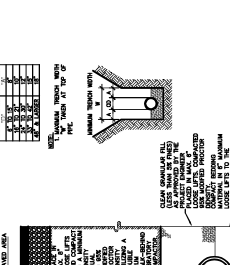
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17 DOMESTIC WATER METER  
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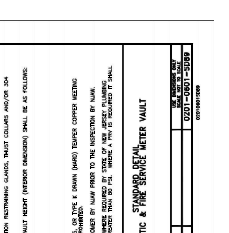


18 DOMESTIC WATER METER  
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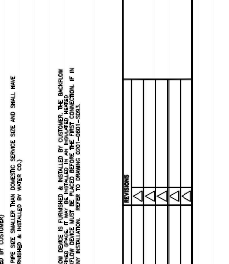


19 DOMESTIC WATER METER  
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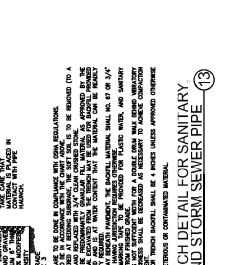
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20 DOMESTIC WATER METER  
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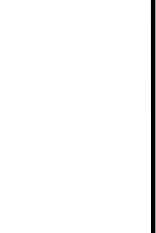


21 DOMESTIC WATER METER  
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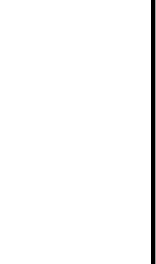


22 DOMESTIC WATER METER  
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23 DOMESTIC WATER METER  
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24 DOMESTIC WATER METER  
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25 DOMESTIC WATER METER  
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26 DOMESTIC WATER METER  
 SCALE: 1/4\"/>



27 DOMESTIC WATER METER  
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28 DOMESTIC WATER METER  
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LEADING DESIGN FOR COMMERCIAL REAL ESTATE

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waremalcomb.com

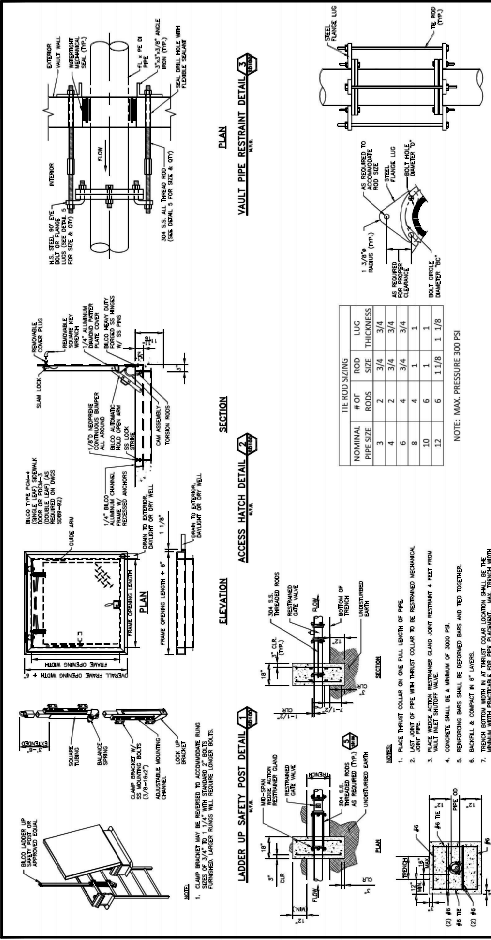
FOR ONE OR SEVERAL  
PROJECTS  
OF VARIOUS SIZES  
AND TYPES  
OF WORK  
CONTACT US  
FOR A QUOTE

EDgewater Park - Self Storage Development  
FINAL SITE PLAN APPLICATION  
CONSTRUCTION DETAILS  
4201 ROUTE 130 BURLINGTON COUNTY, EDgewater PARK, NEW JERSEY

NO.	DATE	REVISIONS
1	12/07/2020	EDgewater PARK PARK REVIEW
2	02/22/2021	EDgewater PARK FINAL SITE PLAN
3	02/22/2021	EDgewater PARK FINAL SITE PLAN

JOB NO.: NYC19-00006  
DRAWN BY: EW  
DATE: 07/27/2020

**C11.2**  
SHEET  
27 of 30



ITEM NO.	DESCRIPTION	QUANTITY	UNIT	DATE
1	PIPE RESTRAINT	1	EA	07-27-20
2	THRUST COLLAR	1	EA	07-27-20
3	TEE RESTRAINT	1	EA	07-27-20
4	STANDARD METER VAULT APPURTENANCES	1	EA	07-27-20

NOTE: MAX. PRESSURE 300 PSI

1. PIPE RESTRAINT COLLAR ON ONE FULL LENGTH OF PIPE

2. USE 1/2" PIPE WITH RESTRAINT COLLAR TO BE RESTRAINED

3. RESTRAINT COLLAR SHALL BE RESTRAINED WITH 2" TIE RODS

4. RESTRAINT COLLAR SHALL BE RESTRAINED WITH 2" TIE RODS

5. RESTRAINT COLLAR SHALL BE RESTRAINED WITH 2" TIE RODS

6. RESTRAINT COLLAR SHALL BE RESTRAINED WITH 2" TIE RODS

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8. RESTRAINT COLLAR SHALL BE RESTRAINED WITH 2" TIE RODS

9. RESTRAINT COLLAR SHALL BE RESTRAINED WITH 2" TIE RODS

10. RESTRAINT COLLAR SHALL BE RESTRAINED WITH 2" TIE RODS

### FITTINGS & EQUIPMENT LAYING LENGTHS

FITTING / EQUIPMENT	LAYING LENGTH (FEET)				
	1"	6"	10.5"	15.5"	19"
A. 6" DIA. MANHOLE	15	15	21	25	28.75
B. 12" DIA. MANHOLE	20.75	20.75	26.75	30.75	34.75
C. 18" DIA. MANHOLE	26.75	26.75	32.75	36.75	40.75
D. 24" DIA. MANHOLE	32.75	32.75	38.75	42.75	46.75
E. 30" DIA. MANHOLE	38.75	38.75	44.75	48.75	52.75
F. 36" DIA. MANHOLE	44.75	44.75	50.75	54.75	58.75
G. 42" DIA. MANHOLE	50.75	50.75	56.75	60.75	64.75
H. 48" DIA. MANHOLE	56.75	56.75	62.75	66.75	70.75
I. 54" DIA. MANHOLE	62.75	62.75	68.75	72.75	76.75
J. 60" DIA. MANHOLE	68.75	68.75	74.75	78.75	82.75
K. 66" DIA. MANHOLE	74.75	74.75	80.75	84.75	88.75
L. 72" DIA. MANHOLE	80.75	80.75	86.75	90.75	94.75
M. 78" DIA. MANHOLE	86.75	86.75	92.75	96.75	100.75
N. 84" DIA. MANHOLE	92.75	92.75	98.75	102.75	106.75
O. 90" DIA. MANHOLE	98.75	98.75	104.75	108.75	112.75
P. 96" DIA. MANHOLE	104.75	104.75	110.75	114.75	118.75
Q. 102" DIA. MANHOLE	110.75	110.75	116.75	120.75	124.75
R. 108" DIA. MANHOLE	116.75	116.75	122.75	126.75	130.75
S. 114" DIA. MANHOLE	122.75	122.75	128.75	132.75	136.75
T. 120" DIA. MANHOLE	128.75	128.75	134.75	138.75	142.75
U. 126" DIA. MANHOLE	134.75	134.75	140.75	144.75	148.75
V. 132" DIA. MANHOLE	140.75	140.75	146.75	150.75	154.75
W. 138" DIA. MANHOLE	146.75	146.75	152.75	156.75	160.75
X. 144" DIA. MANHOLE	152.75	152.75	158.75	162.75	166.75
Y. 150" DIA. MANHOLE	158.75	158.75	164.75	168.75	172.75
Z. 156" DIA. MANHOLE	164.75	164.75	170.75	174.75	178.75
AA. 162" DIA. MANHOLE	170.75	170.75	176.75	180.75	184.75
AB. 168" DIA. MANHOLE	176.75	176.75	182.75	186.75	190.75
AC. 174" DIA. MANHOLE	182.75	182.75	188.75	192.75	196.75
AD. 180" DIA. MANHOLE	188.75	188.75	194.75	198.75	202.75
AE. 186" DIA. MANHOLE	194.75	194.75	200.75	204.75	208.75
AF. 192" DIA. MANHOLE	200.75	200.75	206.75	210.75	214.75
AG. 198" DIA. MANHOLE	206.75	206.75	212.75	216.75	220.75
AH. 204" DIA. MANHOLE	212.75	212.75	218.75	222.75	226.75
AI. 210" DIA. MANHOLE	218.75	218.75	224.75	228.75	232.75
AJ. 216" DIA. MANHOLE	224.75	224.75	230.75	234.75	238.75
AK. 222" DIA. MANHOLE	230.75	230.75	236.75	240.75	244.75
AL. 228" DIA. MANHOLE	236.75	236.75	242.75	246.75	250.75
AM. 234" DIA. MANHOLE	242.75	242.75	248.75	252.75	256.75
AN. 240" DIA. MANHOLE	248.75	248.75	254.75	258.75	262.75
AO. 246" DIA. MANHOLE	254.75	254.75	260.75	264.75	268.75
AP. 252" DIA. MANHOLE	260.75	260.75	266.75	270.75	274.75
AQ. 258" DIA. MANHOLE	266.75	266.75	272.75	276.75	280.75
AR. 264" DIA. MANHOLE	272.75	272.75	278.75	282.75	286.75
AS. 270" DIA. MANHOLE	278.75	278.75	284.75	288.75	292.75
AT. 276" DIA. MANHOLE	284.75	284.75	290.75	294.75	298.75
AU. 282" DIA. MANHOLE	290.75	290.75	296.75	300.75	304.75
AV. 288" DIA. MANHOLE	296.75	296.75	302.75	306.75	310.75
AW. 294" DIA. MANHOLE	302.75	302.75	308.75	312.75	316.75
AX. 300" DIA. MANHOLE	308.75	308.75	314.75	318.75	322.75
AY. 306" DIA. MANHOLE	314.75	314.75	320.75	324.75	328.75
AZ. 312" DIA. MANHOLE	320.75	320.75	326.75	330.75	334.75
BA. 318" DIA. MANHOLE	326.75	326.75	332.75	336.75	340.75
BB. 324" DIA. MANHOLE	332.75	332.75	338.75	342.75	346.75
BC. 330" DIA. MANHOLE	338.75	338.75	344.75	348.75	352.75
BD. 336" DIA. MANHOLE	344.75	344.75	350.75	354.75	358.75
BE. 342" DIA. MANHOLE	350.75	350.75	356.75	360.75	364.75
BF. 348" DIA. MANHOLE	356.75	356.75	362.75	366.75	370.75
BG. 354" DIA. MANHOLE	362.75	362.75	368.75	372.75	376.75
BH. 360" DIA. MANHOLE	368.75	368.75	374.75	378.75	382.75
BI. 366" DIA. MANHOLE	374.75	374.75	380.75	384.75	388.75
BJ. 372" DIA. MANHOLE	380.75	380.75	386.75	390.75	394.75
BK. 378" DIA. MANHOLE	386.75	386.75	392.75	396.75	400.75
BL. 384" DIA. MANHOLE	392.75	392.75	398.75	402.75	406.75
BM. 390" DIA. MANHOLE	398.75	398.75	404.75	408.75	412.75
BN. 396" DIA. MANHOLE	404.75	404.75	410.75	414.75	418.75
BO. 402" DIA. MANHOLE	410.75	410.75	416.75	420.75	424.75
BP. 408" DIA. MANHOLE	416.75	416.75	422.75	426.75	430.75
BQ. 414" DIA. MANHOLE	422.75	422.75	428.75	432.75	436.75
BR. 420" DIA. MANHOLE	428.75	428.75	434.75	438.75	442.75
BS. 426" DIA. MANHOLE	434.75	434.75	440.75	444.75	448.75
BT. 432" DIA. MANHOLE	440.75	440.75	446.75	450.75	454.75
BU. 438" DIA. MANHOLE	446.75	446.75	452.75	456.75	460.75
BV. 444" DIA. MANHOLE	452.75	452.75	458.75	462.75	466.75
BW. 450" DIA. MANHOLE	458.75	458.75	464.75	468.75	472.75
BX. 456" DIA. MANHOLE	464.75	464.75	470.75	474.75	478.75
BY. 462" DIA. MANHOLE	470.75	470.75	476.75	480.75	484.75
BZ. 468" DIA. MANHOLE	476.75	476.75	482.75	486.75	490.75
CA. 474" DIA. MANHOLE	482.75	482.75	488.75	492.75	496.75
CB. 480" DIA. MANHOLE	488.75	488.75	494.75	498.75	502.75
CC. 486" DIA. MANHOLE	494.75	494.75	500.75	504.75	508.75
CD. 492" DIA. MANHOLE	500.75	500.75	506.75	510.75	514.75
CE. 498" DIA. MANHOLE	506.75	506.75	512.75	516.75	520.75
CF. 504" DIA. MANHOLE	512.75	512.75	518.75	522.75	526.75
CG. 510" DIA. MANHOLE	518.75	518.75	524.75	528.75	532.75
CH. 516" DIA. MANHOLE	524.75	524.75	530.75	534.75	538.75
CI. 522" DIA. MANHOLE	530.75	530.75	536.75	540.75	544.75
CJ. 528" DIA. MANHOLE	536.75	536.75	542.75	546.75	550.75
CK. 534" DIA. MANHOLE	542.75	542.75	548.75	552.75	556.75
CL. 540" DIA. MANHOLE	548.75	548.75	554.75	558.75	562.75
CM. 546" DIA. MANHOLE	554.75	554.75	560.75	564.75	568.75
CN. 552" DIA. MANHOLE	560.75	560.75	566.75	570.75	574.75
CO. 558" DIA. MANHOLE	566.75	566.75	572.75	576.75	580.75
CP. 564" DIA. MANHOLE	572.75	572.75	578.75	582.75	586.75
CQ. 570" DIA. MANHOLE	578.75	578.75	584.75	588.75	592.75
CR. 576" DIA. MANHOLE	584.75	584.75	590.75	594.75	598.75
CS. 582" DIA. MANHOLE	590.75	590.75	596.75	600.75	604.75
CT. 588" DIA. MANHOLE	596.75	596.75	602.75	606.75	610.75
CU. 594" DIA. MANHOLE	602.75	602.75	608.75	612.75	616.75
CV. 600" DIA. MANHOLE	608.75	608.75	614.75	618.75	622.75
CW. 606" DIA. MANHOLE	614.75	614.75	620.75	624.75	628.75
CX. 612" DIA. MANHOLE	620.75	620.75	626.75	630.75	634.75
CY. 618" DIA. MANHOLE	626.75	626.75	632.75	636.75	640.75
CZ. 624" DIA. MANHOLE	632.75	632.75	638.75	642.75	646.75
CA. 630" DIA. MANHOLE	638.75	638.75	644.75	648.75	652.75
CB. 636" DIA. MANHOLE	644.75	644.75	650.75	654.75	658.75
CC. 642" DIA. MANHOLE	650.75	650.75	656.75	660.75	664.75
CD. 648" DIA. MANHOLE	656.75	656.75	662.75	666.75	670.75
CE. 654" DIA. MANHOLE	662.75	662.75	668.75	672.75	676.75
CF. 660" DIA. MANHOLE	668.75	668.75	674.75	678.75	682.75
CG. 666" DIA. MANHOLE	674.75	674.75	680.75	684.75	688.75
CH. 672" DIA. MANHOLE	680.75	680.75	686.75	690.75	694.75
CI. 678" DIA. MANHOLE	686.75	686.75	692.75	696.75	700.75
CJ. 684" DIA. MANHOLE	692.75	692.75	698.75	702.75	706.75
CK. 690" DIA. MANHOLE	698.75	698.75	704.75	708.75	712.75
CL. 696" DIA. MANHOLE	704.75	704.75	710.75	714.75	718.75
CM. 702" DIA. MANHOLE	710.75	710.75	716.75	720.75	724.75
CN. 708" DIA. MANHOLE	716.75	716.75	722.75	726.75	730.75
CO. 714" DIA. MANHOLE	722.75	722.75	728.75	732.75	736.75
CP. 720" DIA. MANHOLE	728.75	728.75	734.75	738.75	742.75
CQ. 726" DIA. MANHOLE	734.75	734.75	740.75	744.75	748.75
CR. 732" DIA. MANHOLE	740.75	740.75	746.75	750.75	754.75
CS. 738" DIA. MANHOLE	746.75	746.75	752.75	756.75	760.75
CT. 744" DIA. MANHOLE	752.75	752.75	758.75	762.75	766.75
CU. 750" DIA. MANHOLE	758.75	758.75	764.75	768.75	772.75
CV. 756" DIA. MANHOLE	764.75	764.75	770.75	774.75	778.75
CW. 762" DIA. MANHOLE	770.75	770.75	776.75	780.75	784.75
CX. 768" DIA. MANHOLE	776.75	776.75	782.75	786.75	790.75
CY. 774" DIA. MANHOLE	782.75	782.75	788.75	792.75	796.75
CZ.					





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LEADING DESIGN FOR COMMERCIAL REAL ESTATE  
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732.986.9000  
waremalcomb.com

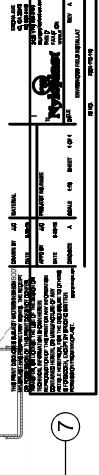
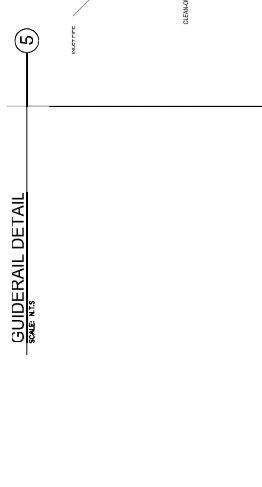
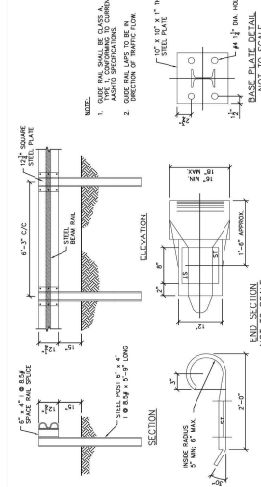
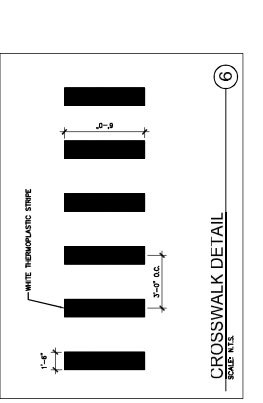
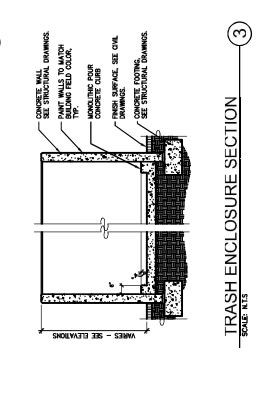
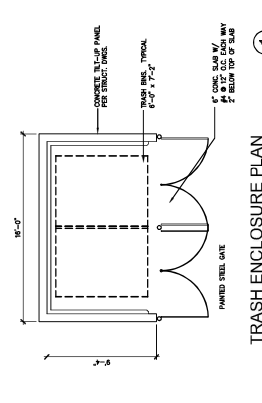
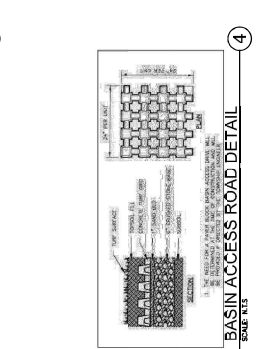
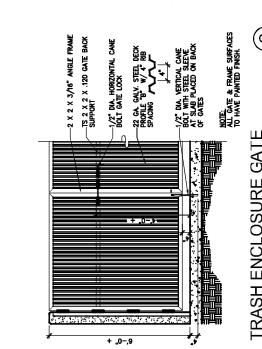
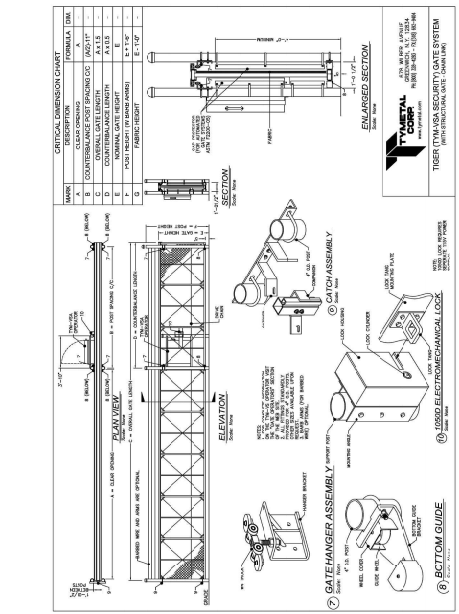
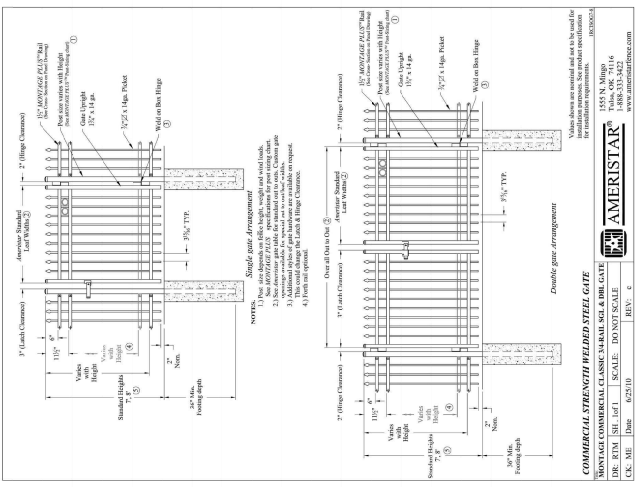
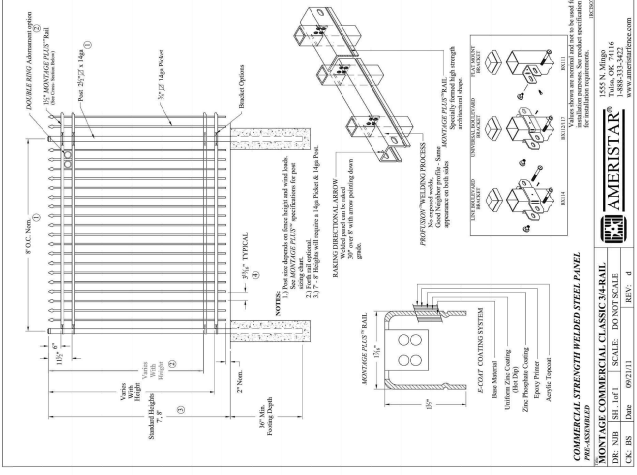
**FINAL SITE PLAN APPLICATION**  
CONSTRUCTION DETAILS  
4201 ROUTE 130 BURLINGTON COUNTY, EDgewater PARK, NEW JERSEY  
EDgewater PARK - SELF STORAGE DEVELOPMENT

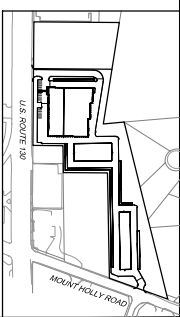
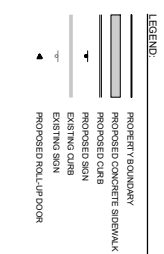
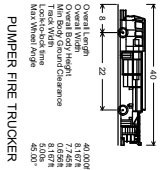
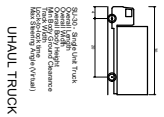
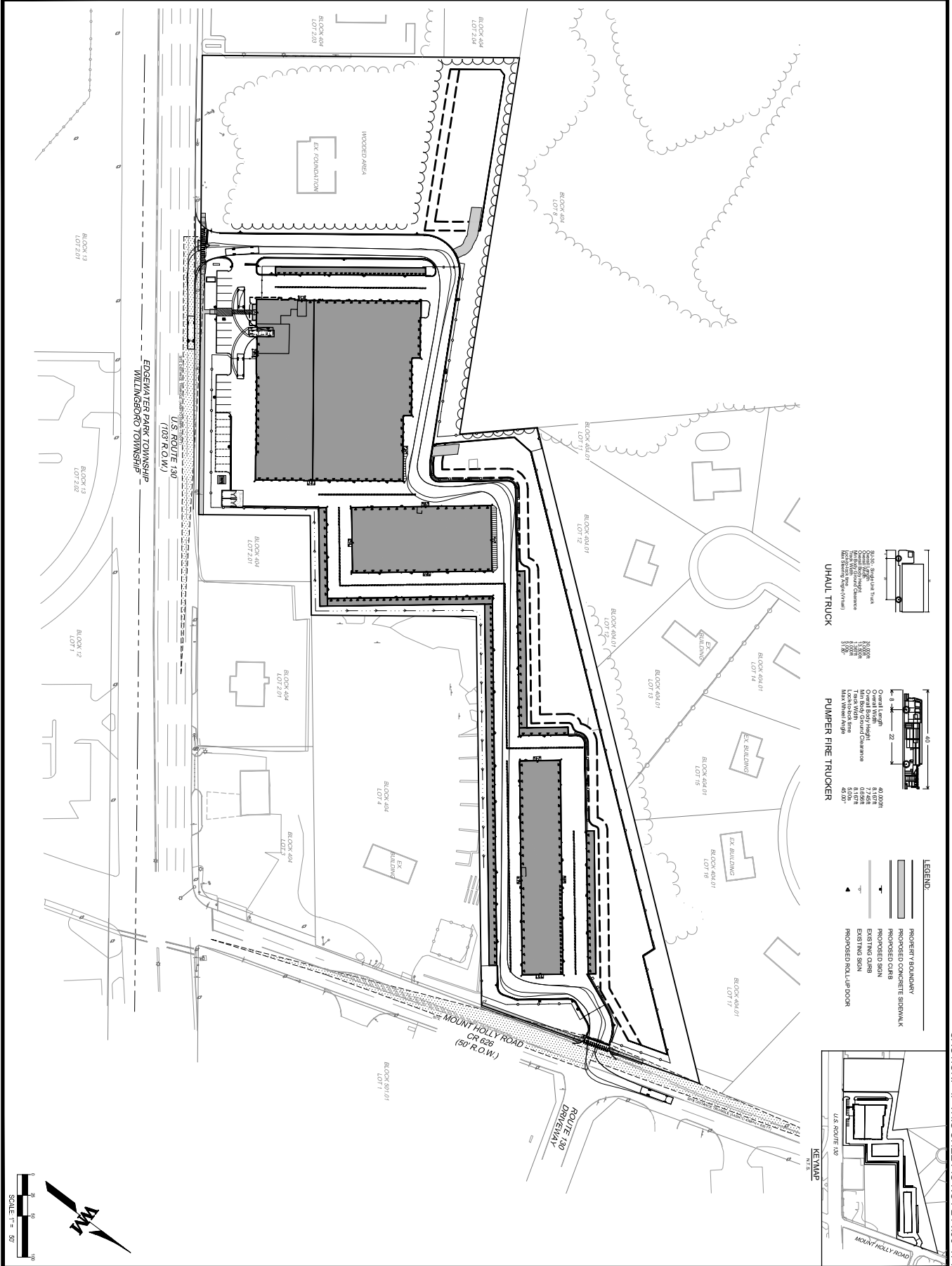
FOR AND ON BEHALF OF WARE MALCOMB  
*[Signature]*  
PROJECT NO. 190005  
DATE: 02/22/2021

JOB NO. NYC19-00005  
DATE: 02/22/2021  
DRAWN BY: EV  
DATE: 02/22/2021

SHEET  
**C11.4**  
Sheet 29 of 30

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